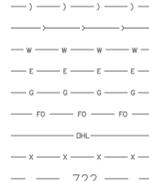


SITE ENGINEERING PLANS

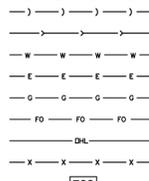
14336 JEFFERSON AVENUE
ORLAND PARK, ILLINOIS

LEGEND

EXISTING



PROPOSED



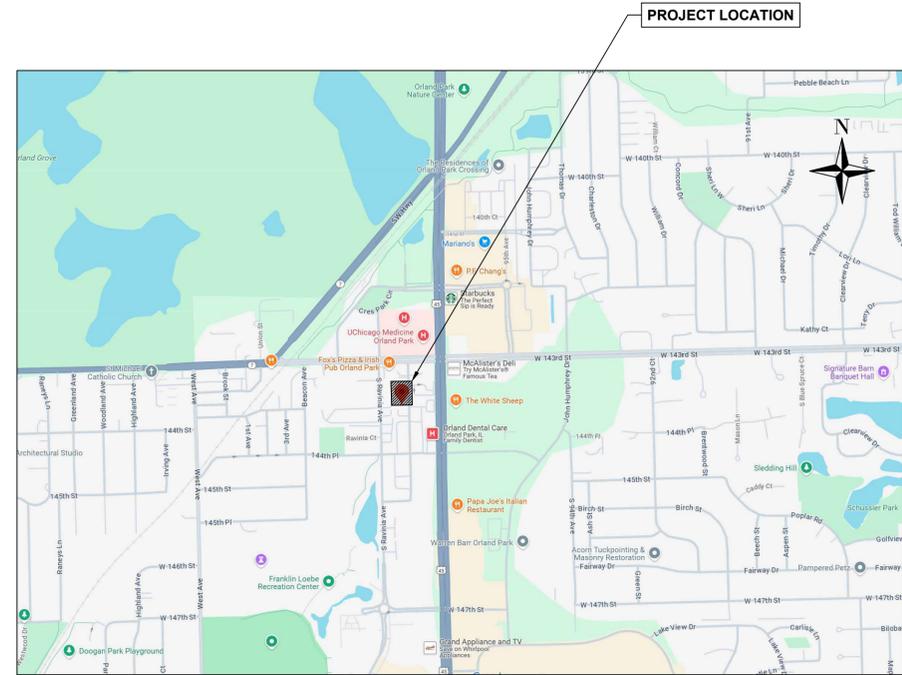
722

722

- STORM SEWER
- SANITARY SEWER
- WATER LINE
- ELECTRIC LINE
- GAS LINE
- FIBER OPTIC
- OVERHEAD LINE
- FENCE
- CONTOUR
- SANITARY MANHOLE
- INLET
- CURB INLET
- CATCH BASIN
- STORM MANHOLE
- CULVERT END SECTION
- FIRE HYDRANT
- WATER VALVE VAULT
- WATER VALVE BOX
- B-BOX
- THRUST BLOCK

- TREE
- DRAINAGE DIRECTION
- DRAINAGE SUMMIT
- BENCHMARK

PROPOSED GRADE



PROJECT LOCATION

LEGAL DESCRIPTION
LOT 18 TOGETHER WITH THE NORTH HALF OF LOT 16 IN EAST ORLAND SUBDIVISION, IN THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING PARTS TAKEN FOR THE WIDENING OF THE 143RD STREET AND KEAN AVENUE IN COOK COUNTY, ILLINOIS.

ADDRESS
14336 JEFFERSON AVE
ORLAND PARK, IL

PARCEL IDENTIFICATION NUMBER
27-09-214-015
27-09-214-043

AREA
11,250 SQ. FT OR 0.29 ACRE

SURVEYOR
S.H. CAMPBELL LAND SURVEYING
8432 S. 84TH AVENUE
HICKORY HILLS, IL

CIVIL ENGINEER
KRUENG DESIGN PLLC
13389 MCCARTHY ROAD
LEMONT, IL
KRISTIAN@KRUENGDDESIGN.COM



NO.	DATE	DESCRIPTION
1	6/12/25	VILLAGE COMMENTS 1
2	7/17/25	VILLAGE COMMENTS 2
3	8/15/25	VILLAGE COMMENTS 3
4	9/18/25	VILLAGE COMMENTS 4

ORIGINAL ISSUE DATE: 01-30-2025
LICENSE NO: 184-089297-002
EXPIRES: 11/30/2025

COVER SHEET
14336 JEFFERSON AVE, ORLAND PARK

JOB NO:	24-26
DESIGN BY:	KU
DRAWN BY:	KU
SCALE:	N.T.S

1 OF 8

DRAWING INDEX

SHEET	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS / DEMOLITION PLAN
3	GEOMETRIC / UTILITY PLAN
4	GRADING PLAN
5	EROSION CONTROL PLAN
6	CONSTRUCTION DETAILS
7	AUTOTURN EXHIBIT
8	AUTOTURN EXHIBIT

DRAINAGE CERTIFICATE

STATE OF ILLINOIS
COUNTY OF COOK

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THESE LOT IMPROVEMENTS.

DATED 30TH DAY OF JANUARY, 2025

K. Valpey

GENERAL NOTES

- CALL JULIE 1-800-892-0123 BEFORE EXCAVATING.
- GENERAL CONTRACTOR TO PROMPTLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE BACKFILL.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADWAY FREE OF EXCESSIVE DEBRIS AT ALL TIMES. STREET SHOULD BE OPEN TO TRAFFIC AT ALL TIMES.
- ALL UTILITY STRUCTURES, POWER POLE, FIRE HYDRANTS, TREES, & ETC. AFFECTED BY THE IMPROVEMENT ARE TO BE RELOCATED AT DEVELOPERS OR HOMEOWNER'S EXPENSE.
- NO CONCENTRATED DISCHARGE OF STORM WATER TO ADJACENT PROPERTIES SHALL BE ALLOWED. ALL STORM DRAINAGE SHALL BE CONVEYED TOWARD FRONT OR REAR OF PROPERTY SO IT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
- PROPER TRAFFIC CONTROL (DOT STANDARDS) SHALL BE USED FOR ALL OBSTRUCTIVE STREET WORK.
- GENERAL CONTRACTOR SHALL NOTIFY CITY / VILLAGE PRIOR TO THE START OF CONSTRUCTION.
- ALL SITE IMPROVEMENTS MUST CONFORM TO THE GOVERNING VILLAGE'S OR CITY'S ENGINEERING STANDARDS AND SPECIFICATIONS.
- REFER TO THE APPROVED ZONING APPLICATION FOR ALL SETBACK DIMENSIONS.
- ANY EXISTING BROKEN OR CRACKED SIDEWALK SQUARES AND/OR DAMAGED SIDEWALK RESULTING FROM THE PROPOSED IMPROVEMENTS MUST BE REMOVED AND REPLACED TO THE SATISFACTION OF THE VILLAGE PUBLIC IMPROVEMENT INSPECTOR. THE SIDEWALK SHALL BE COMPRISED OF FIVE-INCHES OF CLASS SI CONCRETE, SIX-INCHES THROUGH DRIVEWAYS, OVER A THREE-INCH COMPACTED CA-6 STONE BASE. THE SIDEWALK SHOULD DRAIN AT 1/8" PER FOOT TOWARD THE ROADWAY.
- AGGREGATE BASE COURSE FOR DRIVEWAY & SIDEWALKS SHALL CONSIST OF MINIMUM 4" CA-6 COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- THE CONTRACTOR MUST CONTACT THE PERMIT COORDINATORS AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS FOR ALL PROPOSED SANITARY SEWER, WATER SERVICE, STORM SEWER AND RELATED DRAINAGE STRUCTURES, FINAL GRADING AND DRIVEWAY/PATIO/WALKS INSTALLATION.
- ALL VEHICLES ASSOCIATED WITH ANY CONSTRUCTION PROJECT IN RESIDENTIAL AREAS SHALL BE REQUIRED TO PARK ON THE SITE UNLESS OTHERWISE ALLOWED BY CITY / VILLAGE.
- ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED DEMOLITION / DEVELOPMENT / TREE PRESERVATION PLAN.
- AN APPROVED DEMOLITION / DEVELOPMENT / TREE PRESERVATION PLAN MUST BE AVAILABLE ON THE BUILDING SITE.
- STAY WITHIN DESIGNATED WORK ACCESS AREAS SHOWN ON THE PLAN.
- ALL UTILITY STRUCTURES, POWER POLES, FIRE HYDRANTS, TREES, ETC. AFFECTED BY THE IMPROVEMENT ARE TO BE RELOCATED AT DEVELOPER'S OR HOMEOWNER'S EXPENSE.
- ALL WORK SHALL BE COMPLETED SAFELY AND IN COMPLIANCE WITH OSHA, IDOT, ADA, AND LOCAL GOVERNING VILLAGE/TOWNSHIP/CITY STANDARDS.
- RECORD DRAWINGS SHALL BE PROVIDED FOLLOWING CONSTRUCTION.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE CURRENT VERSION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.

EXISTING CONDITIONS & REMOVAL PLAN



BENCHMARK:

STAINLESS STEEL ROD IN SLEEVE LOCATED 250' EAST OF RIDGELAND AVENUE ON THE SOUTH SIDE OF U.S. RT. 6 34.3' WEST OF THE CENTERLINE OF THE GATED BITUMINOUS ENTRANCE TO THE FOREST PRESERVE 10' NORTH OF THE CENTERLINE OF THE BIKE PATH
ELEVATION = 704.07 (NAVD 88)

SITE BENCHMARK:

CHISELED SQUARE IN CONCRETE CURB LOCATED 11' EAST OF THE S.E. CORNER OF PROPERTY
ELEVATION = 707.40 (NAVD 88)

EXISTING IMPERVIOUS AREA SUMMARY

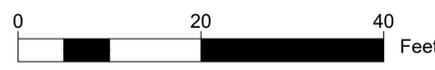
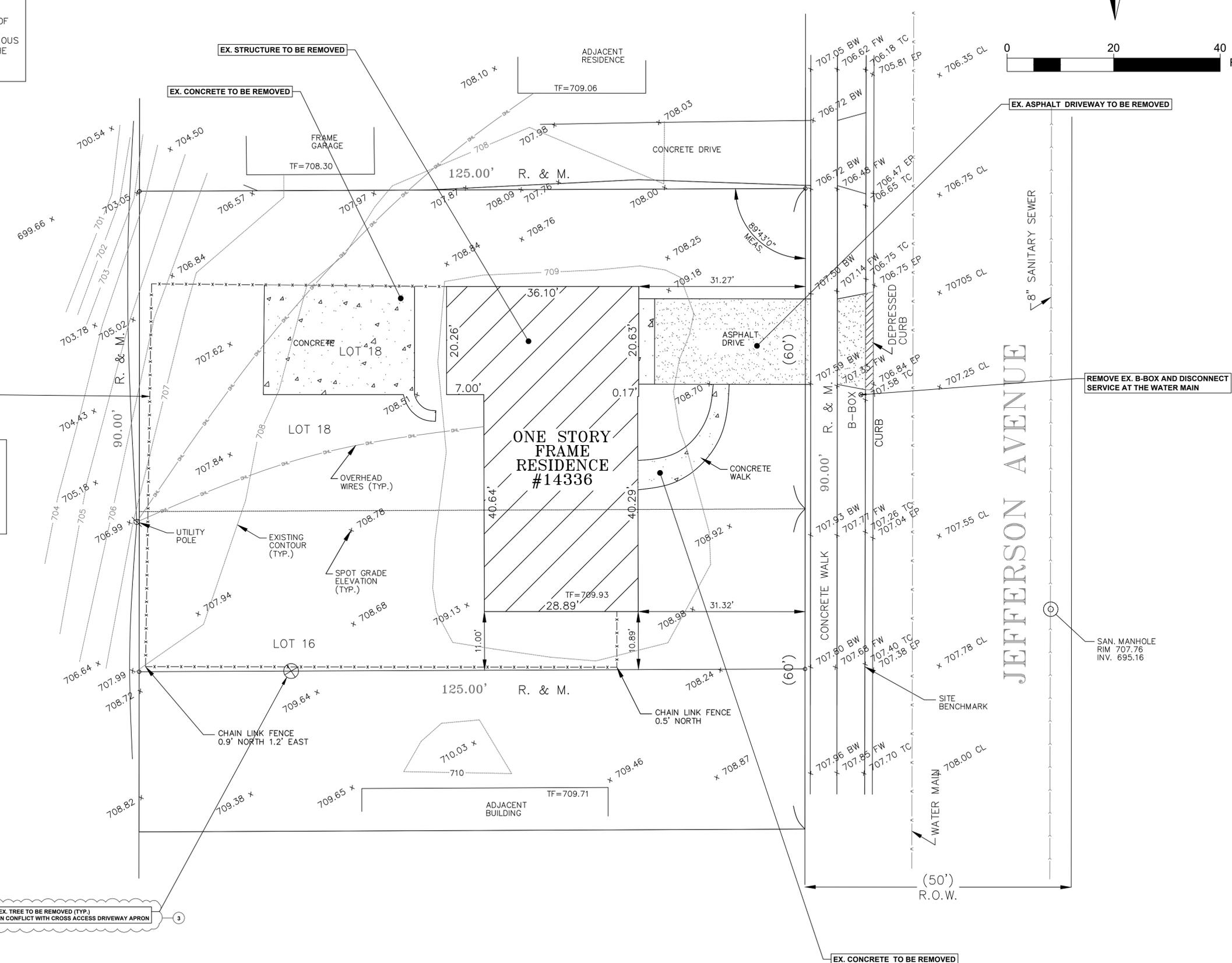
- DRIVEWAY & FRONT WALK: 627 SF
- HOUSE: 1,905 SF
- CONCRETE PAD: 592 SF

TOTAL: 3,124 SF

DEMOLITION AND CLEARING

1. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION, CLEARING, GRUBBING, AND TREE REMOVAL AND PROTECTION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS OR AS NOTED IN THE PLANS.
2. PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION OR CLEARING ACTIVITIES, THE OWNER OR CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS TO DISCONNECT THE EXISTING UTILITY SERVICES TO EACH BUILDING PROPOSED FOR DEMOLITION.
3. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH THE VILLAGE/CITY, UTILITY COMPANIES, AND OTHER JURISDICTIONAL AGENCIES, SO AS TO ENSURE THE PROTECTION OF ALL EXISTING SEWER, WATER MAIN, AND OTHER UTILITIES, AND FURTHER TO ENSURE THAT PROPER STORMWATER CONVEYANCE IS ATTAINED UNTIL THE PROPOSED IMPROVEMENTS CAN BE INSTALLED AND PLACED INTO OPERATION.
4. CLEARING SHALL CONSIST OF THE REMOVAL AND LEGAL DISPOSAL OF ALL OBSTRUCTIONS SUCH AS TREES, HEDGES, FENCES, WALLS, ACCUMULATIONS OF RUBBISH OF WHATEVER NATURE, AND ALL LOGS, SHRUBS, BRUSH, GRASS, WEEDS, AND OTHER VEGETATION AND STUMPS. THESE ITEMS SHALL BE REMOVED WHENEVER THEY ARE FOUND WITHIN THE STREET RIGHT-OF-WAYS OR WITHIN THE LIMITS OF CONSTRUCTION. TREES TO BE SAVED OR PROTECTED SHALL BE IDENTIFIED BY THE ENGINEER ON THE PLANS OR IN THE FIELD. ALL TREES EXCEPT THOSE DESIGNATED TO BE SAVED OR PROTECTED, AS WELL AS ALL STUMPS AND HEDGES WITHIN THE LIMITS OF CONSTRUCTION, SHALL BE REMOVED COMPLETELY AND LEGALLY DISPOSED OF OFF-SITE OR AS OTHERWISE DESIGNATED ON THE PLANS OR AUTHORIZED BY THE OWNER. TREES DESIGNATED TO BE SAVED OR PROTECTED AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER, SHALL BE PROTECTED FROM DAMAGE IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN SECTION 201 OF THE IDOT STANDARD SPECIFICATIONS.
5. ALL ITEMS SHOWN TO BE REMOVED ON THE PLANS INCLUDING ITEMS NOT SPECIFICALLY NOTED BUT NECESSARY TO BE REMOVED TO CONSTRUCT THE PROPOSED IMPROVEMENTS SHALL BE DEMOLISHED OR REMOVED AS NECESSARY AND DISPOSED OF LEGALLY OFF-SITE OR AS APPROVED BY THE OWNER.
6. EXISTING UTILITIES TO BE DISCONNECTED SHALL BE DONE SO AT THE MAIN OR AS DIRECTED BY THE APPLICABLE JURISDICTIONAL AGENCY OR AS NOTED ON THE PLANS.
7. UTILITIES MARKED TO BE ABANDONED SHALL BE ABANDONED AS REQUIRED BY THE APPLICABLE JURISDICTIONAL AGENCY OR AS NOTED ON THE PLANS.
8. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW-CUT ALONG THE LIMITS OF THE PROPOSED REMOVAL TO PROVIDE A CLEAN VERTICAL EDGE. THE COST OF SAW-CUTTING SHALL BE CONSIDERED INCIDENTAL TO THE REMOVAL OF EACH ITEM.
9. ALL VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT WALK OR OTHER STRUCTURAL AREAS OR WITHIN ZONES OF INFLUENCE THEREOF SHALL BE PROPERLY BACKFILLED WITH SUITABLE BACKFILL MATERIAL AND/OR COMPACTED AS NECESSARY BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL IMPLEMENT A DAILY PROGRAM FOR DUST CONTROL AS IT RELATES TO THE DEMOLITION AND CLEARING ACTIVITIES. THIS PROGRAM IS TO BE APPROVED BY THE VILLAGE/CITY PRIOR TO THE START OF ANY DEMOLITION OR CLEARING WORK.
11. ALL EXISTING BUILDING SERVICES SERVING BUILDINGS THAT ARE TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED AS REQUIRED BY THE APPLICABLE JURISDICTIONAL AGENCY.
12. ANY MATERIAL CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS FOUND WITHIN EXISTING STRUCTURES OR OTHER ITEMS SHOWN TO BE REMOVED IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR IN ACCORDANCE WITH APPLICABLE COUNTY, STATE OR FEDERAL RULES OR REGULATIONS.
13. ALL FIRE ACCESS LANES OR ROUTES LOCATED WITHIN THE EXISTING PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES AT ALL TIMES WHILE DEMOLITION AND CLEARING WORK IS BEING PERFORMED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LEGALLY REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULTS FROM THEIR DEMOLITION OR CLEARING OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER. BURNING OR INCINERATION ON THE SITE IS NOT PERMITTED.

EX. TREE TO BE REMOVED (TYP.)
IN CONFLICT WITH CROSS ACCESS DRIVEWAY APRON



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4	9/18/25	VILLAGE COMMENTS 4



EXISTING CONDITIONS
14336 JEFFERSON AVE, ORLAND PARK

JOB NO:	24-26
DESIGN BY:	KU
DRAWN BY:	KU
SCALE:	1" = 10'

PROPOSED GEOMETRIC & UTILITY PLAN



PROPOSED IMPERVIOUS AREA SUMMARY

- DRIVEWAY / PARKING LOT: 5,065 SF
- BUILDING: 2,641 SF
- FLATWORK: 328 SF
- CURB / GUTTER: 290 SF

TOTAL: 8,324 SF

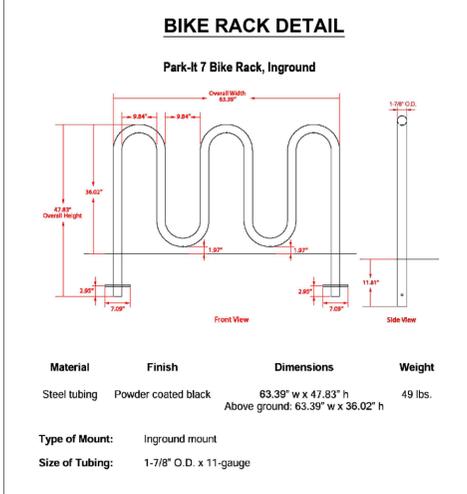
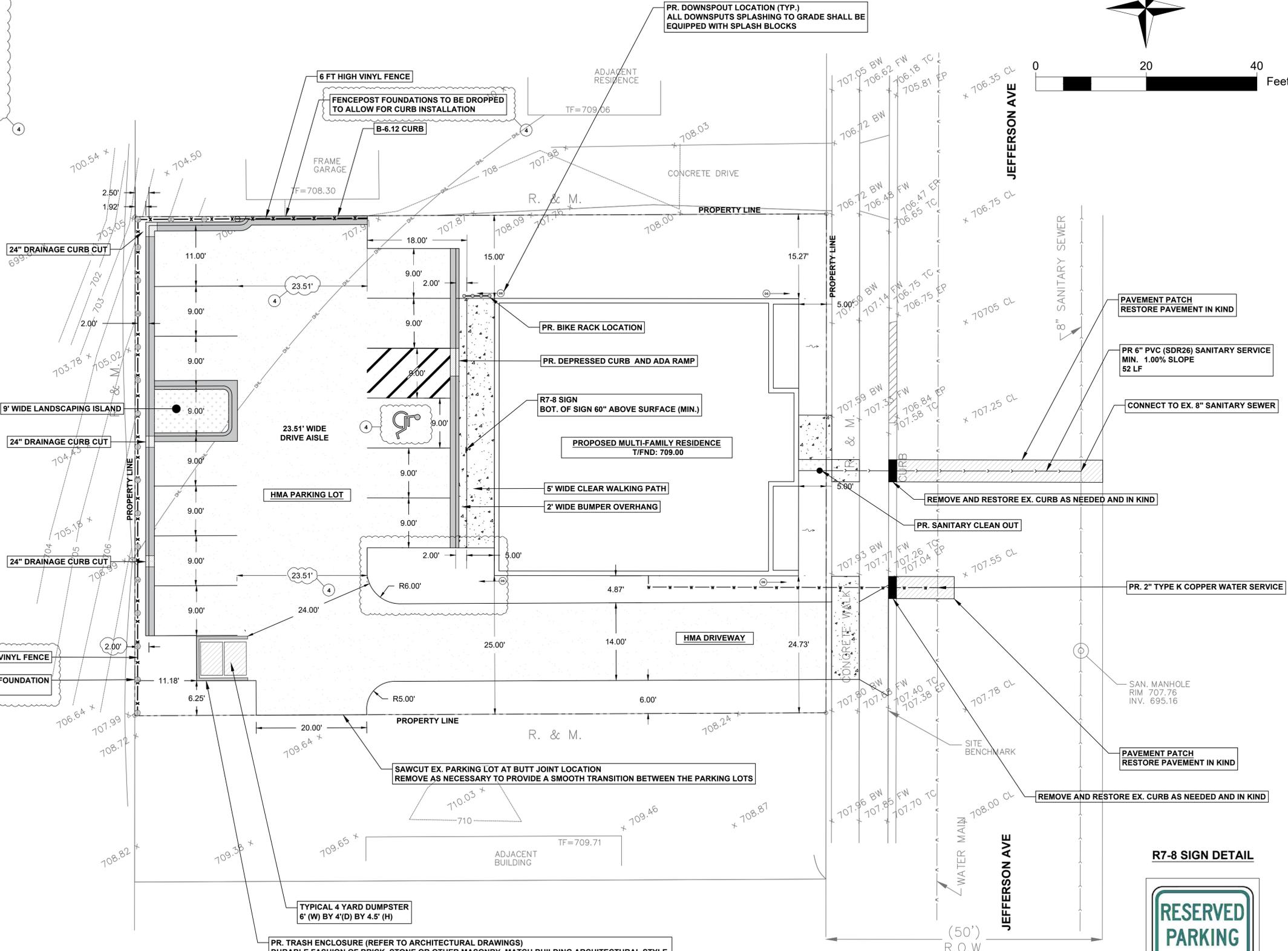
PROPOSED - EXISTING: 8,324 - 3,124 = 5,200 INCREASE

IMPERVIOUS COVERAGE: 8,324 / 11,250 = 0.74 = 74%

ANY DISTURBANCE OF THE CURB, GUTTER, ROADWAY, SIDEWALK OR PARKWAY WITHIN THE R.O.W SHALL BE RESTORED TO PRE-EXISTING CONDITIONS AND TO THE SATISFACTION OF THE VILLAGE.

UTILITY NOTES

- ALL BASEMENTS MUST HAVE A SEWER EJECTOR AND OVERHEAD SEWER SYSTEM.
- FOOTING DRAINS CONNECT TO SUMP THAT DISCHARGES TO STORM SEWER.
- DOWNSPUTS TO SPLASH TO GRADE, BE DIRECTED TOWARD THE FRONT OR REAR OF THE HOME, NOT DISCHARGE WITHIN 10' OF THE PROPERTY LINES.
- INSTALL TIE-INS TO SATISFACTION OF VILLAGE. ALL PROPOSED CONNECTIONS TO HAVE A SECTION OF THE MAIN REPLACED WITH A WYE SECTION.
- ALL SEWER, WATER, AND GAS UTILITIES TO BE FIFTEEN (15) FEET FROM MATURE TREES AND FIVE (5) FEET FROM SMALL TREES. UTILITIES CLOSER THAN THESE LIMITS MUST BE AUGERED.
- MINIMUM 10' DISTANCE BETWEEN NEW SANITARY AND WATER SERVICES.
- INSTALL FIRST SANITARY CLEANOUT WITHIN 10 FEET OF HOUSE.
- PLUMBER TO VERIFY TIE-IN INVERTS FOR STORM AND SANITARY BEFORE PLACING SEWER PIPE.
- ALL SEWER LINES SHALL UTILIZE 22-DEGREE, 45-DEGREE, OR LONG-SWEEP 90-DEGREE FITTINGS TO ACCOMMODATE CHANGES IN DIRECTION.
- ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE.
- NEW WATER SERVICE SHALL BE INSTALLED W/ MIN 5'-6" SERVICE DEPTH.
- CONTACT PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO REQUEST A MAIN TAP.
- WATER & SANITARY SERVICES MUST BE INSTALLED BY A LICENSED PLUMBER.
- THE OWNER MUST PROVIDE WRITTEN NOTICE (WITH CONTACT PERSON'S NAME, ADDRESS & PHONE NUMBER) AT LEAST ONE WEEK IN ADVANCE TO ALL AFFECTED RESIDENTS WHOSE FRONTAGE WILL BE DISTURBED TO PERFORM ANY REQUIRED OFF-SITE UTILITY SERVICE CONNECTION WORK ASSOCIATED WITH THE SUBJECT PROPERTY. IN ADDITION, THE NOTIFICATION MUST STATE THE STATE THAT THE FINAL SURFACE RESTORATION WILL BE COMPLETED WITHIN FIVE CALENDAR DAYS FOLLOWING COMPLETION OF THE WORK IN SAID AREAS, WEATHER PERMITTING. A COPY OF SAID CORRESPONDENCE MUST ALSO BE PROVIDED TO THE ENGINEERING DEPARTMENT, ATTN: PUBLIC IMPROVEMENTS INSPECTOR, ONE WEEK BEFORE THE WORK IS TO BE PERFORMED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER, OR REPLACED AT THE CONTRACTOR'S OWN EXPENSE.
- UTILITY SERVICES SHALL BE AS FOLLOWS:
 - WATER - TYPE "K" COPPER
 - SANITARY - PVC SDR 26 PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212. DUCTILE IRON PIPE PAST FOUNDATION OVERDIG.
 - STORM - PVC SDR 35 PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212.
- THE PROPOSED STORM/SANITARY SERVICE CONNECTION TO THE EXISTING SEWER LINE SHALL BE MADE WITH A SEWER TAP MACHINE WITH HUB AND STAINLESS STEEL SADDLE.
- SUMP PUMP IS TO BE CONNECTED TO THE PROPOSED STORM SEWER SERVICE UTILIZING 4-INCH PVC SDR 26 PIPE.
- THE CONTRACTOR SHALL COORDINATE WITH THE PUBLIC WORKS DEPARTMENT TO INSTALL AN EXTERIOR REMOTE READING DEVICE.
- TO PREVENT "FLOATING" OF PVC PIPING, ONLY USE SELECT EARTH BACKFILL AND BEDDING WITH THE EXCEPTION OF ALL DRIVEWAY LOCATIONS WHERE FULL DEPTH CA-6 IS REQUIRED.
- PROTECT ALL EXISTING AND NEW DRAINS USING ABOVE-GRADE INLET FILTERS.
- THE EXISTING WATER SERVICE DISCONNECTION AND THE PROPOSED WATER SERVICE CONNECTION SHALL BOTH BE MADE AT THE MAIN.
- NEW WATER SERVICE CONNECTION MUST BE A MINIMUM OF 4-FEET FROM A FIRE HYDRANT.



ORIGINAL ISSUE DATE: 01-30-2025	DESCRIPTION
NO. 1	VILLAGE COMMENTS 1
NO. 2	VILLAGE COMMENTS 2
NO. 3	VILLAGE COMMENTS 3
NO. 4	VILLAGE COMMENTS 4

KRUENG

PROFESSIONAL ENGINEER
STATE OF ILLINOIS
NO. 062-08810
J. KRUEGER

EXPIRES: 11/30/2025

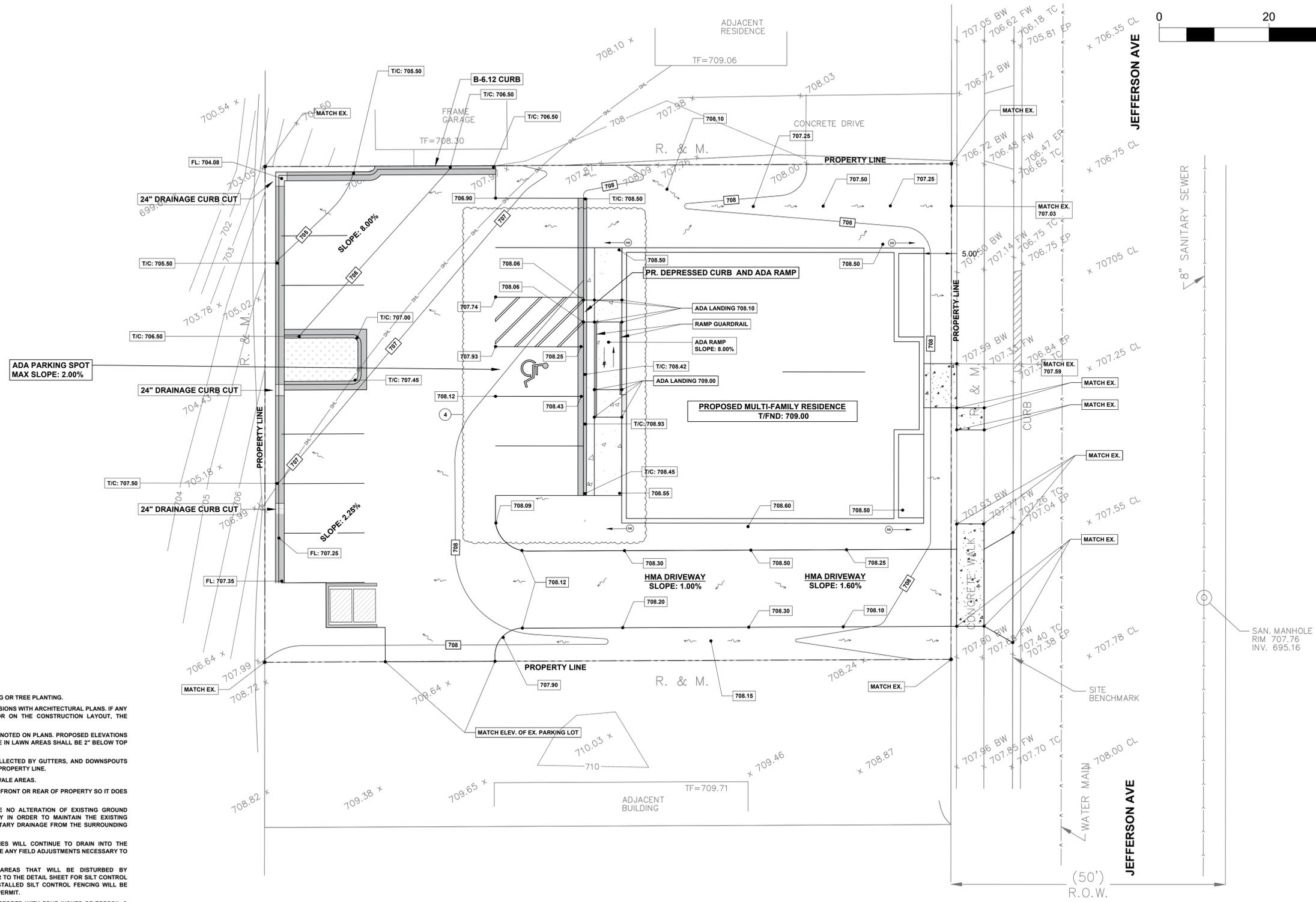
PROPOSED GEOMETRIC & UTILITY PLAN

14336 JEFFERSON AVE, ORLAND PARK

JOB NO:	24-26
DESIGN BY:	KU
DRAWN BY:	KU
SCALE:	1" = 10'

3 OF 8

PROPOSED GRADING PLAN



- GRADING NOTES**
- CALL J.U.L.I.E. FOR UTILITY LOCATIONS BEFORE DIGGING OR TREE PLANTING.
 - THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS. IF ANY DISCREPANCIES ARE NOTED ON THE PLOT PLAN OR ON THE CONSTRUCTION LAYOUT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
 - PROPOSED GROUND ELEVATION AT FOUNDATIONS AS NOTED ON PLANS. PROPOSED ELEVATIONS ARE TOP OF SOD OR DRIVEWAY. FINISHED DIRT GRADE IN LAWN AREAS SHALL BE 2" BELOW TOP OF SOD.
 - RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DOWNSPOUTS ARE TO DISCHARGE A MINIMUM OF 10 FEET FROM ANY PROPERTY LINE.
 - NO WOOD CHIPS OR MULCH IN SIDYARD DRAINAGE SWALE AREAS.
 - ALL STORM DRAINAGE SHALL BE CONVEYED TOWARD FRONT OR REAR OF PROPERTY SO IT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
 - EXCEPT AS NOTED ON THE PLAN, THERE IS TO BE NO ALTERATION OF EXISTING GROUND ELEVATION ANYWHERE ON THE SUBJECT PROPERTY IN ORDER TO MAINTAIN THE EXISTING DRAINAGE PATTERN AND NOT OBSTRUCT ANY TRIBUTARY DRAINAGE FROM THE SURROUNDING PROPERTIES.
 - ALL TRIBUTARY AREAS FROM ADJACENT PROPERTIES WILL CONTINUE TO DRAIN INTO THE SUBJECT PROPERTY AND THE CONTRACTOR WILL MAKE ANY FIELD ADJUSTMENTS NECESSARY TO ADHERE TO THIS REQUIREMENT.
 - INSTALL SILT CONTROL FENCING AROUND ALL AREAS THAT WILL BE DISTURBED BY CONSTRUCTION PRIOR TO COMMENCING WORK, REFER TO THE DETAIL SHEET FOR SILT CONTROL FENCING INSTALLATION. VILLAGE INSPECTION OF INSTALLED SILT CONTROL FENCING WILL BE REQUIRED PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
 - ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH FOUR-INCHES OF TOPSOIL & SOD WITHIN FIVE DAYS OF COMPLETION OF PERTINENT WORK, WEATHER PERMITTING. ALL SOD MUST BE WATERED TO SUSTAIN GROWTH.
 - GRADE SHALL BE MATCHED AT ALL NEIGHBORING PROPERTY LINES.
 - AREAS TO BE GRADED AND PREPARED FOR SEEDING OR SOD SHALL INDICATE A MINIMUM OF FOUR (4) INCHES OF TOP SOIL.
 - DRAINAGE SWALES SHALL BE CONSTRUCTED OF ESTABLISHED VEGETATION (SOD OR NATIVE VEGETATION)

ORIGINAL ISSUE DATE: 01-30-2025	
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PROPOSED GRADING PLAN
14336 JEFFERSON AVE, ORLAND PARK

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DESIGN BY:	KU
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SCALE:	1" = 10'

SESC PLAN



SESC LEGEND

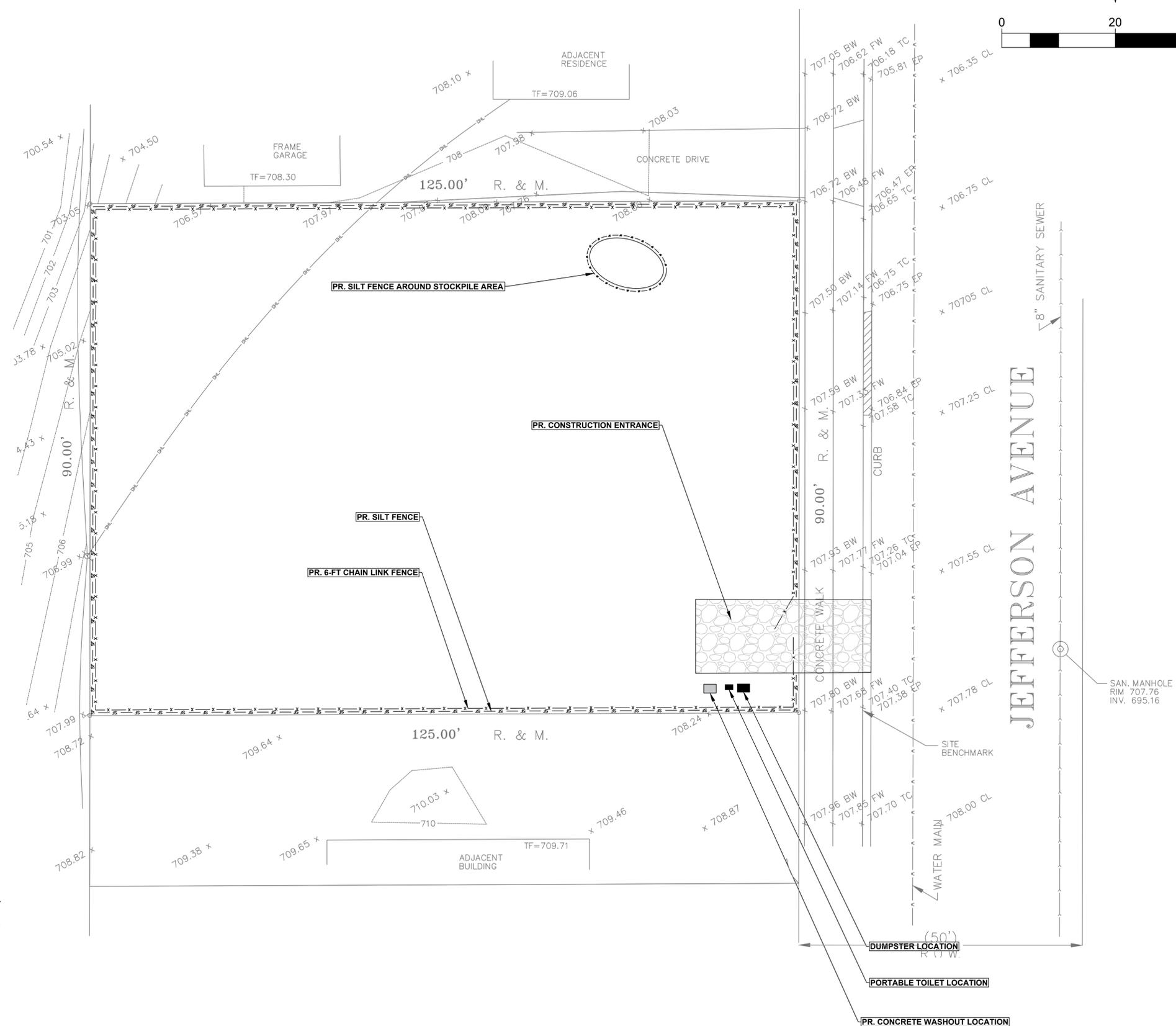
- SILT FENCE
- TREE PROTECTION FENCE
- 6-FT CHAIN LINK FENCE
- INLET PROTECTION

TYPICAL CONSTRUCTION SEQUENCE

1. INSTALLATION OF SESC MEASURES.
2. SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION.
3. SILT FENCE INSTALLATION.
4. CONSTRUCTION FENCING AROUND AREAS NOT TO BE DISTURBED.
5. STABILIZED CONSTRUCTION ENTRANCE INSTALLATION.
6. TREE REMOVAL WHERE NECESSARY.
7. CONSTRUCT SEDIMENT TRAPPING DEVICES AND PCBMPs (SEDIMENT TRAPS, DRYWELLS, BASINS, ETC.)
8. PLACE SILT FENCE AROUND PCBMPs.
9. TEMPORARILY STABILIZE TOPSOIL STOCKPILES.
10. INSTALL STORM SEWER, SANITARY SEWER, WATER AND ASSOCIATED INLET / OUTLET PROTECTION.
11. TEMPORARILY STABILIZE ALL AREAS INCLUDING LOTS THAT HAVE REACHED TEMPORARY GRADE.
12. INSTALL ROADWAYS.
13. PERMANENTLY STABILIZE ALL OUTLOT AREAS.
14. INSTALL STRUCTURES AND GRADE INDIVIDUAL LOTS.
15. PERMANENTLY STABILIZE LOTS.
16. REMOVE ALL TEMPORARY SESC MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION.

SOIL EROSION / SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE ILLINOIS URBAN MANUAL, LATEST EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION AND THE VILLAGE OF ORLAND PARK.
2. AN INITIAL SESC INSPECTION IS REQUIRED PRIOR TO STARTING CONSTRUCTION. THIS NOTIFICATION SHALL BE AT LEAST 24 HOURS PRIOR ANY LAND IS DISTURBED ON THE SITE.
3. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF THE YEAR, SITE CONDITIONS AND USE OF TEMPORARY OR PERMANENT MEASURES.
4. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED BEFORE ANY WORK BEGINS ON SITE.
5. THE GENERAL CONTRACTOR SHALL INSPECT THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES EVERY 7 DAYS AND AFTER 0.5" OR MORE RAINFALL.
6. ALL STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
7. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR THE MAINTENANCE AND REPAIR.
9. ALL CONSTRUCTION TRAFFIC SHALL ENTER THE SITE ONLY AT PROPOSED CONSTRUCTION ENTRANCE(S) AS SHOWN ON PLANS.
10. ALL DIRT, MUD, OR DEBRIS THAT REACHES THE PUBLIC ROADS SHALL BE IMMEDIATELY CLEANED BY THE CONTRACTOR.
11. STOCKPILES SHALL NOT BE LOCATED IN A FLOOD PRONE AREA OR A DESIGNATED BUFFER PROTECTING WATERS OF THE UNITED STATES.
12. IF A TOPSOIL STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 3 DAYS, IT MUST BE ENCLOSED BY SILT FENCE.
13. ALL TREES THAT ARE NOT TO BE REMOVED SHALL BE PROTECTED AS NEEDED. SEE TREE PROTECTION DETAIL.
14. A CONCRETE WASHOUT AREA SHALL BE PROVIDED ON-SITE. CONCRETE CANNOT BE WASHED OUT ANYWHERE BUT IN THE WASHOUT AREA.
15. SUBMERSIBLE PUMPS USED DURING CONSTRUCTION MUST DISCHARGE ONTO A STABILIZED SURFACE AND HAVE AN APPROVED SEDIMENT FILTER BAG CONNECTED TO THE DISCHARGE HOSE.



ORIGINAL ISSUE DATE: 01-30-2025	DESCRIPTION
NO.	DATE
1	6/12/25
2	7/17/25
3	8/15/25
4	9/18/25

KRUENG
LICENSE NO. 184-008937-0002

SESC PLAN

14336 JEFFERSON AVE, ORLAND PARK

JOB NO.: 24-26
DESIGN BY: KU
DRAWN BY: KU
SCALE: 1" = 10'

5 OF 8

CONSTRUCTION DETAILS

DRIVEWAY DETAIL

SIDEWALK DETAIL

CURB AND GUTTER DETAIL

SUMP PUMP DISCHARGE DETAIL

PAVEMENT PATCH DETAIL

WATER CONNECTION DETAIL

SANITARY CONNECTION DETAIL

SILT FENCE PLAN

SILT FENCE - SPLICING TWO FENCES

TEMPORARY SOIL STOCKPILE DETAIL

STABILIZED CONSTRUCTION ENTRANCE PLAN

WATER AND SEWER SEPARATION REQUIREMENTS (PER IEPA)

ORIGINAL ISSUE DATE: 01-30-2025		
NO.	DATE	DESCRIPTION
1	6/12/25	VILLAGE COMMENTS 1
2	7/17/25	VILLAGE COMMENTS 2
3	8/15/25	VILLAGE COMMENTS 3
4	9/18/25	VILLAGE COMMENTS 4

KRUENG

PROFESSIONAL ENGINEER
CIVIL
STATE OF CALIFORNIA
06-008810

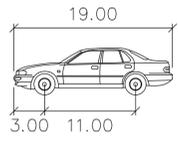
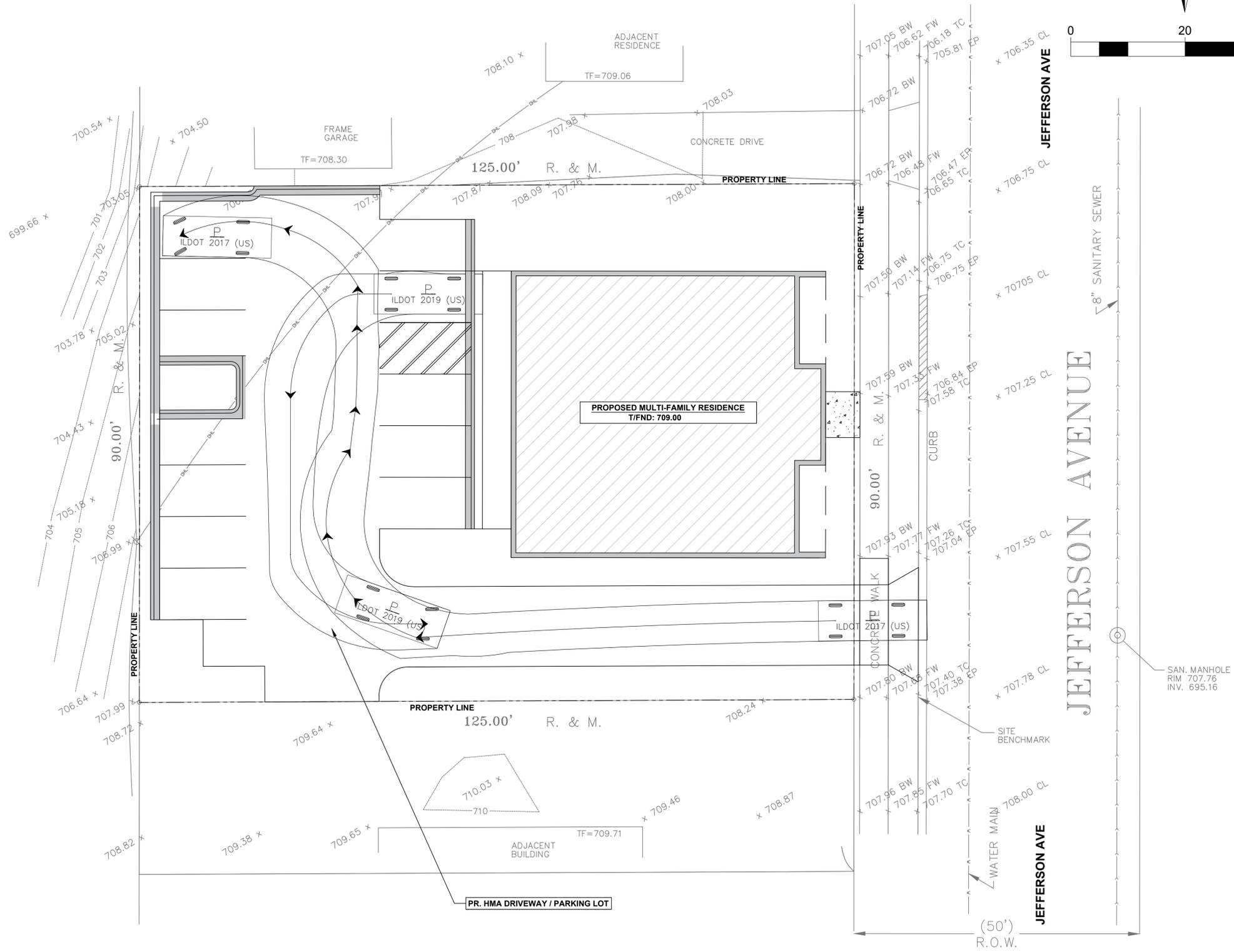
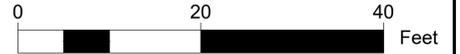
LICENSE NO. 184-009397-0002
EXPIRES: 11/30/2025

CONSTRUCTION DETAILS

14336 JEFFERSON AVE, ORLAND PARK

JOB NO.	24-26
DESIGN BY:	KU
DRAWN BY:	KU
SCALE:	N.T.S.

AUTOTURN EXHIBIT



P
 Width : 7.00 feet
 Track : 6.00
 Lock to Lock Time : 6.0
 Steering Angle : 31.6

ORIGINAL ISSUE DATE: 01-30-2025	
NO.	DATE
1	6/12/25
2	7/17/25
3	8/15/25
4	9/18/25

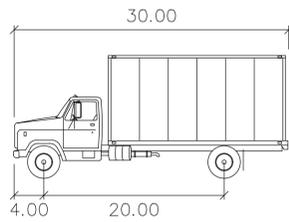
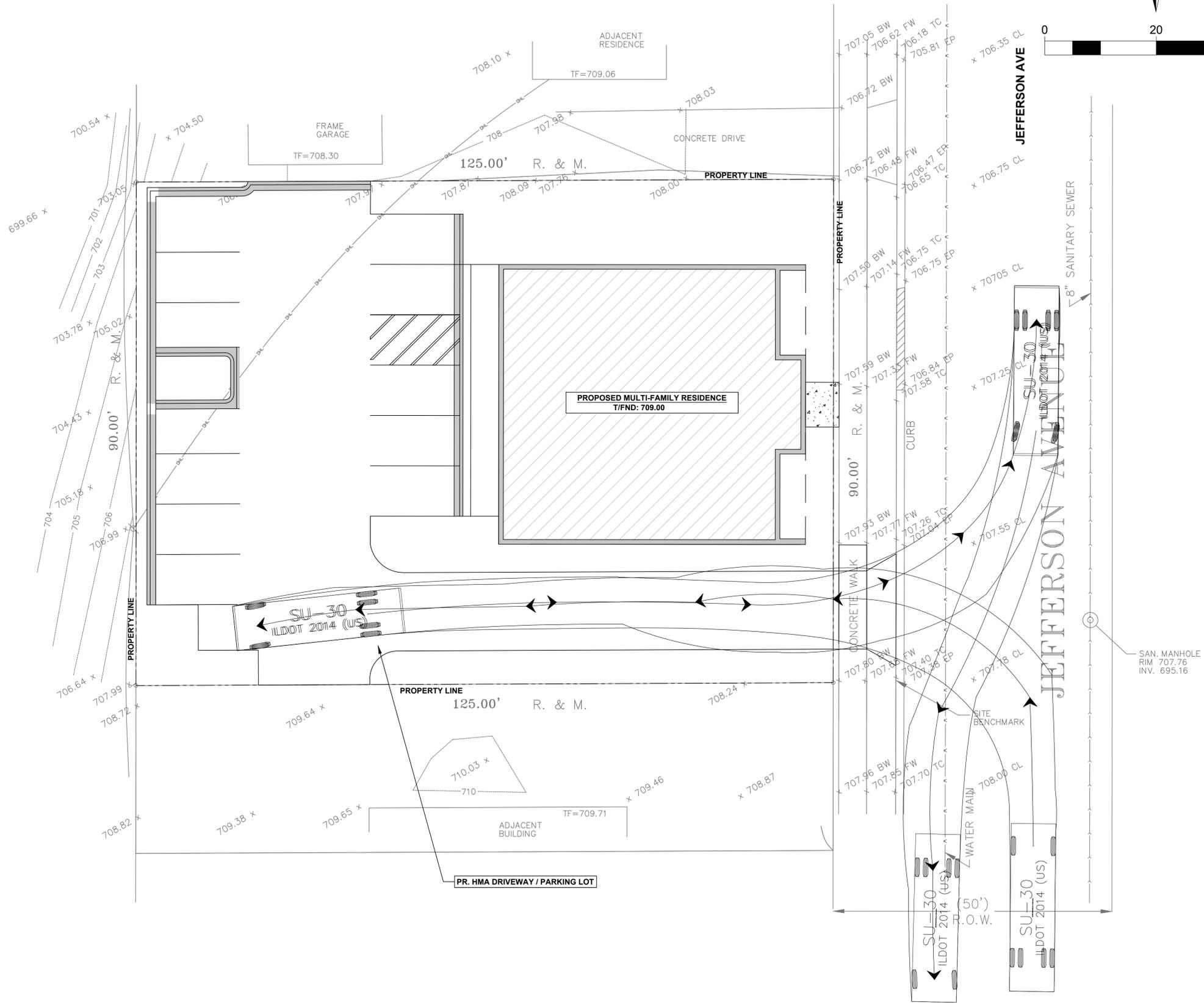
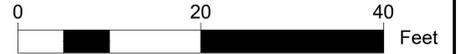
DESCRIPTION	
VILLAGE COMMENTS 1	
VILLAGE COMMENTS 2	
VILLAGE COMMENTS 3	
VILLAGE COMMENTS 4	

KRUENG
 LICENSE NO: 184-009297-002

AUTOTURN EXHIBIT
14336 JEFFERSON AVE, ORLAND PARK

JOB NO:	24-26
DESIGN BY:	KU
DRAWN BY:	KU
SCALE:	1" = 10'

AUTOTURN EXHIBIT



SU-30

Width : 8.00 feet
 Track : 8.00 feet
 Lock to Lock Time : 6.0
 Steering Angle : 31.8

ORIGINAL ISSUE DATE: 01-30-2025

NO.	DATE	DESCRIPTION
1	6/12/25	VILLAGE COMMENTS 1
2	7/17/25	VILLAGE COMMENTS 2
3	8/15/25	VILLAGE COMMENTS 3
4	9/18/25	VILLAGE COMMENTS 4



AUTOTURN EXHIBIT

14336 JEFFERSON AVE, ORLAND PARK

JOB NO.	24-26
DESIGN BY:	KU
DRAWN BY:	KU
SCALE:	1" = 10'