

# VILLAGE OF ORLAND PARK

14700 Ravinia Avenue  
Orland Park, IL 60462  
[www.orlandpark.org](http://www.orlandpark.org)



## Meeting Agenda

Tuesday, April 6, 2021

7:00 PM

Village Hall

## Plan Commission

*Nick Parisi, Chairman*

*Edward Schussler, Vice Chairman*

*Commissioners: John J. Paul, Laura Murphy, Patrick Zomparelli, Yousef Zaatar  
and Daniel Sanchez*

*Short Agenda Council Boiler*

**CALLED TO ORDER/ROLL CALL****APPROVAL OF MINUTES**

[2021-0254](#) Minutes of March 16, 2021 Plan Commission Meeting

**Attachments:** [March 16, 2021 Meeting Minutes](#)

**NON-PUBLIC HEARINGS**

[2021-0031](#) Orland Ridge - Development Petition for an Amendment to Development Agreement and Revised Referenced Exhibits for Clubhouse Elevations, Site Plan, and Landscape Plan

**Attachments:** [OR Clubhouse\\_PC - Elevations.pdf](#)  
[OR Clubhouse\\_PC - Plans\\_Site-Landscape.pdf](#)  
[2018-0499 Board Approved Elevations.pdf](#)  
[2018-0499 Board Approved LANDSCAPE Clubhouse Only.pdf](#)  
[2018-0499 Board Approved SITE.pdf](#)

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**PUBLIC HEARINGS****OPEN PUBLIC HEARING**

[2020-0169](#) Belle Tire - Development Petition for Special Use Permit for Planned Development, Special Use Permit for Motor Vehicle Services, Rezoning, Site Plan, Elevations, Landscape Plan, and Plat of Subdivision

**Attachments:** [Subdivision Plat](#)  
[Preliminary Site Plan](#)  
[Preliminary Landscape Plan](#)  
[Elevations](#)  
[Special Use Standards](#)  
[Rezoning Evaluation Factors](#)

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**OTHER BUSINESS**

[2021-0258](#) Memo: New Petitions

**Attachments:** [04-06-2021 Plan Commission Memo](#)

**NON-SCHEDULED CITIZENS & VISITORS**

**ADJOURNMENT**

DATE: April 6, 2021

## **REQUEST FOR ACTION REPORT**

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File Number: **2021-0254**

Orig. Department:

File Name: **Minutes of March 16, 2021 Plan Commission Meeting**

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**BACKGROUND:**

**BUDGET IMPACT:**

**REQUESTED ACTION:**

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# VILLAGE OF ORLAND PARK

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## **Meeting Minutes**

**Tuesday, March 16, 2021**

**7:00 PM**

**Village Hall**

## **Plan Commission**

*Nick Parisi, Chairman*

*Edward Schussler, Vice Chairman*

*Commissioners: John J. Paul, Laura Murphy, Patrick Zomparelli, Yousef Zaatar  
and Daniel Sanchez*

**CALLED TO ORDER/ROLL CALL (Audio: 0:04)**

Commissioner Zomparelli left the meeting at 8:30 p.m.

**Present:** 6 - Chairman Parisi; Vice Chairman Schussler; Member Paul; Member Zomparelli; Member Zaatar, Member Sanchez

**Absent:** 1 - Member Murphy

**APPROVAL OF MINUTES (Audio: 0:45)****2021-0206 Minutes of December 8, 2020 Plan Commission Meeting**

**A motion was made by Member Patrick Zomparelli, seconded by Member Daniel Sanchez, that this matter be APPROVED. The motion carried by the following vote:**

**Aye:** 3 - Vice Chairman Schussler, Member Zomparelli and Member Sanchez

**Nay:** 0

**Abstain:** 1 - Member Zaatar

**Absent:** 1 - Member Murphy

**NON-PUBLIC HEARINGS (Audio: 1:28 - 18:48)****2021-0031 Orland Ridge - Development Petition for an Amendment to Development Agreement and Revised Referenced Exhibits for Clubhouse Elevations, Site Plan, and Landscape Plan**

Staff presentation was given by Valerie Berstene in accordance with the written report dated March 16, 2021.

The Commission, staff, members of the public and the Petitioners attended the public hearing in person and via Zoom.

There was a discussion amongst the Commissioners and due to the fact that the Petitioner was unable to communicate because of unexpected technical difficulties, the Commissioners voted unanimously to table and continue this project to the April 6, 2021 Plan Commission Meeting.

I move to continue case number 2021-0031, also known as Orland Ridge Clubhouse, for an Amendment to the Development Agreement and Revised Referenced Exhibits for Clubhouse Elevations, Site Plan, and Landscape Plan to the April 6, 2021 Plan Commission meeting.

**CONTINUED to the Plan Commission due back on 4/6/2021**

**Aye:** 6 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zomparelli, Member Zaatar and Member Sanchez

**Nay:** 0

**Absent:** 1 - Member Murphy

## PUBLIC HEARINGS

### OPEN PUBLIC HEARING (Audio: 34:40 - 51:38)

**2020-0336 Chick-Fil-A Drive-Through Expansion and Building Addition - Development Petition for a Special Use Permit Amendment with Modifications, Variance, Site Plan, Elevations, and Landscape Plan**

Staff presentation was given by Kyle Quinn in accordance with the written report dated March 16, 2021.

The Commission, staff, members of the public and the Petitioners attended the public hearing in person and via Zoom.

Chairman Parisi swore in Allan Wiley, Engineer for Petitioner; Mac Shimmon, owner of neighboring tenant, Jersey Mike's Subs; Nick Pajovic, Manager/Agent for adjacent property to Chick-fil-A; Iyas Abuhasna, Owner of Smoothie King; Mohammed Abuosba, Owner of Capone's Smoke Shop; Stephen Sewell of Palmer Engineering (via Zoom); Kevin Skarin, Operator of the Orland Park Chick-fil-A; and John Romanello (via Zoom) from Chick-fil-A Corporate.

Mr. Wiley indicated he was happy to answer any questions.

Mr. Shimmon indicated that he is the owner of the Jersey Mike's Subs which is the neighbor directly to the south of Chick-fil-A for the past 10 years. He stated that he had no real issue with the proposed changes but does have a concern regarding the egress and ingress constriction caused by the increased drive-through volume. Mr. Shimmon continued that currently there are three temporary lanes at the drive through and his concern is that the proposed changes with 2 lanes will not alleviate the congestion. He further explained that he constantly has customers and employees that are unable to get to the Jersey Mike's site because there is a continuous stream of traffic for Chick-fil-A and the customers/employees must choose between waiting in line behind 20 cars or entering through the exit. He also explained that there have been two physical altercations between customers where people actually exited their cars and began to push and shove one another due to the congestion issue. Mr. Shimmon indicated that he is happy for the success of Chick-fil-A, but stated that it should not hinder another businesses success.

Chairman Parisi asked for clarification of the area of concern to be pointed out for a clear understanding.

Kyle Quinn further pointed out the area causing the congestion and blocking access and at times creating a spillover on to the nearby roadways.

Chairman Parisi indicated that the proposed changes are not intended for an

increase in the volume of business but to improve the flow of the drive through traffic and asked if staff or petitioner if that makes sense to them.

Ed Lelo requested that because the Petitioner is present that he provide comment on the improvements to the drive through lane and the efficiencies being made in the kitchen that will lead to lessening of the impact.

Mr. Shimmon expressed that currently the area has been coned off and there are three lanes of the drive through that flow into one. He said he isn't sure that going from the three temporary lanes down to two permanent lanes will alleviate the congestion and in fact it could have the opposite effect and push more cars on to the street creating even more of a backup on LaGrange Road. Mr. Shimmon continued and asked that another point of ingress/egress to the southern property be allowed or a widening of the egress for Chick-fil-A so that they have a dedicated entrance solely for their business.

Vice Chairman Schussler asked about the ownership with regard to the Chick-fil-A building and the multi-tenant commercial retail building—he inquired if it was two different owners.

Mr. Pajovic is the agent for the multi-tenant commercial retail building adjacent to the Chick-fil-A.

Vice Chairman Schussler asked Mr. Pajovic if he would be willing to put a driveway along 156th place to allow access to his tenants.

Mr. Pajovic said he would be willing to visit that issue but does not feel as though he should have to bear the cost or burden his tenants with the cost either. He continued by saying that half of the driveway is owned by Chick-fil-A and that there are hundreds and hundreds of cars that use it to visit Chick-fil-A daily and that there is nothing being paid toward the maintenance of that driveway. He expressed that there is a large pothole starting to form and that he is going to have to pay to have it repaired for diminished capacity to have customers on his lot. Mr. Pajovic also indicated that he has had issues with landscaping being chopped down. He said he really wants to alleviate the pressure on his tenants so that their business can be conducted. Mr. Pajovic continued that the volume of people that go to Chick-fil-A do not leave the lot and that the cars enter into the lot and park and then toss their trash in the trees and landscaping and occupy 10-15 spaces at peak hours. He said that he has had to pay someone to pick up the garbage all from the Chick-fil-A establishment and has asked Chick-fil-A if they would be willing to assist in policing and helping to clean up some of the trash daily.

Iyas Abuhasna indicated that he is the owner of Smoothie King and that he moved in recently. He said that his customers have told him repeatedly every day it has been a hassle to enter the building. He further continued that he did a lot of marketing before opening and that he also opened another location and that the

rate of return on the marketing for the Orland Park location has been substantially less and that this location is ridiculously slow and he attributes part of it to the struggle to access the parking lot. Mr. Abuhasna continued that he has had to put up repeated signs and that the signs go missing while Chick-fil-A is the only business open at that particular time.

Mohammed Abuosba explained he is the owner of Capone's Smoke Shop and that he doesn't feel that it is fair for his customers to have to wait 10-15 minutes just to enter the parking lot. He expressed that some of his customers actually have to park at Lowe's parking lot and walk over to his business. Mr. Abuosba said that he has a loyal customer base and because of the good customer service he provides and his pricing, that is why the customers return to his business.

Allan Wiley expressed that they had a conference call with the Village Planner and Engineers and asked about a secondary drive and were told that was not permitted. He continued that Chick-fil-A is open to that option. Mr. Wiley continued that the goal is to pull all of the traffic for Chick-fil-A onto their property and to improve the flow through the drive through. He said he believes with the larger kitchen equipment and the additional drive through lanes that should help alleviate the congestion at the entrance.

Stephen Sewell, Project Manager for Palmer Engineering that conducted the traffic study expressed that they took data from the site to help improve the flow. He continued that he also studied another site to see how much more efficient the kitchen would be with the new changes. He further explained that these changes will assist with customers being able to get their food faster and thus moving them through the drive through more efficiently. Mr. Sewell indicated that due to the COVID-19 pandemic and indoor dining being closed, the drive through has had a lot more traffic during this time period.

Chairman Parisi asked Mr. Sewell if he felt the expansion would alleviate the backup.

Mr. Sewell said that he believed 100% that the expansion would help with the current situation.

Mr. Wiley added that Chick-fil-A is only before the Commission to attempt alleviate the congestion that is there and not expand their kitchen in order to increase their business. It is an attempt to resolve the issue.

Mr. Pajovic indicated that the traffic study was conducted during COVID and at a time when the plaza was in build-out with three different tenants who had just begun to open and does not take into consideration any increased traffic flow of the tenants in the adjacent building with the shared joint access point.

Mr. Shimmon reiterated that there are three lanes currently on the property and

that they have eliminated almost all of their parking because of the three lanes. He continued that he does not believe that going from three lanes down to two lanes will eliminate or even mitigate some of the congestion problems at the entrance. Mr. Shimmon continued that with things returning back to normal, that the people are still going to need a place to park and the new Chick-fil-A plan has the parking reduced from what it is today. He asked the Commissioners to consider if this plan really makes sense. Mr. Shimmon believed that maybe 20 percent of their business has been lost due to the congestion. He further indicated that if this plan moves forward there must be a next step to alleviate the congestion point.

Chairman Parisi polled the Commissioners for comments.

Commissioner Paul asked how long the current configuration with the three lanes has been in effect.

Kevin Skarin said that they started the three-lane configuration approximately one year ago when indoor dining closed due to the COVID-19 pandemic. He expressed that they were trying to be good neighbors and move the flow of traffic on to the Chick-fil-A lot.

Chairman Parisi asked if the additional drive through lanes are temporary to alleviate the situation because people are not able to dine indoors.

Mr. Skarin indicated that it is a temporary situation and the proposed changes are a more permanent resolution and the addition in the kitchen with double capacity to prevent the back up and move cars through the drive through faster.

Commissioner Paul asked Mr. Skarin if these changes will eliminate the traffic and cars infringing on the neighboring businesses at peak times.

Mr. Skarin indicated that it will make it a lot better although he stated he is not an engineer.

Commissioner Paul expressed that he does not feel that a public Village road (156th Street) should be used for the drive through purposes. He asked regarding adding another ingress/egress and how much of that would be in the hands of the Village versus the hands of the business owners.

Mr. Lelo indicated that they would have to seek approval through the Village and that Sean Marquez from the Engineering department is present to discuss this further.

Sean Marquez indicated that there is a grade change at the south end of the parking lot and that coming into a flat road creates an issue because the existing parking lot is higher. He continued it may require reconstruction and will involve raising and lowering the road. Mr. Marquez indicated that this is a step in the right

direction but that the issue would have to be revisited down the line. He expressed that indoor dining should help alleviate some of the congestion.

Chairman Paul indicated that the additional ingress/egress entrance point is not included in this plan to be approved but should be revisited down the road once this has been completed. He continued that this all has to work together and that the bigger picture needs to be looked at.

Commissioner Sanchez indicated that he agrees with the previous comments made and that it is a step in the right direction and that potentially down the road revisit the issue of adding another entrance and further suggested that there be some additional garbage cans placed on the property so that people have a place to put their trash and prevent them from putting the trash in the landscaping.

Commissioner Zaatar expressed that he agrees it is a step in the right direction and that this forum is not the correct place to discuss police matters or operational issues. He said that there are two landlords in this area with an association and a shared driveway agreement. He further explained that potentially in the future another entrance or driveway being added would help to alleviate congestion and the flow of traffic. Commissioner Zaatar expressed concern that the site was being customized too much making the site unattractive to another tenant in the future. He asked if the hanging heaters required a variance. He continued that he finds the hanging heaters and fans unattractive. Commissioner Zaatar indicated that he would like to see the site made as attractive as possible. He asked if there was a landowner for Chick-fil-A present at the meeting.

Chick-fil-A is the landowner. Kevin Skarin is the franchisee of the Chick-fil-A in Orland Park. John Romanello was also present via Zoom representing Chick-fil-A Corporate.

Kyle Quinn explained that a variance request is not necessary for the hanging heaters.

Vice Chairman Schussler asked if the long term solution was determined to add another driveway/entrance/exit off of 156th Place if Chick-fil-A was willing to share the cost of the installation of the driveway.

John Romanello was present virtually on Zoom and indicated that they would be willing to entertain a second entrance/exit and come to an agreeable solution.

Commissioner Schussler indicated that this may only be a temporary solution currently and that the issue of the driveway may need to be revisited in the future.

Chairman Parisi indicated that is not a matter before the Commission.

Vice Chairman Schussler expressed that in the past when there have been similar

issues with other businesses in town, there have been signs posted and towing company hired to tow vehicles.

Chairman Parisi said he agreed with what was previously stated and that the vote tonight was only for the matter of expanding the drive through. He further expressed that other matters can be brought up later.

Overall, the Plan Commission expressed support of the project but indicated the site will still have to be monitored to determine if the proposed changes will alleviate current concerns or if additional improvements are necessary.

Regarding Case Number 2020-0336, also known as Chick-Fil-A Drive-through Expansion and Building Addition, I move to accept and make findings of fact as discussed at this Plan Commission meeting and within the Staff Report dated March 16, 2021.

And

I move to recommend to the Village Board approval of the Preliminary Site Plan titled "Site Plan," Sheet C-200, prepared by GBC Design, Inc., dated May 1, 2020 and last revised January 27, 2021, and the detailed site plan titled "Site Plan Detail", Sheet C-210, prepared by GBC Design, Inc., dated May 1, 2020 and last revised January 27, 2021, subject to the following conditions:

1. Meet all building code requirements and final engineering requirements, including required permits from outside agencies.
2. All ground-based and roof-mounted mechanical equipment must be fully screened from view and shall meet the code requirements listed in Section 6-308.J.
3. Submit a sign permit application to the Development Services Department for separate review. Signs are subject to additional review and approval via the sign permitting process and additional restrictions may apply.

And

I move to recommend to the Village Board approval of the Landscape Plan titled "Landscape Plan", Sheet L-100, prepared by Manley Land Design, dated March 10, 2020 and revised March 3, 2021, subject to the same conditions as outlined in the Preliminary Site Plan motion and subject to the following conditions:

1. Submit a final landscape plan meeting all Village Code and all required supporting documentation addressing all outstanding landscape items in conjunction with the final engineering submittal.
2. Provide cash-in-lieu for tree mitigation or for any required trees or plan material that is unable to be provided on site as a result of existing restrictions, in accordance with Section 6-305.F. The petitioner shall pay the final cash-in-lieu

amount to the Village prior to the issuance of any building permit.

And

I move to recommend to the Village Board approval of the Elevations titled "Exterior Elevations," on Sheets A-2.1 and A-2.2, prepared by Chipman Design Architecture Inc., dated September 24, 2020, as well as Exhibit A showing the conceptual canopy temporary wind screens, subject to the same conditions as outlined in the Preliminary Site Plan motion and subject to the following conditions:

1. All masonry must be of anchored veneer type masonry with a 2.625" minimum thickness.
2. Submit an Appearance Review and Building Permit to Development Services Department for separate review of the conceptual wind screen for the drive-through canopy.

And

I move to recommend to the Village Board approval of a Special Use Permit Amendment to the Special Use Permit (Ordinance No. 4512) for Chick-Fil-A located at 15605 South LaGrange Road to allow for the expansion of the existing drive-through facility and one (1) building addition in the COR Mixed Use District, subject to the same conditions as outlined in the Preliminary Site Plan motion. Modifications to the Special Use Permit include:

1. Increase the number of drive-through lanes from one (1) single lane with a maximum width of fourteen (14) feet to two (2) lanes with a combined width of twenty-four (24) feet (Section 6-210.F.4).
2. Increase the allowable projection of the drive-through canopy into the side setback along the south side of the property from three (3) feet to eight (8) feet and nine (9) inches (Section 6-302.C.3).
3. Reduce the screening requirements for the proposed drive-through canopy located on the north side of the property to be partially screened from the adjacent public right-of-way (Section 6-302.K).
4. Eliminate landscaping requirements around the base of the proposed second lane drive-through menu board, located under the drive-through canopy at the north side of the property (Section 6-302.K).

And

I move to recommend to the Village Board approval of the following Variance:

1. Reduce the side yard setback along the south property line from the previously approved variance of twelve (12) feet to as little as eleven (11) feet and two (2) inches (Section 6-210.F.2).

**A motion was made by Vice Chairman Edward Schussler, seconded by Chairman Nick Parisi, that this matter be APPROVED. The motion carried by the following vote:**

**Aye:** 5 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zaatar and Member Sanchez

**Nay:** 0

**Absent:** 2 - Member Murphy and Member Zomparelli

**CLOSE PUBLIC HEARING (Audio: 1:57:30)**

**A motion was made by Chairman Nick Parisi, seconded by Vice Chairman Edward Schussler, that this matter be APPROVED. The motion carried by the following vote:**

**Aye:** 5 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zaatar and Member Sanchez

**Nay:** 0

**Absent:** 2 - Member Murphy and Member Zomparelli

**OTHER BUSINESS**

**2021-0207 Memo: New Petitions**

**NON-SCHEDULED CITIZENS & VISITORS**

**ADJOURNMENT (Audio: 1:57:09)**

Meeting adjourned at 9:14 p.m.

**A motion was made by Chairman Nick Parisi, seconded by Member John J. Paul, that this matter be ADJOURNED. The motion carried by the following vote:**

**Aye:** 5 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zaatar and Member Sanchez

**Nay:** 0

**Absent:** 2 - Member Murphy and Member Zomparelli

These minutes are not a verbatim record of the meeting but a summary of the proceedings.

Respectfully submitted,

Gerianne Flannery  
Recording Secretary

## **REQUEST FOR ACTION REPORT**

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File Number: **2021-0031**  
Orig. Department: **Development Services Department**  
File Name: **Orland Ridge - Development Petition for an Amendment to Development Agreement and Revised Referenced Exhibits for Clubhouse Elevations, Site Plan, and Landscape Plan**

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### **BACKGROUND:**

#### **QUICKFACTS**

##### **Project**

Orland Ridge  
2021-0031

##### **Petitioner**

Manny Kianicky  
S.R. Jacobson, OPR Home LLC

##### **Purpose**

The purpose of this petition is to consider an amendment to update the exhibits referenced in the Orland Ridge Development Agreement for revisions to the previously approved Elevations, Site Plan, and Landscape Plan. The proposed changes include alterations to the clubhouse elevations, site plan, and landscape plan as a result of changes in the building footprint of the clubhouse and design development of adjacent outdoor amenity spaces.

**Requested Actions:** Amendment to Development Agreement and Revised Referenced Exhibits for Elevations, Site Plan, and Landscape Plan

**Address:** Commonly known as Northeast Corner of West 171<sup>st</sup> Street and South La Grange Road (16727 S. La Grange Road to 16801 S. La Grange Road)

**PINs:** 27-27-100-015-0000 and 27-27-100-019-0000

**Size:** 57.72 Acres

**Comprehensive Plan Planning District:** Regional Core Mixed Use District

**Comprehensive Land Designation:** Regional Mixed Use

**Existing Zoning:** COR Mixed Use District

**Proposed Land Use:** The property is approved and under construction for Mixed Use Planned Development to include ranch and townhome single family attached dwellings, parks, amenities, preserved wetland, naturalized stormwater detention basins and a mix of commercial.

##### **Surrounding Land Use:**

North: Orland Hills - Mix of Commercial Retail and Restaurant

South: Tinley Park - Mix of Commercial Retail and Restaurant

East: Orland Hills - Primarily Existing Residential with a single commercial gas station located at the northeast corner of 94<sup>th</sup> Avenue and 171<sup>st</sup> Street

West: The Grasslands Cook County Forest Preserve

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## **BACKGROUND & CONTEXT**

On April 1, 2019, the Village Board of Trustees approved the Site Plan, Landscape Plan, Elevations, Preliminary Plat of Subdivision and the six (6) Special Use Permits with modifications for Orland Ridge. The mixed use planned development includes one hundred and four (104) attached dwelling units, one hundred and ninety (190) attached townhome units, a clubhouse, a conceptual site plan for up to a six (6) story and up to one hundred and twenty-two (122) room hotel, a conceptual site plan for a commercial area that includes up to 19,000 square feet of commercial retail space and up to 26,625 square feet of restaurant space on 57.72 acres.

On April 6, 2020, the Village Board approved the Development Agreement and Ordinance Authorizing the Development Agreement (Ordinance No. 5502).

On August 17, 2020, the Village Board of Trustees approved the rezoning of the 57.72 acre property from E-1 Estate Residential Zoning District to the COR Mixed Use Zoning District.

On March 16, 2021, this petition was brought before the Plan Commission for consideration. Commissioners discussed the proposed changes and posed questions to the petitioner. Due to technical difficulties, the petitioner was unable to respond to questions and the consideration by the Plan Commission was continued to the following meeting on April 4, 2021. In response to the questions raised, the petitioner revised the elevations to include dormers on the east elevation (previously removed) and replace siding below the header of the first floor windows with an ashlar limestone to comply with the Code's Design Standards.

## **PROJECT DESCRIPTION**

The purpose of this petition is to consider an amendment to the exhibits referenced in the development agreement for revised clubhouse elevations, site plan, and landscape plan. Due to design development of the clubhouse, the petitioner is proposing alterations to the clubhouse elevations, site plan, and landscape plan as a result of changes in the building footprints.

There are no additional changes proposed to the previously approved Site Plan in regard to the remainder of the development's street layout, building setbacks, number of proposed lots, nor changes in design, size, type, quantity, or other to the landscaping, playground equipment, park equipment, outdoor furniture, or pergolas for all outdoor amenity or park spaces previously approved by the Board.

Per Section 5-101.B.2.b of the Land Development Code, a public meeting at Plan Commission is required for applications regarding site plan review and building elevations. The proposed changes do not constitute substantial alterations to the Village Board approved final plan, which would require the petitioner/applicant to restart the development review process.

The petitioner is not proposing any changes that trigger new or revised modifications to the Land Development Code.

## **ELEVATIONS**

The proposed changes to the elevations of the clubhouse are driven by changes in the building footprint and in the architectural design. Changes in plan include reducing the depth of the social room extending to the west; removing a volume of garage/maintenance space to the north; removing the stepping planes of the façade along the front or west; and making the volume projecting to the south shorter and wider.

In addition to changes in enclosed space, the plan removed a covered porch entrance from the north side; introduced a new porte-cochere roof to replace the former volume of garage space on the north; and replaced a large gable roof over the outdoor terrace on the west with a free-standing pergola.

The proposed changes seek to provide a building attentive to four-sided architecture with "co-equal" faces for this highly-visible focal point of the development.

### **East Elevation (Pond Willow Drive)**

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The east elevation faces Pond Willow Drive. Proposed changes to the elevations include: replacing four clerestory windows with louvers; reducing the slope of the gable end roofs from 14:12 to 12:12; and extending the main roof line further to the north. The change in the building footprint eliminating stepping planes of the front elevation result in a flatter façade but retains material changes and overlaid gables to create visual interest and a human-scale to the building. In addition, the proposed changes enhance the façade by replacing siding below the window header that was previously approved by the Board with ashlar limestone.

### **North Elevation**

The north elevation reflects the most changes that result from changes to the floor plan and roof lines. The approved elevations included an extruded volume of garage/ maintenance space which framed a covered porch and supported a smaller roof volume with inset gables. The changes in the plan proved most challenging on this elevation. In response, the proposed elevation includes a small gable roofed porte-cochere with brick piers to break up a continuous flat façade and bring scale, shadows, and interest to the façade. A louver in the gable end adds a hint of visual interest.

At the west side of the north façade, the volume of the social room beyond and the gable roof covering the terrace are replaced by a minimal social room extrusion and a pergola covering the terrace.

### **West Elevation (Pool deck)**

The west elevation faces the pool deck and amenity space, and will be highly visible to anyone entering the development from La Grange Road along 169<sup>th</sup> Place. While the east elevation fronts the street, the west elevation will contribute to the “first-impression” of the residential development. Two major alterations characterize the proposed changes on the west elevation: the reduction of the volume of the social room extending toward the pool and the removal of a gable roof covering over the outdoor terrace.

A central bay and gable end on the west elevation define the protruding social room and use a change in materials to maintain a sense of human scale, provide visual interest when viewed from near or far, and demonstrate a similar articulation of materials as the street-facing east elevation. The main roof extends further north and south with the proposed changes, presenting a larger contiguous volume without interruption.

In lieu of the gable roof over the terrace, a pergola is proposed to give visual interest, define the terrace space, bring depth along the face of the building, and provide patrons with the ability to control their environment through shade umbrellas. The pergola is designed to match the nearby pergola over the outdoor kitchen amenity space while feeling a part to the building with its brick pier bases.

### **South Elevation**

The south elevation is most unchanged. The proportions of the volumes and roofs has changed a moderate degree. Windows were rearranged to reflect interior plan changes and the alterations of the social room volume and terrace covering are visible. The roof slopes have been reduced from 8:12 to 7:12. A louver in the gable end brings interest to the attic story. The introduction of ashlar limestone at the social room viewed in the distance on the left side adds a nice touch of change in material and interest.

### **SITE PLAN**

The proposed changes are a result of revisions to the building footprint and design development of the adjacent outdoor amenity space. The revisions reflect coordination across architecture and civil engineering. No substantial changes to the site plan are proposed.

### **LANDSCAPE PLAN**

The proposed changes are a result of revisions to the building footprint and design development of the adjacent outdoor amenity space. The revisions reflect coordination across architecture and landscape architecture. No substantial changes to the landscape plan are proposed.

## **BUDGET IMPACT:**

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## REQUESTED ACTION:

Regarding Case Number 2021-0031, also known as Orland Ridge Clubhouse, I move to accept and make findings of fact for an Amendment to the Development Agreement and Revised Referenced Exhibits for Elevations, Site Plan, and Landscape Plan as discussed at this Plan Commission meeting and within this staff report, dated April 6, 2021. The previous approvals for Orland Ridge, approved at the April 1, 2019; April 6, 2020; and August 17, 2020 Village Board of Trustees meeting shall remain in effect, except those amended in the following motion.

And

I move to recommend to the Village Board of Trustees to approve amending the development agreement and revised referenced exhibits for elevations, site plan, and landscape plan. The previous approvals for Orland Ridge, approved at the April 1, 2019; April 6, 2020; and August 17, 2020 Village Board of Trustees meeting shall remain in effect, except those amended in the following motions.

And

I move to recommend to the Village Board of Trustees to approve the black and white clubhouse elevations sheets A-4.0 "Elevation East & North," and A-4.1 "Elevation West & South," and the color rendered clubhouse elevations sheets A-4.0 "Elevation East & North," and A-4.1 "Elevation West & South" prepared by LindenGroup, Inc, dated last revision March 26, 2021.

And

I move to recommend to the Village Board of Trustees to approve the Preliminary Site Plan titled "Community Building and Pool Area Improvement Plans" sheets C1.0-C2.1 prepared by Kimley Horn and Associates, dated January 22, 2021 in addition to previous site plan exhibits for Orland Ridge approved April 1, 2019; August 6, 2020; and August 17, 2020.

And

I move to recommend to the Village Board of Trustees to approve the Preliminary Landscape Plan titled "Community Building and Pool Area Improvement Plans" sheets L1.0.0-L4.0 prepared by Kimley Horn and Associates, dated January 22, 2021 in addition to previous landscape plan exhibits for Orland Ridge approved April 1, 2019; August 6, 2020; and August 17, 2020

---



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 DEVELOPMENT CORPORATION

**ORLAND RIDGE**  
 MIXED USE DEVELOPMENT  
 171<sup>ST</sup> & La Grange Road  
 Orland Park, IL 60467

DATE: 2019-08-23  
 DATE: 2019-09-13  
 DATE: 2020-04-06  
 DATE: 2021-03-26

DESCRIPTION:  
 PROCESS REVIEW SET  
 ISSUED FOR BIDDING & PERMIT  
 ISSUED FOR OWNER REVISIONS & BIDDING  
 ISSUED FOR TOWN REVIEW

**2019-0041**  
 PROJECT NUMBER

FILE NUMBER:  
**2019-09-13**  
 DATE:  
**KWY**  
 DRAWN BY:  
**RJW**  
 FINAL REVIEW

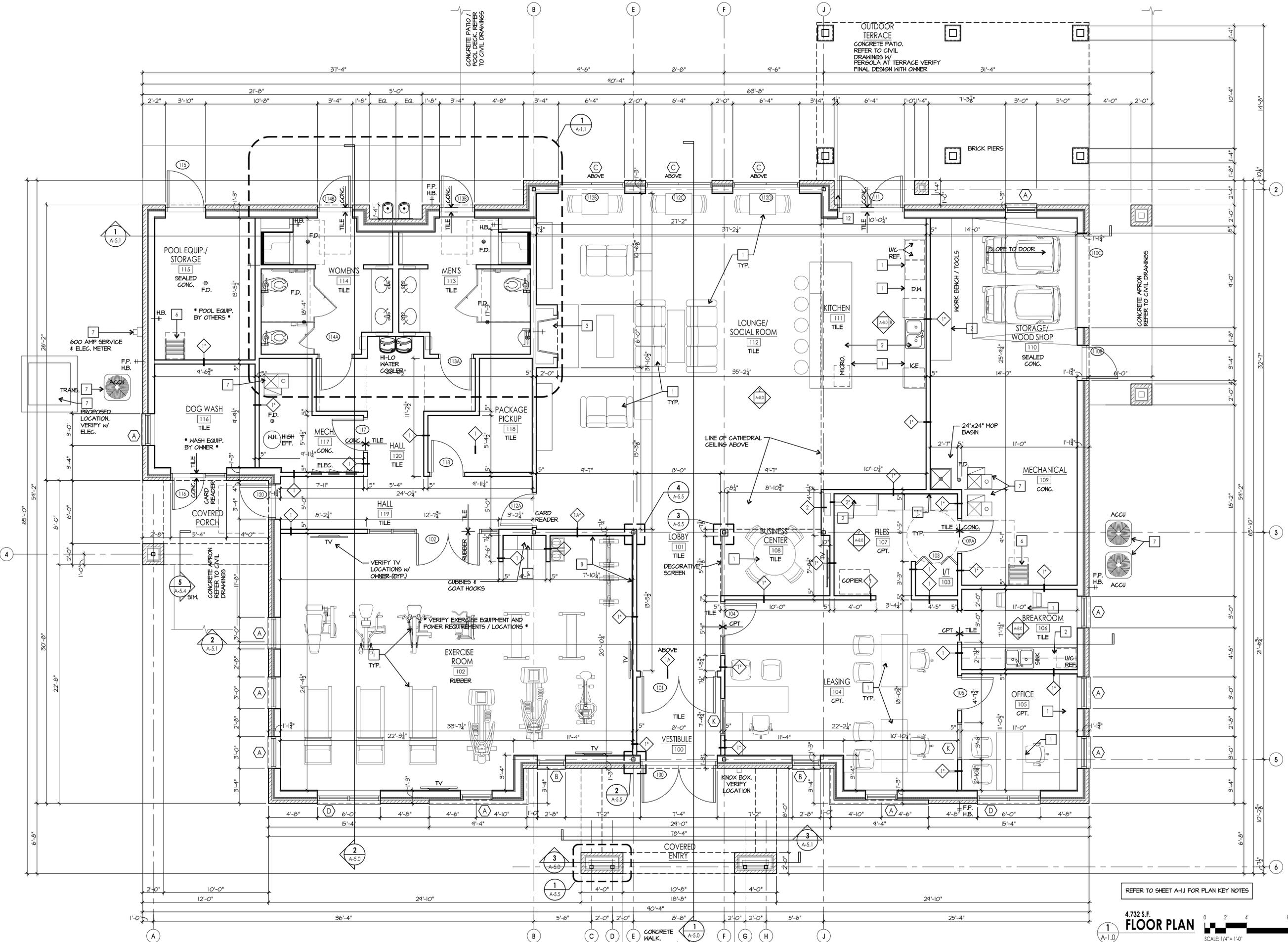
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**FLOOR PLAN**

SHEET NAME

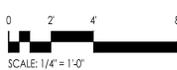
**A-1.0**

SHEET OF



REFER TO SHEET A-11 FOR PLAN KEY NOTES

4,732 S.F.  
**FLOOR PLAN**



1  
 A-1.0

P:\2019\2019-0041\Orland Ridge\Plan\Construction\Drawings\2019-0041\_A-1.0\_Floor\_Plan.dwg 3/7/2021 10:53 AM RWZ/SDJ/S A-1.0  
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2019-09-13  
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2021-03-26  
DRAWN: KRW  
DATE: 2019-08-23  
2019-09-13  
2020-04-06  
2021-03-26  
DESCRIPTION: PROCESS REVIEW SET  
ISSUED FOR BIDDING & PERMIT  
ISSUED FOR OWNER REVISIONS & BIDDING  
ISSUED FOR TOWNING REVIEW

2019-0041  
PROJECT NUMBER

2019-09-13  
DATE

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RJW  
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**ELEVATION  
EAST & NORTH**

SHEET NAME

**A-4.0**

SHEET

OF



**1 CLUBHOUSE EAST ELEVATION**  
A-4.0 1/4" = 1'-0"



**2 CLUBHOUSE NORTH ELEVATION**  
A-4.0 1/4" = 1'-0"

P:\2019\2019-0041\Drawings\Title\Clubhouse - Documents\Architectural\Clubhouse\2019-0041\_A-4.0\_Drawings.dwg 3/26/2021 10:24 AM RRESZLIS A-4.0



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ISSUED FOR TOWNING REVIEW

2019-0041  
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ELEVATION  
WEST & SOUTH

SHEET NAME

**A-4.1**

SHEET OF



1 CLUBHOUSE WEST ELEVATION  
A-4.1 1/4" = 1'-0"



2 CLUBHOUSE SOUTH ELEVATION  
A-4.1 1/4" = 1'-0"

P:\2019\2019-0041\Drawing Files\Construction Documents\Architectural\Clubhouse\2019-0041\_A-4.1\_South.dwg, 3/26/2021 10:55 AM RNSZDZIS A-4.1



1 CLUBHOUSE EAST ELEVATION  
A-4.0 1/4" = 1'-0"



2 CLUBHOUSE NORTH ELEVATION  
A-4.0 1/4" = 1'-0"



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2019-08-23	KWY	PROGRESS REVIEW SET
2019-09-13	KWY	ISSUED FOR BIDDING & PERMIT
2020-04-06	KWY	ISSUED FOR OWNER REVISIONS & BIDDING
2021-03-11	RJW	ISSUED FOR ZONING REVIEW
2021-03-26	RJW	ISSUED FOR ZONING REVIEW

**2019-0041**  
PROJECT NUMBER

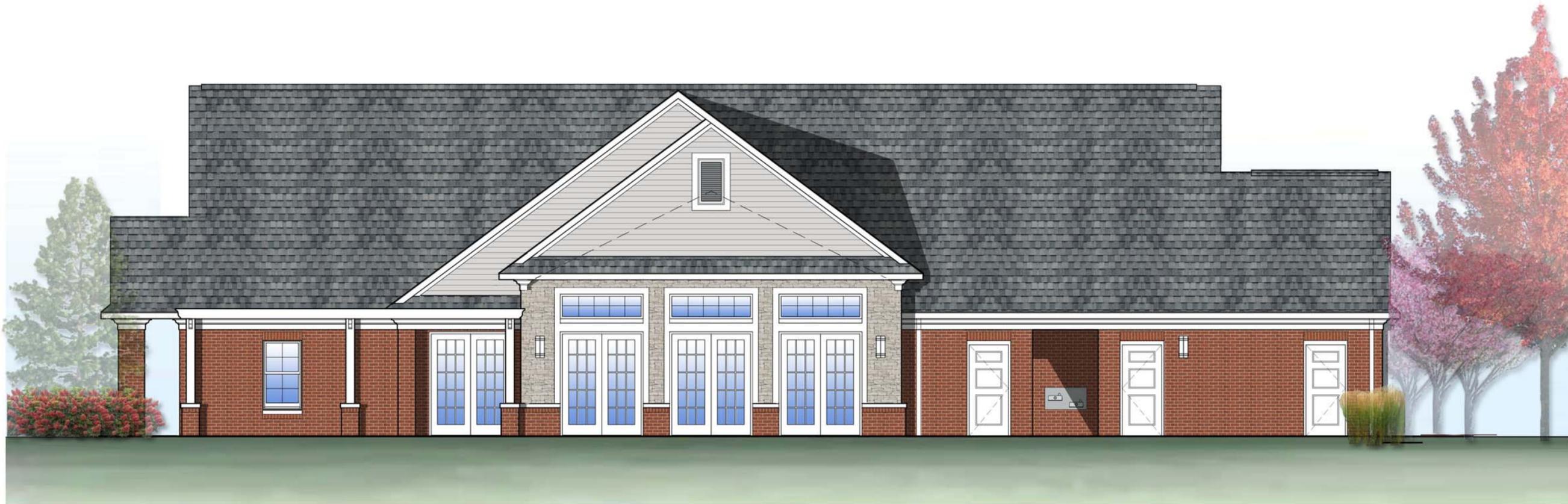
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DATE  
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**ELEVATION**  
**EAST & NORTH**

SHEET NAME  
**A-4.0**  
SHEET

SHEET OF



1 CLUBHOUSE WEST ELEVATION  
A-4.1 1/4" = 1'-0"



2 CLUBHOUSE SOUTH ELEVATION  
A-4.1 1/4" = 1'-0"



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2019-0041  
PROJECT NUMBER

2021-03-26  
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**ELEVATION**  
**WEST & SOUTH**

SHEET NAME

**A-4.1**

SHEET OF

# COMMUNITY BUILDING AND POOL AREA IMPROVEMENT PLANS

## ORLAND RIDGE DEVELOPMENT

### NEC OF LAGRANGE ROAD & 171ST STREET ORLAND PARK, ILLINOIS 60487

#### UTILITY AND GOVERNING AGENCY CONTACTS

**DEVELOPMENT SERVICES**  
 VILLAGE OF ORLAND PARK  
 14700 S RAVINIA AVE  
 ORLAND PARK, IL 60462  
 TEL: (708) 403-5300  
 CONTACT: KHURSHID HODA

**WATER SERVICE**  
 ILLINOIS AMERICAN WATER  
 1406 CARDINAL CT  
 URBANA, IL 61801  
 TEL: (800) 422-2782  
 CONTACT: RAYMOND FOWLER

**POWER COMPANY**  
 COMED  
 3 LINCOLN CENTER  
 OAK BROOK TERRACE, IL 60181  
 TEL: (630) 437-4130

**NATURAL GAS COMPANY**  
 NICOR GAS COMPANY  
 90 NORTH FINLEY ROAD  
 GLEN ELLYN, IL 60137  
 TEL: (888) 388-2112

**TELEPHONE**  
 AT&T ILLINOIS  
 1001 COMMERCE DRIVE  
 OAK BROOK, IL 60523  
 TEL: (630) 573-6434

#### PROJECT TEAM

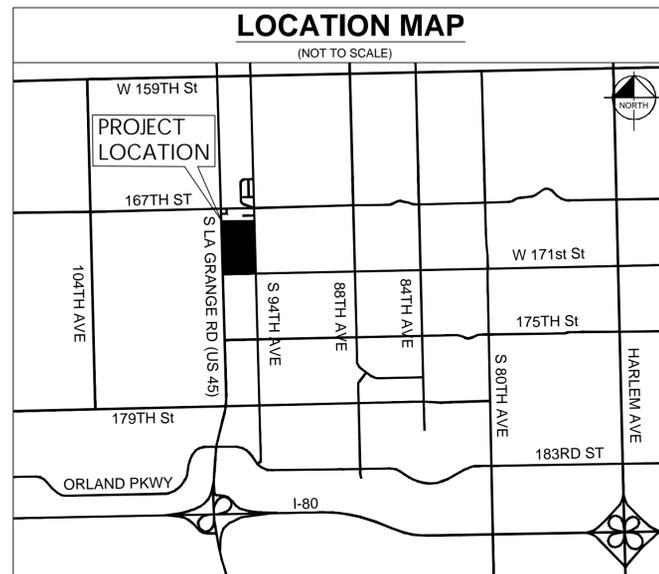
**DEVELOPER**  
 S.R. JACOBSON DEVELOPMENT CORP.  
 32400 TELEGRAPH ROAD, SUITE 200A  
 BINGHAM FARMS, MI 48025  
 TEL: (248) 642-4700  
 CONTACT: MANNY KIANICKY

**SURVEYOR**  
 LANDMARK ENGINEERING, LLC  
 7808 WEST 103RD STREET  
 PALOS HILLS, IL 60465  
 TEL: (708) 599-3737  
 CONTACT: MARK LANDSTROM, PE, PLS

**CIVIL ENGINEER**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
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 WARRENVILLE, IL 60555  
 TEL: (630) 487-5550  
 EMAIL: DREW.WALKER@KIMLEY-HORN.COM  
 CONTACT: DREW WALKER, PE  
 EMAIL: TAYLOR.ESCHBACH@KIMLEY-HORN.COM  
 CONTACT: TAYLOR ESCHBACH, PE

**LANDSCAPE ARCHITECT**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
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 TEL: (630) 487-5550  
 EMAIL: DANIEL.GROVE@KIMLEY-HORN.COM  
 CONTACT: DANIEL GROVE, P.L.A.  
 EMAIL: AMANDA.FOLTA@KIMLEY-HORN.COM  
 CONTACT: AMANDA FOLTA

**TRAFFIC ENGINEER**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 4201 WINFIELD RD, SUITE 600  
 WARRENVILLE, IL 60555  
 (630) 487-5550  
 EMAIL: RORY.FANCLER@KIMLEY-HORN.COM  
 CONTACT: RORY FANCLER, AICP, PTP



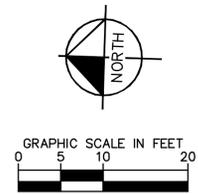
BENCHMARKS	
SITE BENCHMARKS: (LOCATIONS SHOWN ON SURVEY)	
BENCHMARK #1	CUT SQUARE ON CONCRETE CURB ELEVATION: 723.78 NAVD88
BENCHMARK #2	CUT SQUARE ELEVATION: 727.99 NAVD88
BENCHMARK #3	CUT SQUARE ON CONCRETE WALL ELEVATION: 717.69 NAVD88

Sheet List Table	
Sheet Number	Sheet Title
L0.0	COVER SHEET
L1.0	HARDSCAPE AND LAYOUT PLAN
L2.0	FURNISHING AND MATERIAL SCHEDULE
L2.1	CONSTRUCTION DETAILS
L2.2	CONSTRUCTION DETAILS
L3.0	LANDSCAPE AND PLANTING PLAN
L4.0	NOTES AND DETAILS
E1.0	ELECTRICAL PLAN
M1.0	MECHANICAL PLAN
C1.0	CIVIL SITE PLAN
C2.0	EROSION CONTROL PLAN
C2.1	EROSION CONTROL DETAILS

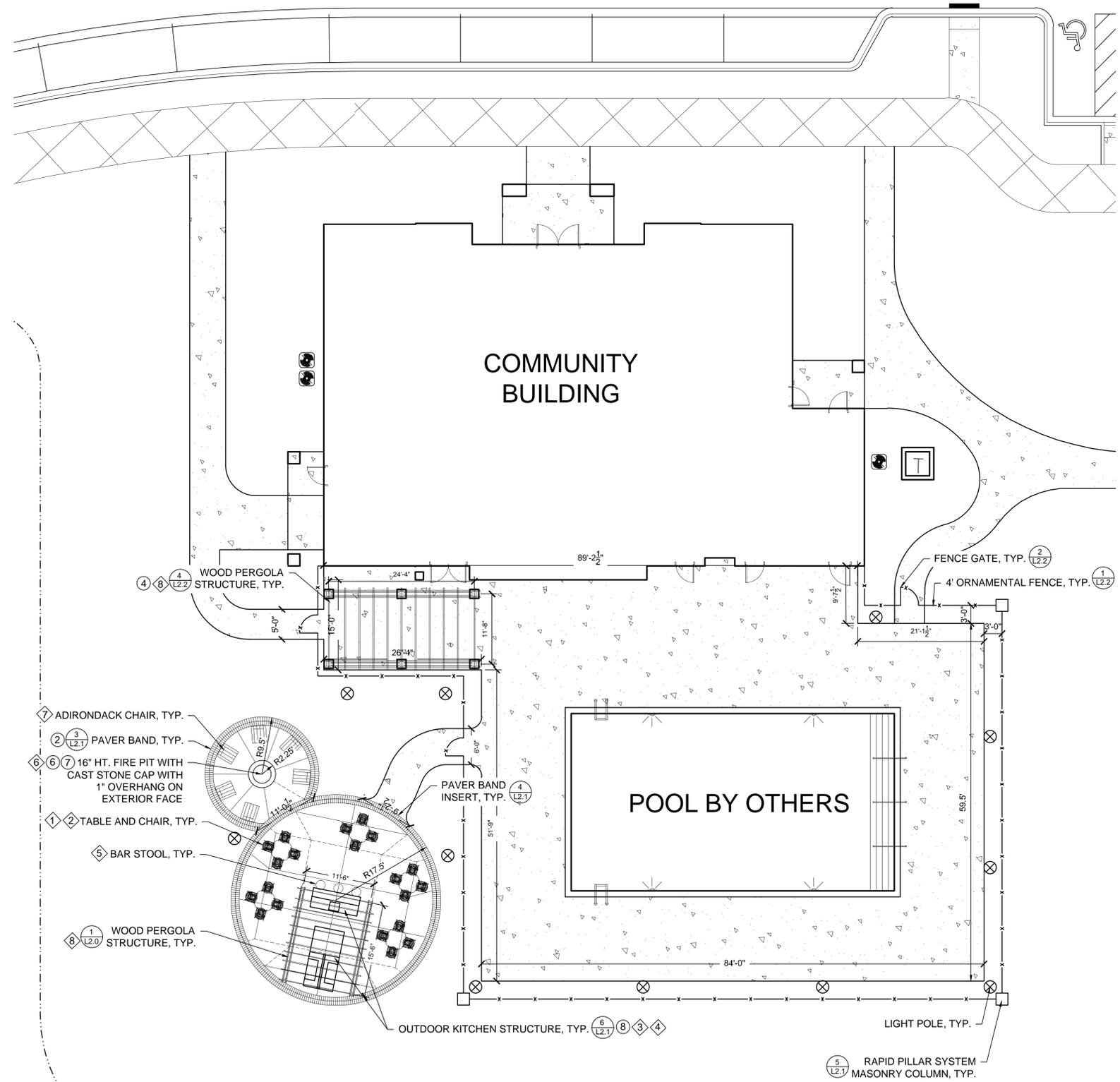
Drawing name: K:\CHS\_LBEV\168626000\_01\_Jacobson\_serious park\_IL\2\_Design\CAD\Utilities\Club House\_Amenity Plans\LOD Club House\_Landscape\_Cover\_Sheet.dwg  
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<small>SCALE: AS NOTED</small> <small>DESIGNED BY: TRE</small> <small>DRAWN BY: JDC</small> <small>CHECKED BY: WAW</small>	<small>REVISIONS</small> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	DATE	BY							
No.	DATE	BY									

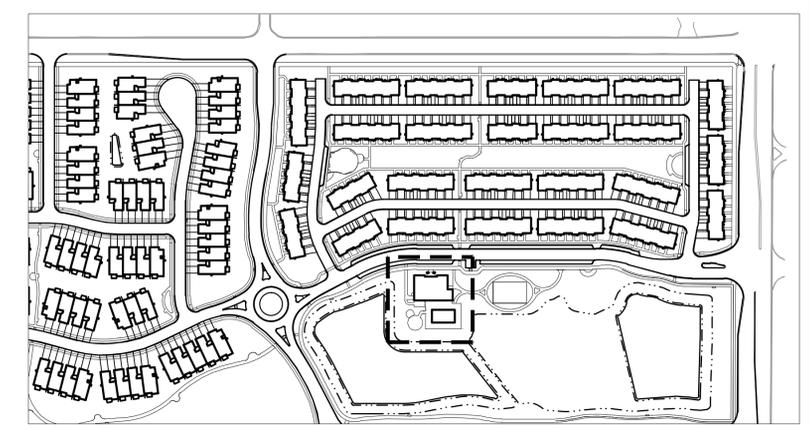
Drawing name: K:\CHS\_LDEVA\168626000\_ar\_jacobson\_serious\_park\_IL\2\_Design\CAD\Utilities\Club House Amenity Plans\L1.0 CLUB HOUSE HARDSCAPE PLAN.dwg Mar 04, 2021 7:07pm by: Amadea.Felto  
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**1-800-892-0123**  
**JULIE**



COMMUNITY BUILDING AMENITY AREA - LAYOUT & HARDSCAPE



LOCATION MAP NOT TO SCALE

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SCALE: AS NOTED DESIGNED BY: TRE DRAWN BY: JDC CHECKED BY: WAW	REVISIONS: No. DATE BY
<b>HARDSCAPE AND LAYOUT PLAN</b>	
<b>ORLAND RIDGE</b> LAGRANGE ROAD & 171ST STREET ORLAND PARK, IL 60487	
ORIGINAL ISSUE: 01/22/2021 KHA PROJECT NO. 168626000 SHEET NUMBER	
<b>L1.0</b>	

Drawing name: K:\CHS\_LBEV\168626000\_01\_22\Design\CAD\Drawings\Club House Amenity Plans\L2.0 Club House Pergola Details.dwg L2.0 FURNISHING AND MATERIAL SCHEDULE Mar 04, 2021 7:07pm by: Anonymous  
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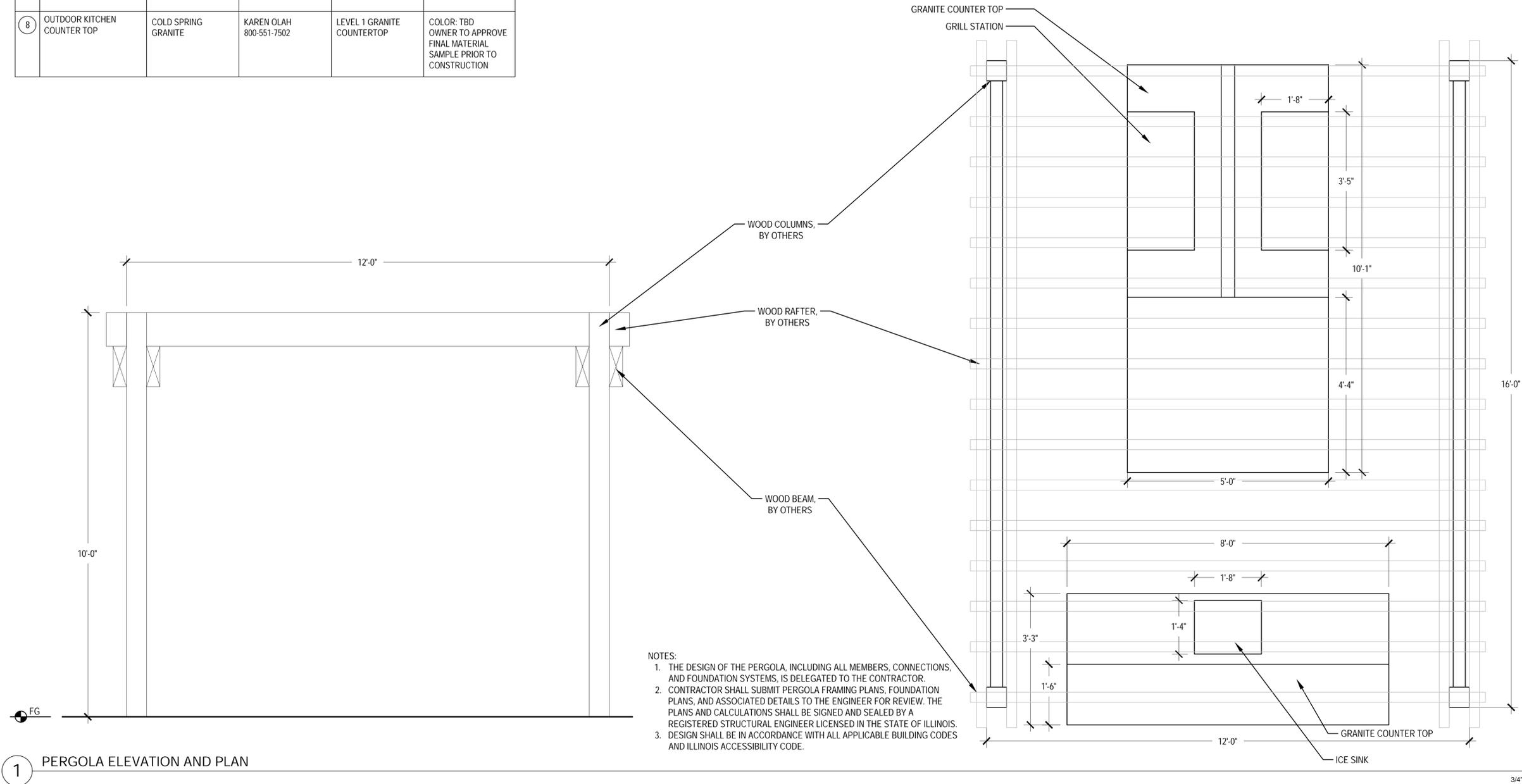
## Materials List

	DESCRIPTION	DISTRIBUTOR	CONTACT	ITEM	FINISH
1	CONCRETE PAVING	-	-	-	CALIFORNIA FINISH (SEE DETAIL #1 SHEET L2.1)
2	UNIT PAVER BAND	UNILOCK	JOEL ROSS 630-892-9191	TOWN HALL	BASALT (SEE DETAIL #3 ON SHEET L2.1)
3	UCARA	UNILOCK	JOEL ROSS 630-892-9191	FASCIA PANEL	UMBRIANO FRENCH GREY
4	MASONRY COLUMNS	UNILOCK	JOEL ROSS 630-892-9191	RIVERCREST	COASTAL SLATE
5	FIRE PIT	UNILOCK	JOEL ROSS 630-892-9191	BRUSSELS DIMENSIONAL STONE	MIDNIGHT CHARCOAL
6	FIRE PIT CAP STONE	LURVEY LANDSCAPE SUPPLY	DANIEL WOOD 815-363-4420	CAST STONE TOP	
7	FIRE PIT LAVA ROCK	FIREGEAR OUTDOORS	WWW.FIREGEAROUTDOORS.COM 888-672-8929	LAVA ROCK BASE / LAVA STONE TOP	
8	OUTDOOR KITCHEN COUNTER TOP	COLD SPRING GRANITE	KAREN OLAH 800-551-7502	LEVEL 1 GRANITE COUNTERTOP	COLOR: TBD OWNER TO APPROVE FINAL MATERIAL SAMPLE PRIOR TO CONSTRUCTION

## Site Furnishings Schedule

ITEM	DESCRIPTION	QUANTITY	MANUFACTURER	CONTACT	MODEL	COLOR	NOTES
1	OUTDOOR TABLE	5	LANDSCAPE FORMS	JENNIFER WOODS 800-430-6206 X1336	CHIPMAN, FREESTANDING	STEEL	-
2	OUTDOOR CHAIR	20	LANDSCAPE FORMS	JENNIFER WOODS 800-430-6206 X1336	CHIPMAN ARMLESS	STEEL	-
3	BUILT-IN GRILL	2	COYOTE OUTDOOR LIVING	WWW.COYOTEOUTDOOR.COM 855-520-1559	C1C36	STAINLESS STEEL	-
4	CABINET DOORS	2	COYOTE OUTDOOR LIVING	WWW.COYOTEOUTDOOR.COM 855-520-1559	CDA2431	STAINLESS STEEL	-
5	BAR STOOL	3	LANDSCAPE FORMS	JENNIFER WOODS 800-430-6206 X1336	CHIPMAN BAR HEIGHT ARMLESS	STEEL	-
6	FIRE PIT	1	FIREGEAR OUTDOORS	WWW.FIREGEAROUTDOORS.COM 888-672-8929	FIRE PIT KIT FPB-34DF31MTN	-	SEE MANUFACTURERS SPECIFICATION FOR INSTALLATION
7	ADIRONDACK CHAIR	6	DESIGN WITHIN REACH	WWW.DWR.COM 800-944-2233	ADIRONDACK CHAIR - STANDARD	NAVY	-
8	WOOD PERGOLA STRUCTURE	1	CUSTOM	-	-	-	-

**NOTE:**  
FINAL SITE AMENITY LOCATIONS TO BE CHECKED AND APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.



- NOTES:**
1. THE DESIGN OF THE PERGOLA, INCLUDING ALL MEMBERS, CONNECTIONS, AND FOUNDATION SYSTEMS, IS DELEGATED TO THE CONTRACTOR.
  2. CONTRACTOR SHALL SUBMIT PERGOLA FRAMING PLANS, FOUNDATION PLANS, AND ASSOCIATED DETAILS TO THE ENGINEER FOR REVIEW. THE PLANS AND CALCULATIONS SHALL BE SIGNED AND SEALED BY A REGISTERED STRUCTURAL ENGINEER LICENSED IN THE STATE OF ILLINOIS.
  3. DESIGN SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND ILLINOIS ACCESSIBILITY CODE.

1 PERGOLA ELEVATION AND PLAN

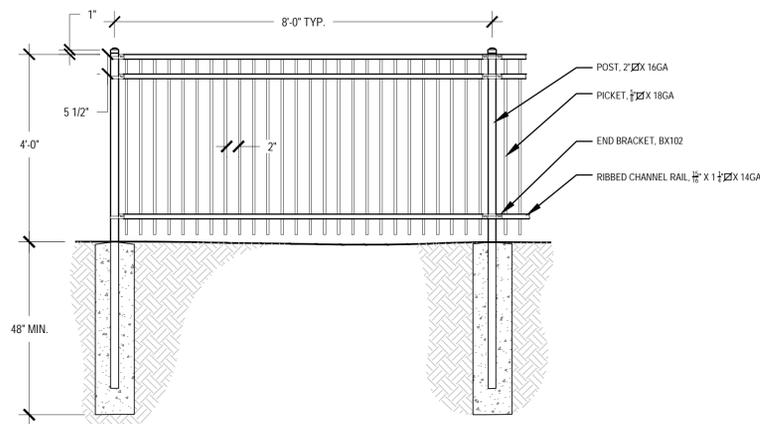
3/4" = 1'-0"



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<p style="font-size: 12px; margin: 0;"><b>FURNISHING AND MATERIAL SCHEDULE</b></p>	<p style="font-size: 12px; margin: 0;"><b>ORLAND RIDGE</b> LAGRANGE ROAD &amp; 171ST STREET ORLAND PARK, IL 60487</p>
<p style="font-size: 8px; margin: 0;">ORIGINAL ISSUE: 01/22/2021 KHA PROJECT NO. 168626000 SHEET NUMBER</p>	
<p style="font-size: 18px; margin: 0;"><b>L2.0</b></p>	
<p style="font-size: 8px; margin: 0;">REVISIONS</p>	<p style="font-size: 8px; margin: 0;">DATE BY</p>



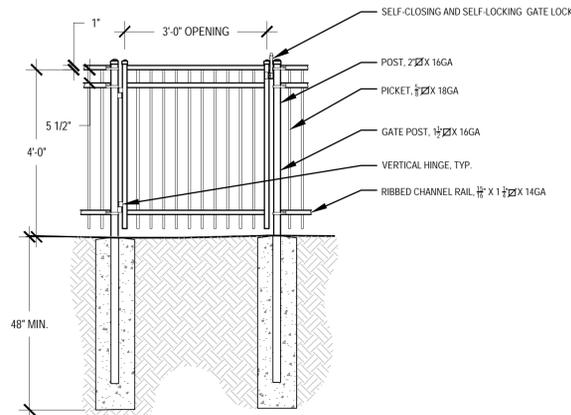
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- NOTES:
1. TYPICAL FENCE DETAIL. REFER TO MANUFACTURERS SPECIFICATIONS.
  2. POST SIZE VARIES BY FENCE HEIGHT AND WIND LOAD.
  3. CONCRETE FOOTING VARIES BASED ON LOCAL SOIL CONDITIONS.
  4. BOTTOM OF FENCE SHALL NOT EXCEED 4" ABOVE FINISHED GRADE.

1 4' ORNAMENTAL METAL FENCE

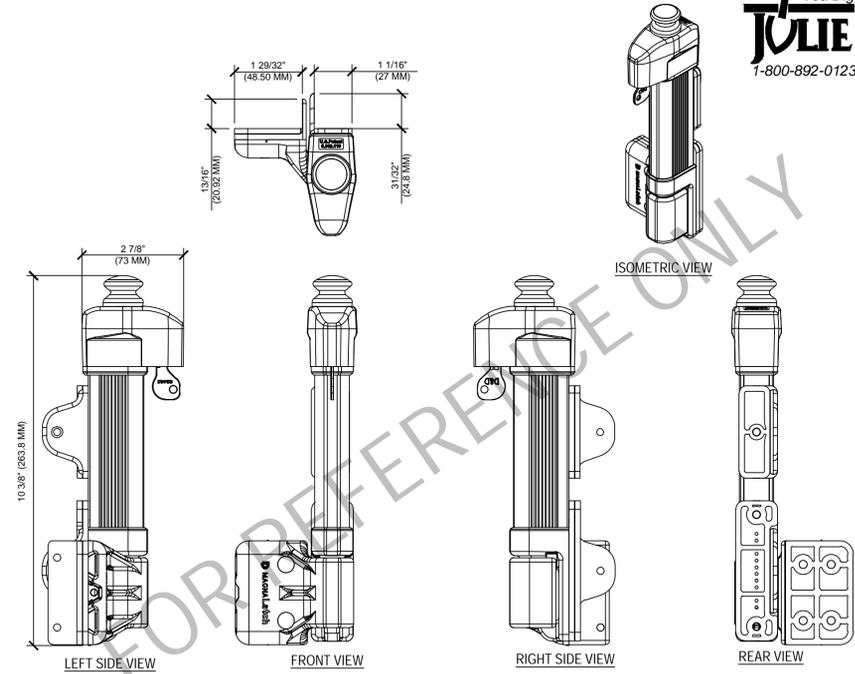
1" = 2'-0"



- NOTES:
1. TYPICAL GATE DETAIL. REFER TO MANUFACTURERS SPECIFICATIONS.
  2. POST SIZE VARIES BY FENCE HEIGHT AND WIND LOAD.
  3. CONCRETE FOOTING VARIES BASED ON LOCAL SOIL CONDITIONS.

2 4' ORNAMENTAL GATE WITH LOCK

1" = 2'-0"

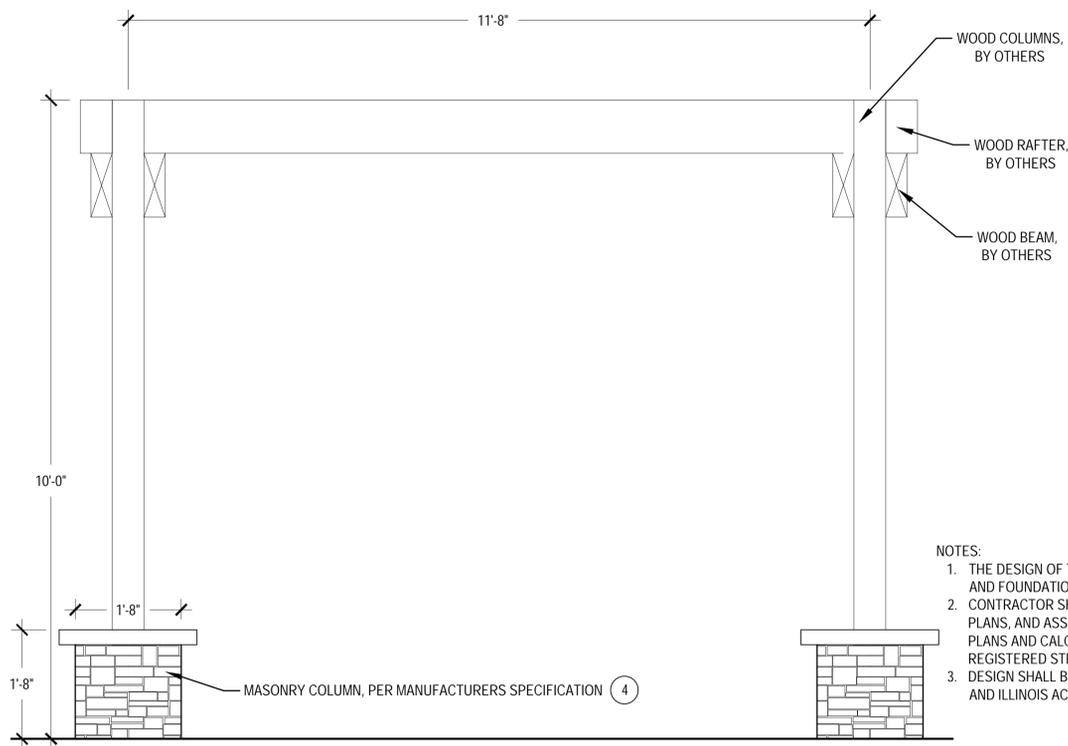


- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWING.
  3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 4789-116.

3 MAGNALATCH CHILD SAFETY GATE LATCH

MAGNALATCH® VERTICAL PULL - M.VPS2BGA

NTS



- NOTES:
1. THE DESIGN OF THE PERGOLA, INCLUDING ALL MEMBERS, CONNECTIONS, AND FOUNDATION SYSTEMS, IS DELEGATED TO THE CONTRACTOR.
  2. CONTRACTOR SHALL SUBMIT PERGOLA FRAMING PLANS, FOUNDATION PLANS, AND ASSOCIATED DETAILS TO THE ENGINEER FOR REVIEW. THE PLANS AND CALCULATIONS SHALL BE SIGNED AND SEALED BY A REGISTERED STRUCTURAL ENGINEER LICENSED IN THE STATE OF ILLINOIS.
  3. DESIGN SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND ILLINOIS ACCESSIBILITY CODE.

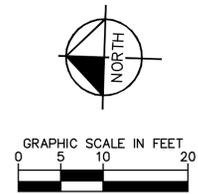
4 CLUB HOUSE PERGOLA ELEVATION

3/4" = 1'-0"

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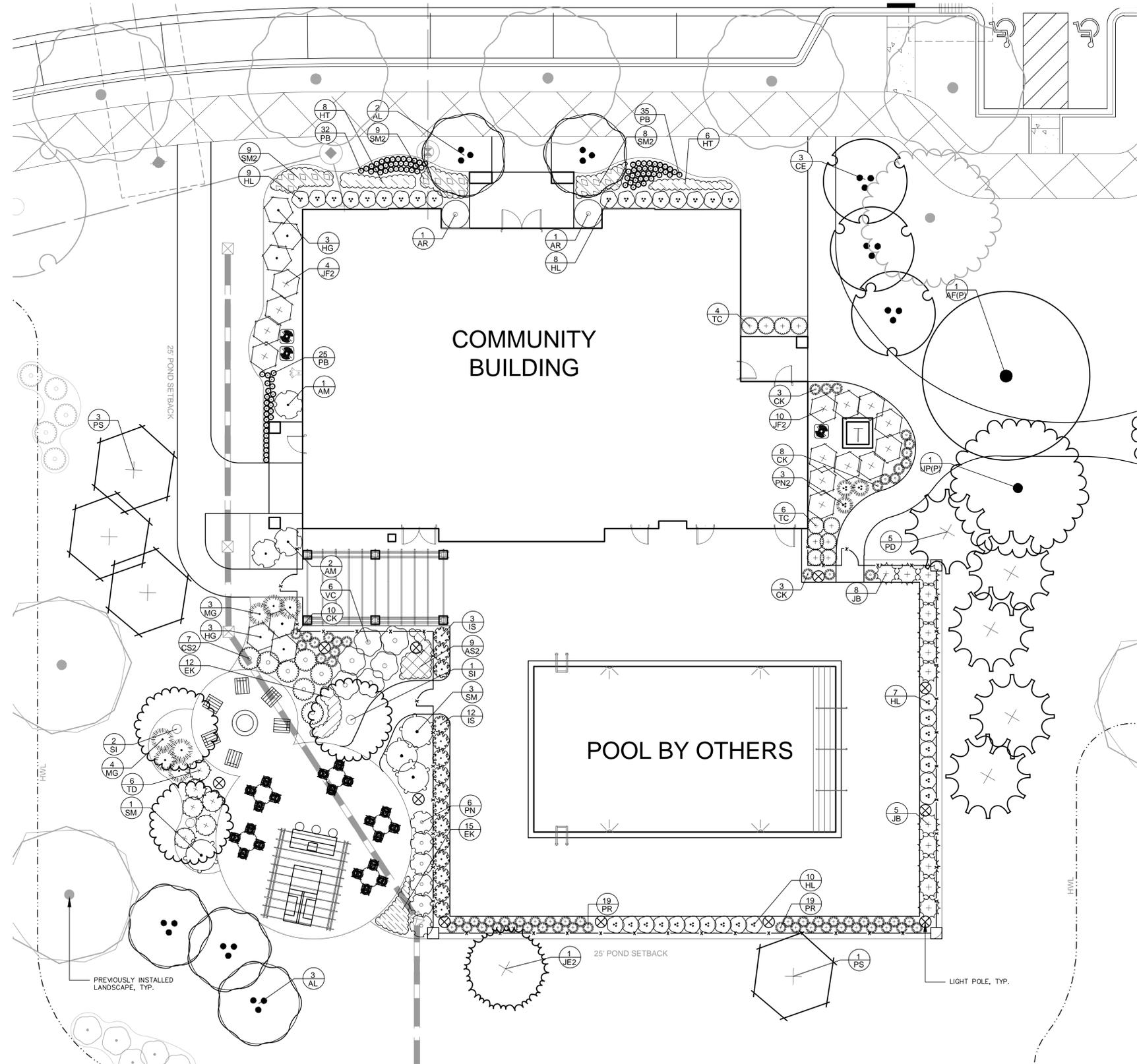
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<b>S.R. JACOBSON</b>			
<b>CONSTRUCTION DETAILS</b>			
<b>ORLAND RIDGE</b> LAGRANGE ROAD & 171ST STREET ORLAND PARK, IL 60487			
ORIGINAL ISSUE: 01/22/2021			
KHA PROJECT NO. 168626000			
SHEET NUMBER			
<b>L2.2</b>			
No.	REVISIONS	DATE	BY

Drawing name: K:\CHS\_LDEV\168626000-ar\_jacobson\_serious\_park\_1\2\_Design\CAD\Utilities\Club House Amenity Plans\L3.0 CLUBHOUSE SITE PLAN AND LAYOUT Mar 04, 2021 7:07pm by: Amanda.Foto  
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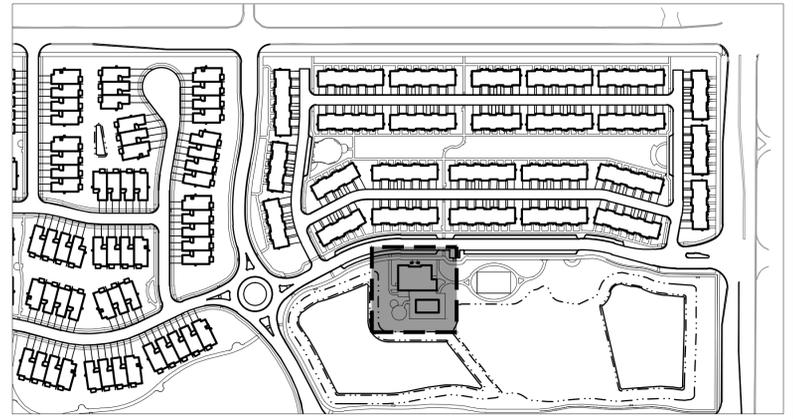


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\*NOTE: 2 ORNAMENTAL TREES, 33 SHRUBS, 92 GRASSES AND 40 PERENNIALS ARE PROVIDED ALONG THE CLUB HOUSE FOUNDATION PER CODE REQUIREMENTS  
 SEE SHEET L4.0 FOR FOUNDATION LANDSCAPE CODE REQUIREMENTS



COMMUNITY BUILDING AMENITY AREA - LAYOUT & LANDSCAPE



LOCATION MAP NOT TO SCALE

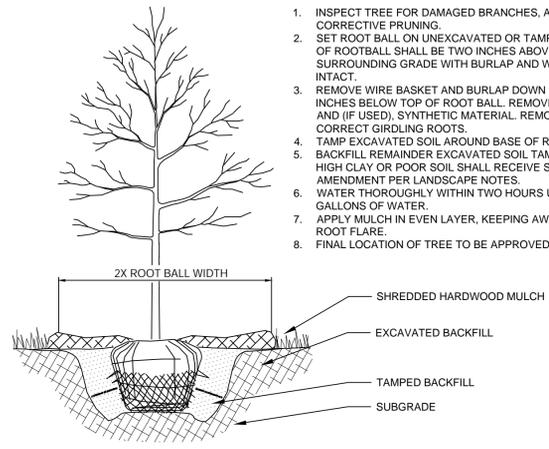
SCALE: AS NOTED DESIGNED BY: TRE DRAWN BY: JDC CHECKED BY: WAW	<b>Kimley»Horn</b> <small>© 2021 KIMLEY-HORN AND ASSOCIATES, INC.          4201 WINFIELD ROAD, SUITE 600,          WARRENVILLE, IL 60555          WWW.KIMLEY-HORN.COM</small>	No. _____ REVISIONS _____ DATE _____ BY _____
<b>S.R. JACOBSON</b> LANDSCAPE ARCHITECT		
<b>LANDSCAPE AND PLANTING PLAN</b>		
<b>ORLAND RIDGE</b> LAGRANGE ROAD & 171ST STREET ORLAND PARK, IL 60487		
ORIGINAL ISSUE: 01/22/2021 KHA PROJECT NO. 168626000 SHEET NUMBER		
<b>L3.0</b>		

Drawing name: K:\ORLAND\168626000\_01\2 Design\CAD\Utilities\Club House Amenity Plans\L3.0 CLUB HOUSE LANDSCAPE PLAN.dwg L4.0 NOTES AND DETAILS Mar 04, 2021 7:54pm by TaylorEshbach  
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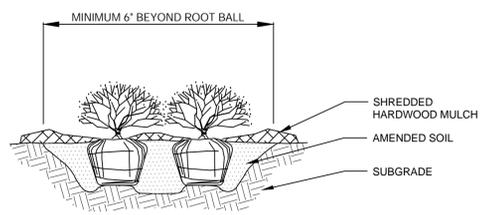


**NOTES:**

1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



**1 TREE PLANTING** NTS



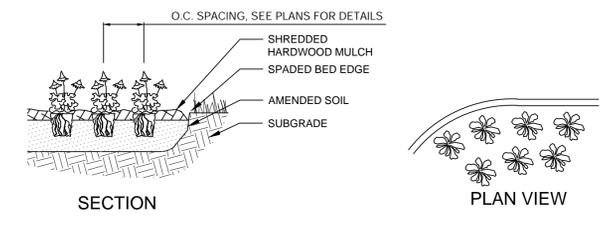
**NOTES:**

1. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4. REMOVE OR CORRECT GIRDLING ROOTS.
5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.

**2 SHRUB PLANTING** NTS

**NOTES:**

1. EXCAVATE PLANTING BED.
2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
4. PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUSIBLE.
5. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUNDCOVER EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.
7. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.



**3 PERENNIAL PLANTING** NTS

**LANDSCAPE NOTES**

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHANGUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
9. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
10. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
11. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
12. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
13. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
14. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

**PLANT SCHEDULE**

EVERGREEN TREES		CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	JE2	1	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	B & B		6' HT MIN	
	JF2	14	JUNIPERUS CHINENSIS 'FAIRVIEW' / FAIRVIEW JUNIPER	B & B		6' HT MIN	
	PD	5	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	B & B		6' HT MIN	
	PS	4	PINUS STROBUS / WHITE PINE	B & B		6' HT MIN	
ORNAMENTAL TREES		CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AL	5	AMELANCHIER LAEVIS 'LUSTRE' / LUSTRE ALLEGHENY SERVICEBERRY	B & B	MULTI-TRUNK	6' HT MIN	
	CE	3	CERCIS CANADENSIS / EASTERN REDBUD	B & B	MULTI-TRUNK	6' HT MIN	
	SI	3	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B & B	MULTI-TRUNK	6' HT MIN	
PARKWAY REPLACEMENT TREES		CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AF(P)	1	ACER RUBRUM 'FRANK JR.' / REDPOINTE MAPLE	B & B		4" CAL MIN	
	UP(P)	1	ULMUS AMERICANA 'PRINCETON' / AMERICAN ELM	B & B		2.5" CAL MIN	
SHRUBS		CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	AM	3	ARONIA MELANOCARPA 'MORTON' TM / IROQUOIS BEAUTY BLACK CHOKEBERRY	-	SEE PLAN		24" HT MIN
	AR	2	VIBURNUM OPULUS VAR. AMERICANUM / AMERICAN CRANBERRY-BUSH	-	SEE PLAN		24" HT MIN
	CS2	7	CORNUS SERICEA 'CARDINAL' / 'CARDINAL' RED-TWIG DOGWOOD	-	SEE PLAN		36" HT MIN
	HG	6	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS' / OAKLEAF HYDRANGEA	-	SEE PLAN		24" HT MIN
	HL	34	HYDRANGEA PANICULATA 'LITTLE LIME' / LITTLE LIME HYDRANGEA	-	SEE PLAN		18" HT MIN
	IS	15	ILEX GLABRA 'SHAMROCK' / INKBERRY	-	SEE PLAN		18" HT MIN
	JB	13	JUNIPERUS SABINA 'BLUE FOREST' / BLUE FOREST JUNIPER	-	SEE PLAN		24" SPREAD
	PN	6	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE' / SUMMER WINE NINEBARK	-	SEE PLAN		36" HT MIN
	SM	4	SYRINGA MEYERI 'PALUBIN' / DWARF KOREAN LILAC	-	SEE PLAN		36" HT MIN
	TC	10	THUJA OCCIDENTALIS 'CONGABE' TM / FIRE CHIEF ARBORVITAE	-	SEE PLAN		24" HT MIN
	TD	6	TAXUS X MEDIA 'DENSIFORMIS' / DENSE YEW	-	SEE PLAN		24" HT MIN
	VC	6	VIBURNUM CARLESII / KOREAN SPICE VIBURNUM	-	SEE PLAN		24" HT MIN
GRASSES		CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CK	24	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	#1	SEE PLAN		
	MG	7	MISCANTHUS SINENSIS 'GRACILLIMUS' / MAIDEN GRASS	#2	SEE PLAN		
	PB	92	PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY' / BURGUNDY BUNNY DWARF FOUNTAIN GRASS	#1	SEE PLAN		
	PN2	3	PANICUM VIRGATUM 'NORTHWIND' / SWITCH GRASS	#1	SEE PLAN		
	PR	38	PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH SWITCH GRASS	#2	SEE PLAN		
PERENNIALS AND GRASSES		CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	AS2	9	ALLIUM X 'SUMMER BEAUTY' / SUMMER BEAUTY ALLIUM	#1		24" o.c.	
	EK	27	ECHINACEA PURPUREA 'KIM S KNEE HIGH' TM / PURPLE CONEFLOWER	#1		18" o.c.	
	HT	14	HELIOPSIS HELIANTHOIDES 'TUSCAN SUN' / FALSE SUNFLOWER	#1		24" o.c.	
	SM2	26	SALVIA NEMOROSA 'MAY NIGHT' / MAY NIGHT SAGE	#1		24" o.c.	

LANDSCAPE CALCULATIONS		
ORDINANCE	REQUIREMENT	LANDSCAPE PROVIDED
6-305-D.5a-FOUNDATION LANDSCAPING	A MINIMUM 7' WIDE FOUNDATION LANDSCAPE AREA SHALL BE PROVIDED ALONG 50% OF ALL BUILDING FACADES NOT FRONTING A PUBLIC STREET. ON AVERAGE, A MINIMUM OF 1 ORNAMENTAL TREE AND 16 SHRUBS OR ORNAMENTAL GRASSES MUST BE PROVIDED FOR EVERY 100' OF BUILDING FACE.  TOTAL BUILDING LENGTH = 308.58 LF 308.58 LF x 0.50 = 154.29 154.29 / 100 = 1.54 <b>(2 ORNAMENTAL TREES AND 25 SHRUBS/ORNAMENTAL GRASSES MINIMUM)</b>	CLUB HOUSE BUILDING FOUNDATION: 7' WIDE AVERAGE FOUNDATION PLANTING PROVIDED AROUND THE CLUB HOUSE BUILDING  137.92 LF IS PROVIDED ON THE FRONT AND SIDES AND THE REMAINING LF REQUIRED IS PROVIDED AROUND THE OUTDOOR AMENITY AREA. THE FOUNDATION PLANTING CONSISTS OF 2 ORNAMENTAL TREES, 33 SHRUBS, 92 GRASSES AND 40 PERENNIALS. ADDITIONAL LANDSCAPE PROVIDED AROUND THE OUTDOOR AMENITY AREA. SEE SHEET L3.0 FOR AN ENLARGEMENT PLAN.

**LANDSCAPE CONSTRUCTION COST OPINION**  
OWNER AND VILLAGE TO DIRECTLY COORDINATE. PRICING SHALL BE ACTUAL PROPOSAL PRICING PER AGREEMENT WITH VILLAGE.

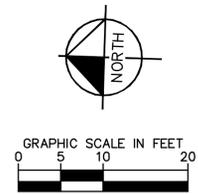
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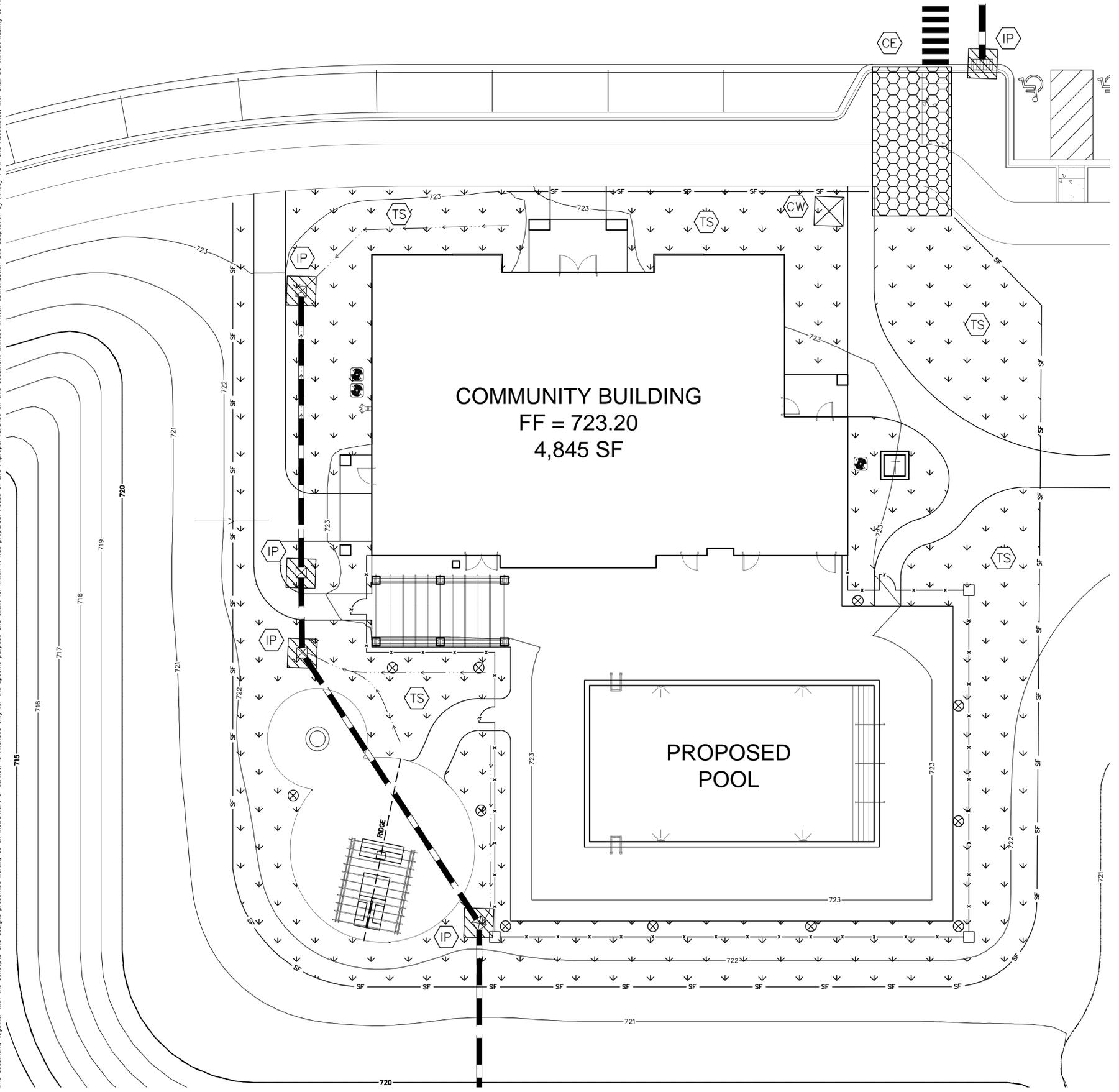




Drawing name: K:\CHS\_LDEV\168626000\_ar\_jacobson\_ardens park\_v2 Design\CAD\Utilities\Club House Amenity Plans\C2.0 CLUB HOUSE EROSION CONTROL PLAN.dwg C2.0 Mar 04, 2021 7:43pm by: TaylorEisbech  
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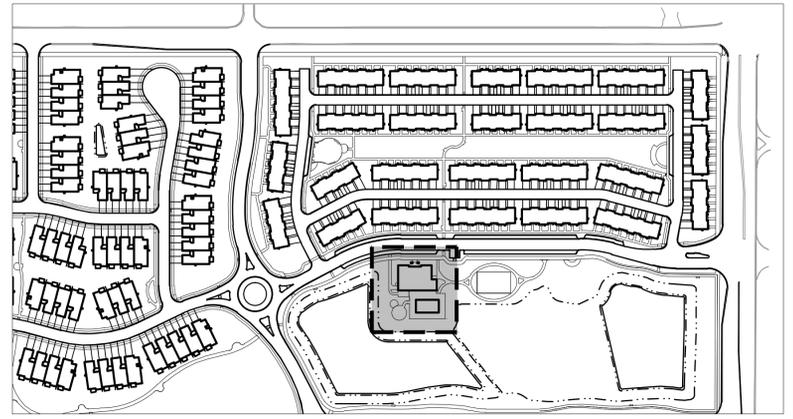
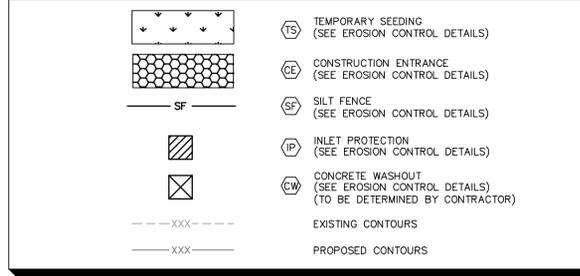
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### EROSION CONTROL NOTES

- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE AS AN EXAMPLE PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
- CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
- PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
- ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
- ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE, LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
- SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
- PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
- ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- SITE STABILIZATION REQUIREMENTS ARE AS FOLLOWS:
  - WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

### EROSION CONTROL LEGEND



LOCATION MAP NOT TO SCALE

NO.	REVISIONS	DATE	BY

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 DRAWN BY: JDC  
 CHECKED BY: WAW

**S.R. JACOBSON**  
 CONSULTING ENGINEER

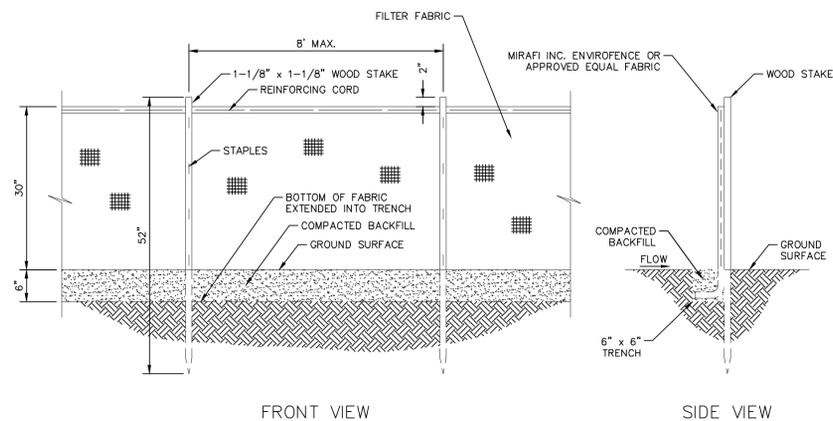
## EROSION CONTROL PLAN

**ORLAND RIDGE**  
 LAGRANGE ROAD & 171ST STREET  
 ORLAND PARK, IL 60487

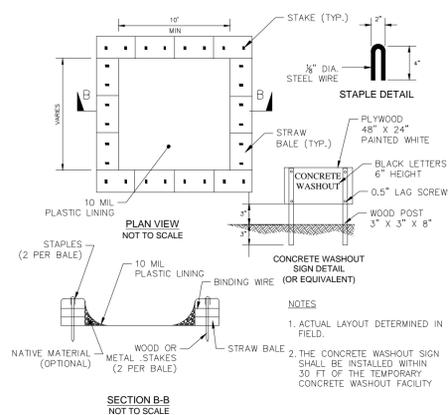
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 SHEET NUMBER

**C2.0**

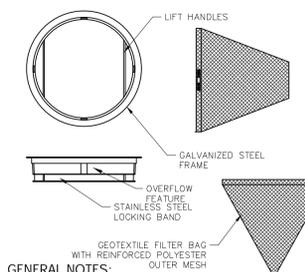
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**SEDIMENTATION/SILT FENCE**  
N.T.S. SF

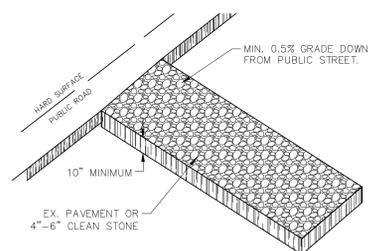


**CONCRETE WASHOUT**  
N.T.S. CW



**GENERAL NOTES:**  
 ALL PRODUCTS MANUFACTURED BY INLET AND PIPE PROTECTION, INC OR APPROVED EQUAL.  
 NOTE: INLET FILTERS ARE SLIGHTLY SMALLER THAN THE INLET GRATE SIZES. WHEN IDENTIFYING OR SPECIFYING FILTERS/CASTINGS PLEASE REFER TO THE DIAMETER "D" OR WIDTH "W" AND HEIGHT "H" OF FILTER FRAMES OR CASTING GRATES. YOU MAY ALSO REFER TO OUR CASTING CROSS REFERENCE GUIDE FOR IDOT STANDARDS.  
 IDOT TYPE 1 ROUND INLET FILTER DEPICTED  
 NOTE: ROUND AND SQUARE INLET FILTERS AVAILABLE FOR MOST NEENAH AND EAST JORDAN REEFER, ROLL CURB AND CURB BOX FRAME TYPES.  
 ALL IPP INLET FILTERS TO CONFORM TO IDOT SPECIFICATIONS AS OUTLINED IN ARTICLE 108.15 OF IDOT'S STANDARD SPECIFICATIONS GUIDE.

**INLET PROTECTION**  
N.T.S. IP

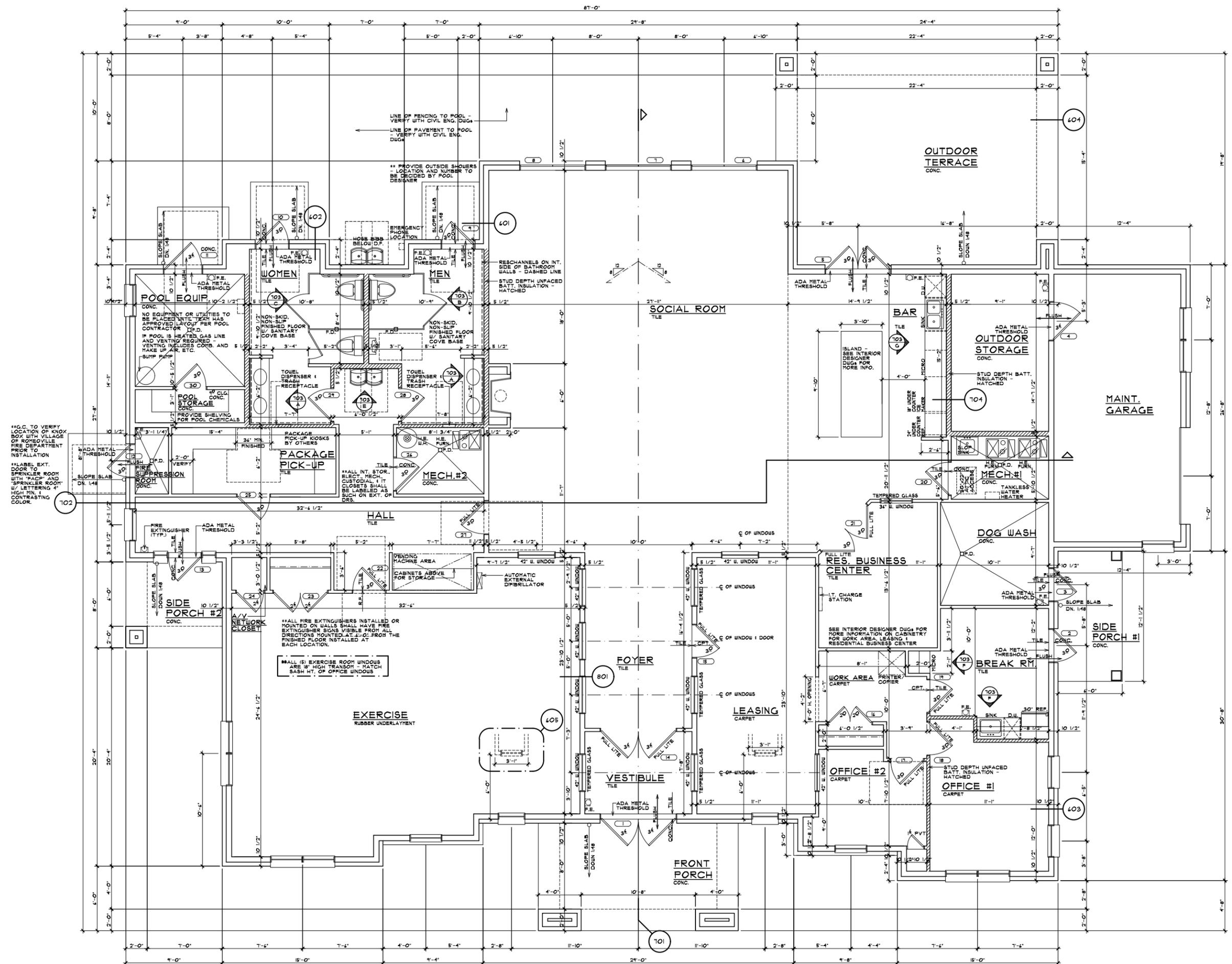


**CONSTRUCTION ENTRANCE**  
N.T.S. CE

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A			*	*					
DORMANT SEEDING	B										B	
TEMPORARY SEEDING			C				D					
SODDING			E									
MULCHING	F		**									

- |   |                                    |  |
|---|------------------------------------|--|
| A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE                            | C SPRING OATS 100 LBS/ACRE         | * WATERING NEEDED DURING JUNE AND JULY                 |
| B KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE | D WHEAT OR CEREAL RYE 150 LBS/ACRE | ** WATERING NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD |
|   | E SOD                              |  |
|   | F STRAW MULCH 2 TONS/ACRE          |  |

**SEEDING CHART**



ALL INTERIOR PARTITION DIMENSIONS ARE 3/16" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

ALL STRUCTURAL INFORMATION PROVIDED BY ROBERT L. PENNINGTON, WILMINGTON, NC. ACCURACY OF STRUCTURAL INFORMATION IS THE RESPONSIBILITY OF ROBERT L. PENNINGTON.

**DOOR SCHEDULE**

DOOR #	LOCATION	QUANTITY	SIZE	HARDWARE SET	CLOSER	REMARKS
1	FRONT PORCH	2	3'-6" x 8'-0"	6	YES	FULL LITE
2	BREAK ROOM (EXT.)	1	3'-0" x 6'-8"	3	YES	HALF LITE
3	DOG WASH	1	3'-0" x 6'-8"	3	YES	HALF LITE
4	OUTDOOR STORAGE	1	3'-6" x 6'-8"	3	YES	SOLID
5	OUTDOOR TERRACE	2	3'-0" x 8'-0"	6	YES	FULL LITE
6	SOCIAL ROOM	2	3'-0" x 8'-0"	8	NO	FULL LITE
7	SOCIAL ROOM	2	3'-0" x 8'-0"	8	NO	FULL LITE
8	SOCIAL ROOM	2	3'-0" x 8'-0"	8	NO	FULL LITE
9	MEN (EXT.)	1	3'-0" x 6'-8"	6	YES	SOLID
10	WOMEN (EXT.)	1	3'-0" x 6'-8"	6	YES	SOLID
11	POOL EQUIPMENT	1	3'-6" x 6'-8"	3	YES	SOLID
12	FIRE SUPPRESSION RM.	1	3'-0" x 6'-8"	3-KNOX BOX	YES	SOLID
13	SIDE PORCH	1	3'-0" x 8'-0"	6	YES	FULL LITE
14	VESTIBULE	2	3'-6" x 8'-0"	4	YES	FULL LITE
15	LEASING	1	3'-0" x 8'-0"	3	YES	FULL LITE
16	WORK AREA CLOSET	2	2'-0" x 6'-8"	7	NO	SOLID
17	OFFICE #2	1	3'-0" x 6'-8"	1	NO	FULL LITE
18	OFFICE #1	1	3'-0" x 6'-8"	1	NO	FULL LITE
19	BREAK ROOM (INT.)	1	3'-0" x 6'-8"	2	NO	FULL LITE
20	MECHANICAL #1	1	3'-0" x 6'-8"	3	NO	SOLID
21	RES. BUSINESS CENTER	2	3'-0" x 8'-0"	3	NO	FULL LITE
22	EXERCISE ROOM	1	3'-0" x 6'-8"	7	NO	FULL LITE
23	EXERCISE RM. CLOSET	2	2'-6" x 6'-8"	7	NO	SOLID
24	A/V NETWORK CLOSET	1	2'-6" x 6'-8"	3	NO	SOLID
25	PACKAGE PICK-UP	1	3'-0" x 6'-8"	3	NO	SOLID
26	MECHANICAL #2	1	3'-0" x 6'-8"	3	NO	SOLID
27	HALL	1	3'-0" x 8'-0"	6	YES	FULL LITE
28	MEN (INT.)	1	3'-0" x 6'-8"	2	YES	SOLID
29	WOMEN (INT.)	1	3'-0" x 6'-8"	2	YES	SOLID
30	POOL STORAGE	1	3'-0" x 6'-8"	3	NO	SOLID

**HARDWARE SET SCHEDULE**

- OFFICE LOCK SET
- PASSAGE SET
- STOREROOM LOCKSET
- PUSH/PULL
- LATCH SET
- EXIT DEVICE W/ OUTSIDE LOCK
- PULL (LEVER) W/ CATCH LATCH
- NOT OPERABLE - FIXED

**FIRST FLOOR PLAN** \*\*ADDRESS TO BUILDING TO BE 10N, 41' TALL W/ CONTRASTING COLOR, VISIBLE FROM STREET

SCALE: 1/4" = 1'-0"

Alexander V. Bogert + Associates, P.C.  
 Architecture - Planning - Interior Design  
 2445 Franklin Road  
 Bloomfield Hills, MI 48302  
 248-334-5000

SHEET TITLE  
**FIRST FLOOR PLAN**

CLIENT/PROJECT  
**B.R. JACOBSON**

**ORLAND RIDGE COMMUNITY BUILDING**  
 ORLAND PARK, ILLINOIS

REVISIONS  
 CITY SUBMISSION 11-12-18  
 S.P.A. 01-02-2019

DRAWN BY  
 PGP/AMM/ABR  
 PERMITS

JOB NUMBER  
 8170

DATE

SHEET NUMBER

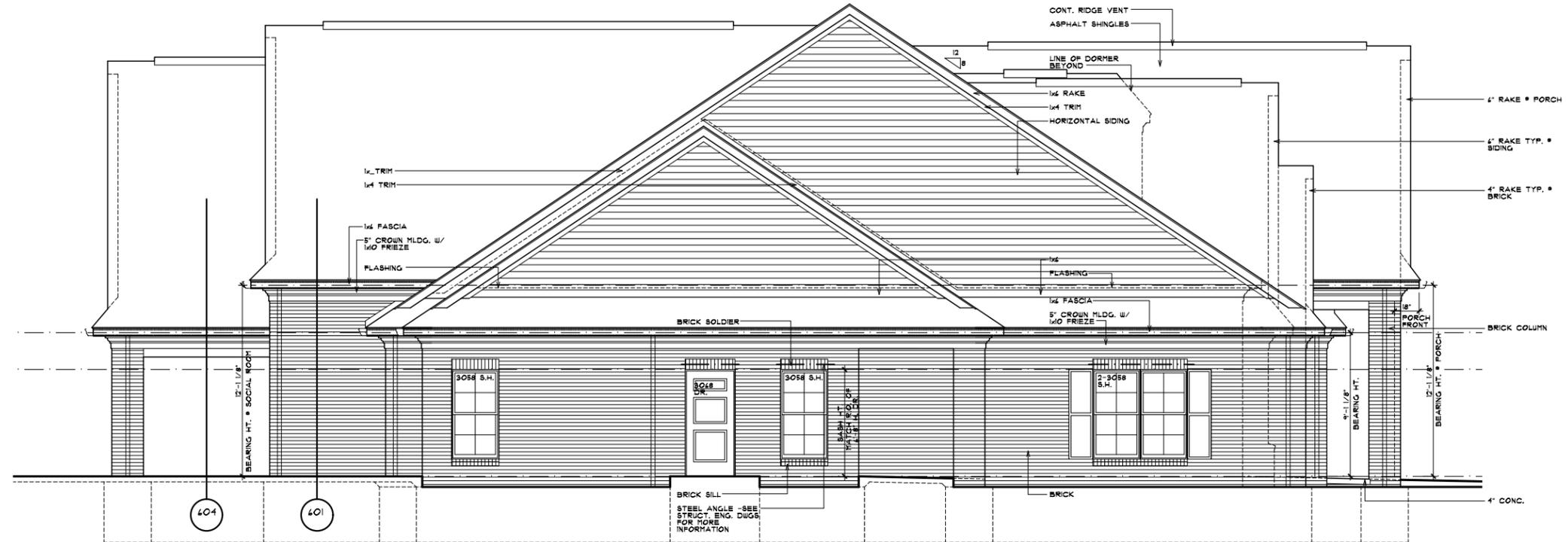
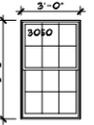
**OVERHANGS & DRAINAGE**

PROVIDE GUTTERS AND DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO THE STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEERING DRAWINGS FOR CONNECTION DETAILS/LOCATIONS.

DOWNSPOUT LOCATIONS ARE T.B.D. BY BUILDER.  
UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRAME. RAKE DIMENSIONS ARE 4" AT BRICK AND 4" AT SIDING.

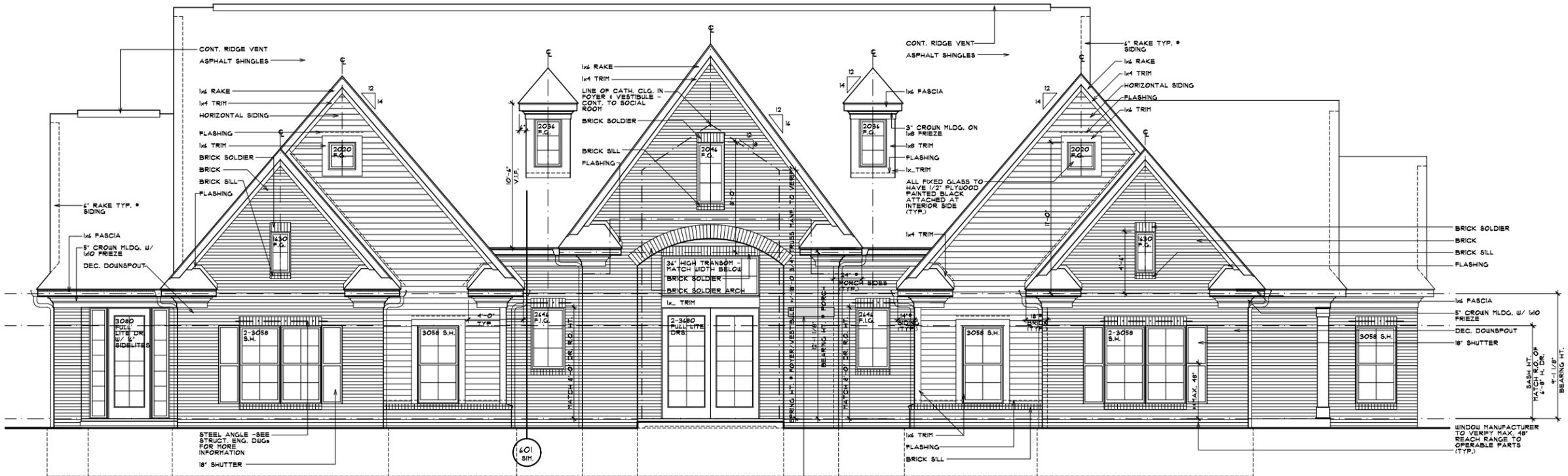
**TYP. WINDOW DESIGNATION**

GENERAL REFERENCE FOR ROUGH OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION** ADDRESS TO BUILDING TO BE MIN. 4' TALL W/ CONTRASTING COLOR, VISIBLE FROM STREET

SCALE: 1/4" = 1'-0"

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SHEET TITLE  
**FRONT & LEFT SIDE ELEVATIONS**

CLIENT/PROJECT  
**S.R. JACOBSON**

**ORLAND RIDGE COMMUNITY BUILDING**  
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REVISIONS  
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PERMITS

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8170  
DATE

SHEET NUMBER  
**4**

**OVERHANGS & DRAINAGE**

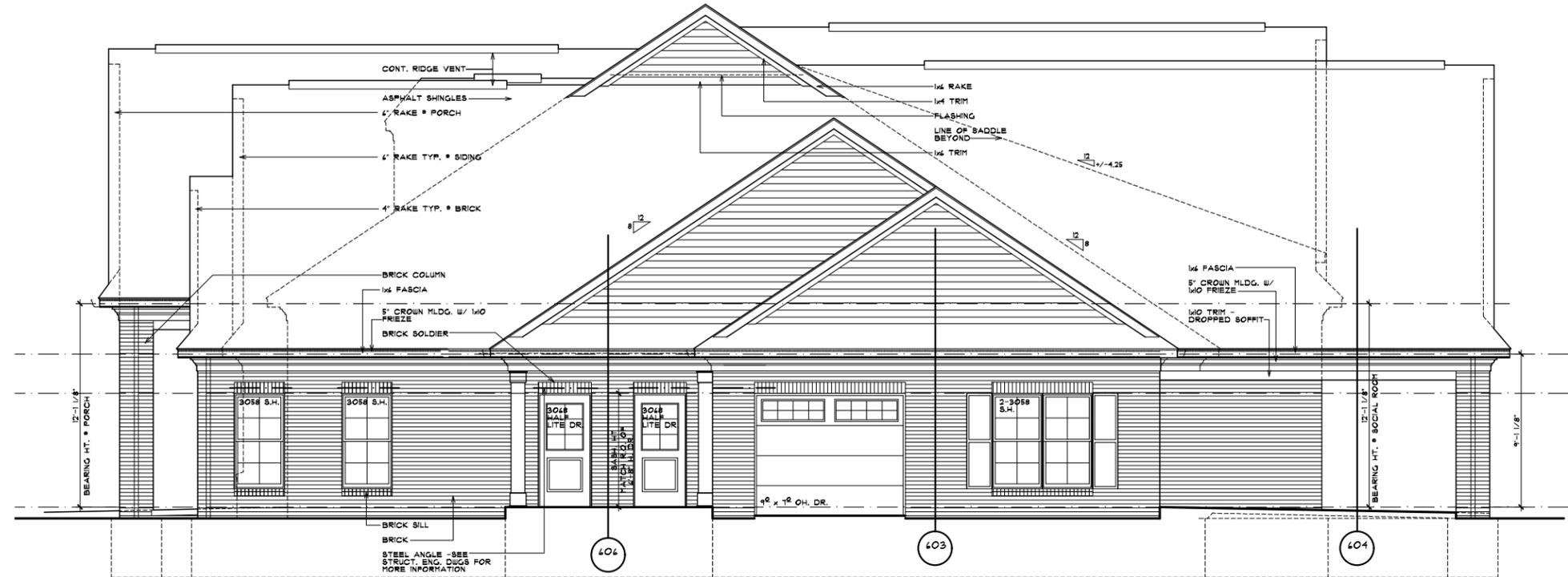
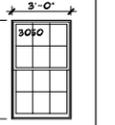
PROVIDE GUTTERS AND DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO THE STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEERING DRAWINGS FOR CONNECTION DETAILS/LOCATIONS.

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UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FINISH. RAKE DIMENSIONS ARE 4" AT BRICK AND 4" AT SIDING.

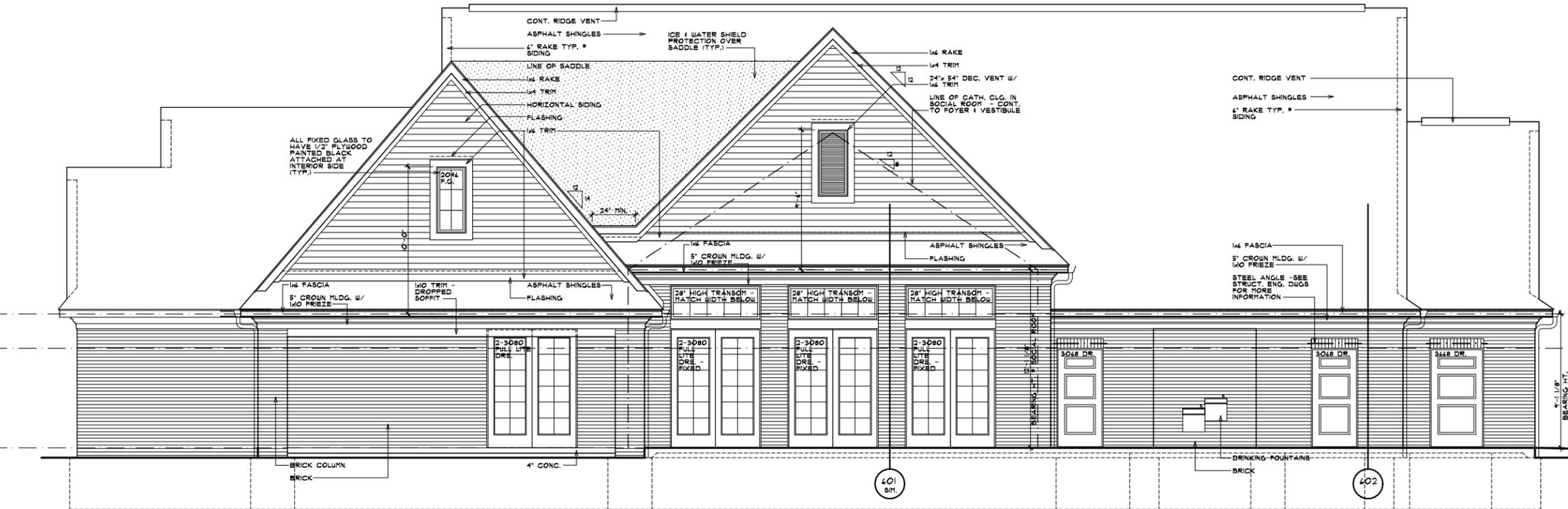
**TYP. WINDOW DESIGNATION**

GENERAL REFERENCE FOR ROUGH OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.



**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

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SHEET TITLE  
**REAR & RIGHT SIDE ELEVATIONS**

CLIENT/PROJECT  
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ORLAND PARK, ILLINOIS

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PERMITS

JOB NUMBER  
8170  
DATE

SHEET NUMBER  
**5**



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

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 248-334-3000

SHEET TITLE  
**FRONT & LEFT SIDE ELEVATIONS**

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 DILLARD PARK, ILLINOIS

REVISIONS  
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 PERMITS

OS NUMBER  
 8179

DATE

SHEET NUMBER  
**4**



**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

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 Bloomington, IL 61822  
 248-334-3000

SHEET TITLE  
 REAR & RIGHT SIDE ELEVATIONS

CLIENT/PROJECT  
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 DILLARD RIDGE COMMUNITY BUILDING  
 DILLARD PARK, ILLINOIS

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 11-12-18  
 S.P.A.  
 12-21-18

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 PERMITS

JOB NUMBER  
 8179

DATE

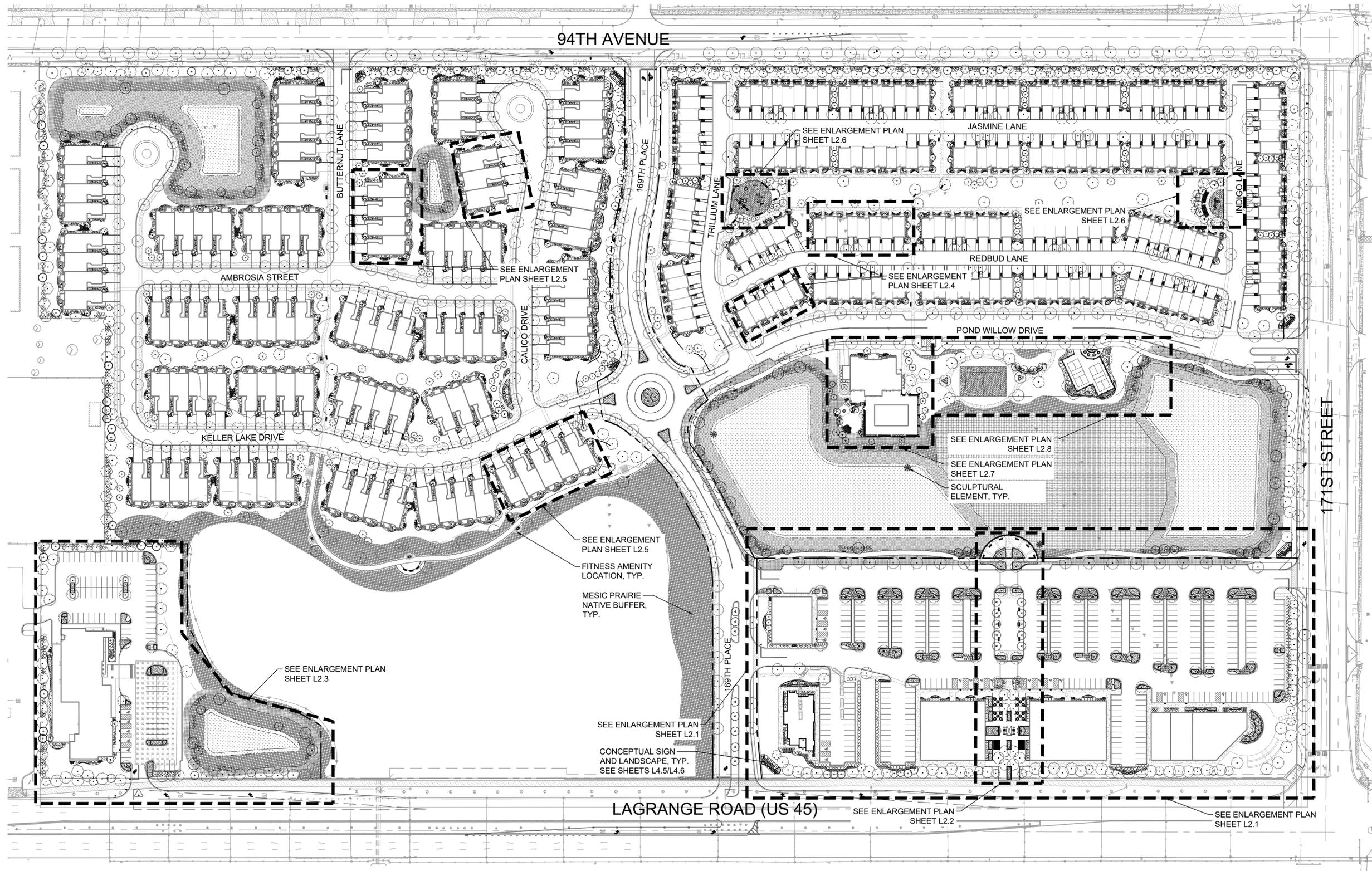
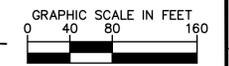
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**BOARD APPROVED**

Case No: 2018-0499  
Date: 04/01/2019  
W/Conditions: Yes  
W/Out Conditions: N/A

VILLAGE OF ORLAND PARK

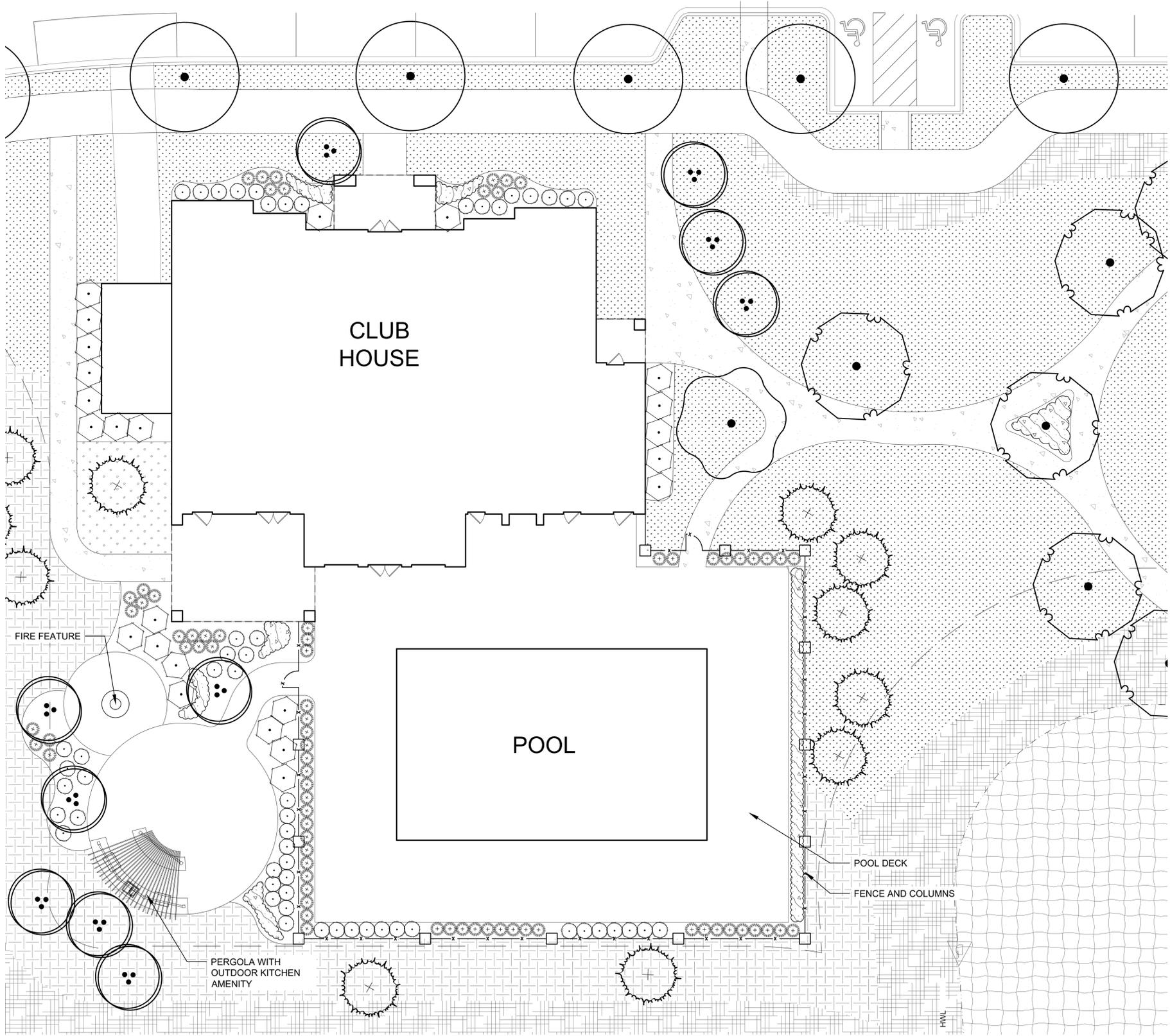
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Drawing name: \\kimley-horn.com\MW\CHS\JOB\168626000\_SR\_Jacobson\_Orland Park, IL\2 Design\CAD\PlanSheets\L2.0 - LANDSCAPE PLAN.dwg L2.0 OVERALL PRELIMINARY LANDSCAPE PLAN Feb 06, 2019 10:37am by: jesse.connell  
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ORLAND RIDGE LAGRANGE ROAD & 171ST STREET ORLAND PARK, IL 60487		OVERALL PRELIMINARY LANDSCAPE PLAN		 		<b>Kimley»Horn</b> <small>© 2018 KIMLEY-HORN AND ASSOCIATES, INC.        1001 WAREVILLE ROAD, SUITE 350,        LISLE, IL 60532-4550        WWW.KIMLEY-HORN.COM</small>		REVISIONS NO. DATE BY 1 11/16/18 WAW 2 01/07/19 WAW 3 02/06/19 WAW
ORIGINAL ISSUE: 07/13/2018		SHEET NUMBER <b>L2.0</b>		SCALE: AS NOTED DESIGNED BY: TFE DRAWN BY: JDC CHECKED BY: WAW		PRELIMINARY NOT FOR CONSTRUCTION		

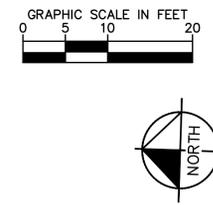
Drawing name: \\kimley-horn.com\W\CHS\CHS\_L2.7\168626000\_SR\_Jacobson\_Orland Park\_IL\2 Design\CAD\PlanSheets\L2.0 - LANDSCAPE PLAN.dwg L2.7 PARK AMENITY AREAS Feb 06, 2019 10:40am by jesse.comell  
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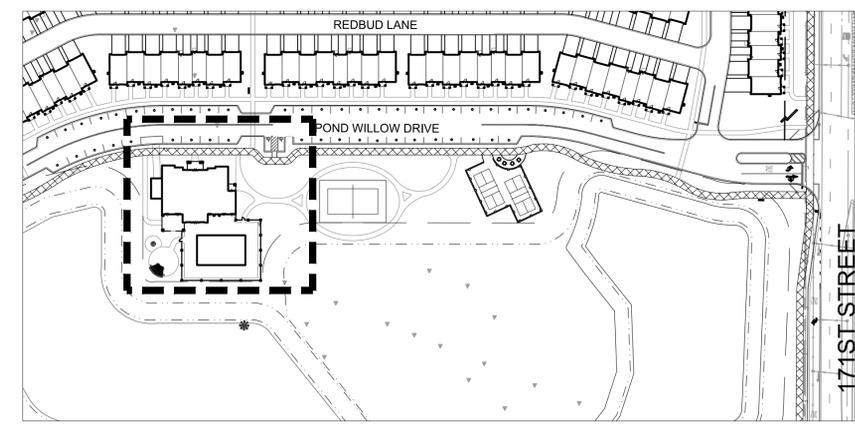
CLUBHOUSE PARK AMENITY SPACE

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 W/Out Conditions: N/A  
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**FENCE AND COLUMN**  
 IMAGE SHOWN FOR CONCEPTUAL PURPOSE ONLY MATERIALS TO BE FINALIZED AT FINAL PLAN SUBMITTAL



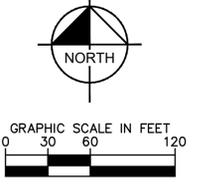
LOCATION MAP

REVISIONS	DATE	BY
1	02/06/19	WAW
2	01/07/19	WAW
3	11/16/18	WAW
<p><b>Kimley»Horn</b>  <small>© 2018 KIMLEY-HORN AND ASSOCIATES, INC.        1001 WARENVILLE ROAD, SUITE 350,        LISLE, IL 60532-4550        WWW.KIMLEY-HORN.COM</small></p>		
SCALE: AS NOTED	DESIGNED BY: JDC	CHECKED BY: WAW
<p><b>PRELIMINARY        NOT FOR        CONSTRUCTION</b></p>		
<p><b>S.R. JACOBSON</b>  <small>ARCHITECTS &amp; PLANNERS</small></p> <p><b>LORMAX STERN</b>  <small>LANDSCAPE ARCHITECTS</small></p>		
<p><b>PARK AMENITY AREAS</b></p>		
<p><b>ORLAND RIDGE</b>        LAGRANGE ROAD &amp; 171ST STREET        ORLAND PARK, IL 60487</p>		
<p>ORIGINAL ISSUE: 07/13/2018        KHA PROJECT NO. 168626000        SHEET NUMBER</p>		
<p><b>L2.7</b></p>		

Drawing name: \\kimley-horn.com\WMS\CHS\JOB\168626000\_SR\Jacobson\_Orland Park, IL\2 Design\CAD\PlanSheets\C2.0 - SITE DIMENSION PLAN.dwg C2.0 Mar 08, 2019 7:54am by: Taylor Eschbach  
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 W/Out Conditions: N/A  
 VILLAGE OF ORLAND PARK

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NO.	REVISIONS	DATE	BY
1	REVISED PER VILLAGE COMMENTS	03/08/19	WAW
2	REVISED PER VILLAGE COMMENTS	02/06/19	WAW
3	REVISED PER VILLAGE COMMENTS	01/07/19	WAW
4	REVISED PER VILLAGE COMMENTS	11/16/18	WAW

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**PRELIMINARY NOT FOR CONSTRUCTION**

**SR JACOBSON**  
 ARCHITECTURAL  
**LORMAX STERN**

**SITE DIMENSION PLAN - NORTH**  
 ORLAND RIDGE  
 LAGRANGE ROAD & 171ST STREET  
 ORLAND PARK, IL 60487

**ORLAND RIDGE**  
 LAGRANGE ROAD & 171ST STREET  
 ORLAND PARK, IL 60487  
 ORIGINAL ISSUE: 07/13/2018  
 KHA PROJECT NO. 168626000  
 SHEET NUMBER  
**C2.0**



**GENERAL NOTES**

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- RADIi ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

**KEY NOTES**

- 86.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- ACCESSIBLE RAMP (SEE DETAILS)
- CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS)
- 4" WIDE PAINTED SOLID LINE, TYP.
- CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 24" WIDE STOP BAR, TYP. (SEE DETAILS)
- STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
- VILLAGE STANDARD LED LIGHT POLE (COBRA HEAD)

**SITE DATA**

**GENERAL:**  
 SITE AREA: 57.72 AC  
 TOTAL IMPERVIOUS AREA: 30.66 AC (INCLUDING EXISTING POND)  
 TOTAL PERVIOUS AREA: 27.06 AC  
 LOT COVERAGE: 53.12% (INCLUDING EXISTING POND)  
 EXISTING ZONING: E1 ESTATE RESIDENTIAL  
 COMPREHENSIVE PLAN: REGIONAL CORE PLANNING DISTRICT  
 PROPOSED ZONING: COR MIXED USE DISTRICT  
 EXISTING WETLANDS AREA: 10.27 AC  
 PARKING DIMENSION: 9' X 18' - 22' MIN. DRIVE AISLE  
 TOTAL RESIDENTIAL UNITS: 294  
 OVERALL RESIDENTIAL DENSITY: 8.90 UNITS/ACRE

**SENIOR-TARGETED RANCH VILLA APARTMENTS:**  
 SITE AREA: 24.82 AC  
 SITE AREA FOR DETENTION & WETLANDS: 7.47 AC  
 NET AREA: 17.35 AC  
 IMPERVIOUS AREA: 11.51 AC  
 PERVIOUS AREA: 13.31 AC  
 LOT COVERAGE: 46.37%  
 NUMBER OF BUILDINGS: 26  
 NUMBER OF UNITS: 104  
 DENSITY: 5.99 UNITS/ACRE  
 FRONT TO CURB: 30'  
 SIDE TO SIDE: 20'  
 REAR TO REAR: 50'  
 UNIT TYPE: 1,370 SF (2-BEDROOM)  
 PARKING PROVIDED: 2-CAR GARAGE = 208 SPACES  
 2-CAR DRIVEWAY = 208 SPACES  
 TOTAL = 416 SPACES  
 2 SPACES/UNIT = 208 SPACES

**HOTEL:**  
 SITE AREA: 3.01 AC  
 SITE AREA FOR DETENTION: 0.18 AC  
 NET AREA: 2.83 AC  
 IMPERVIOUS AREA: 1.98 AC  
 PERVIOUS AREA: 1.03 AC  
 LOT COVERAGE: 65.78%  
 PROPOSED F.A.R.: 0.69  
 HEIGHT PROPOSED: 6 STORIES  
 ROOM COUNT: 122 ROOMS  
 PARKING REQUIRED: 98 SPACES  
 PARKING PROVIDED: 98 SPACES

**PAVING AND CURB LEGEND**

- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- DECORATIVE HARDSCAPE FOR LANDSCAPE PER LANDSCAPE PLANS
- ASPHALT MULTI-USE PATH MINIMUM 8' WIDTH
- VEHICLE RATED SPECIALTY PAVING
- STANDARD PITCH CONCRETE CURB AND GUTTER

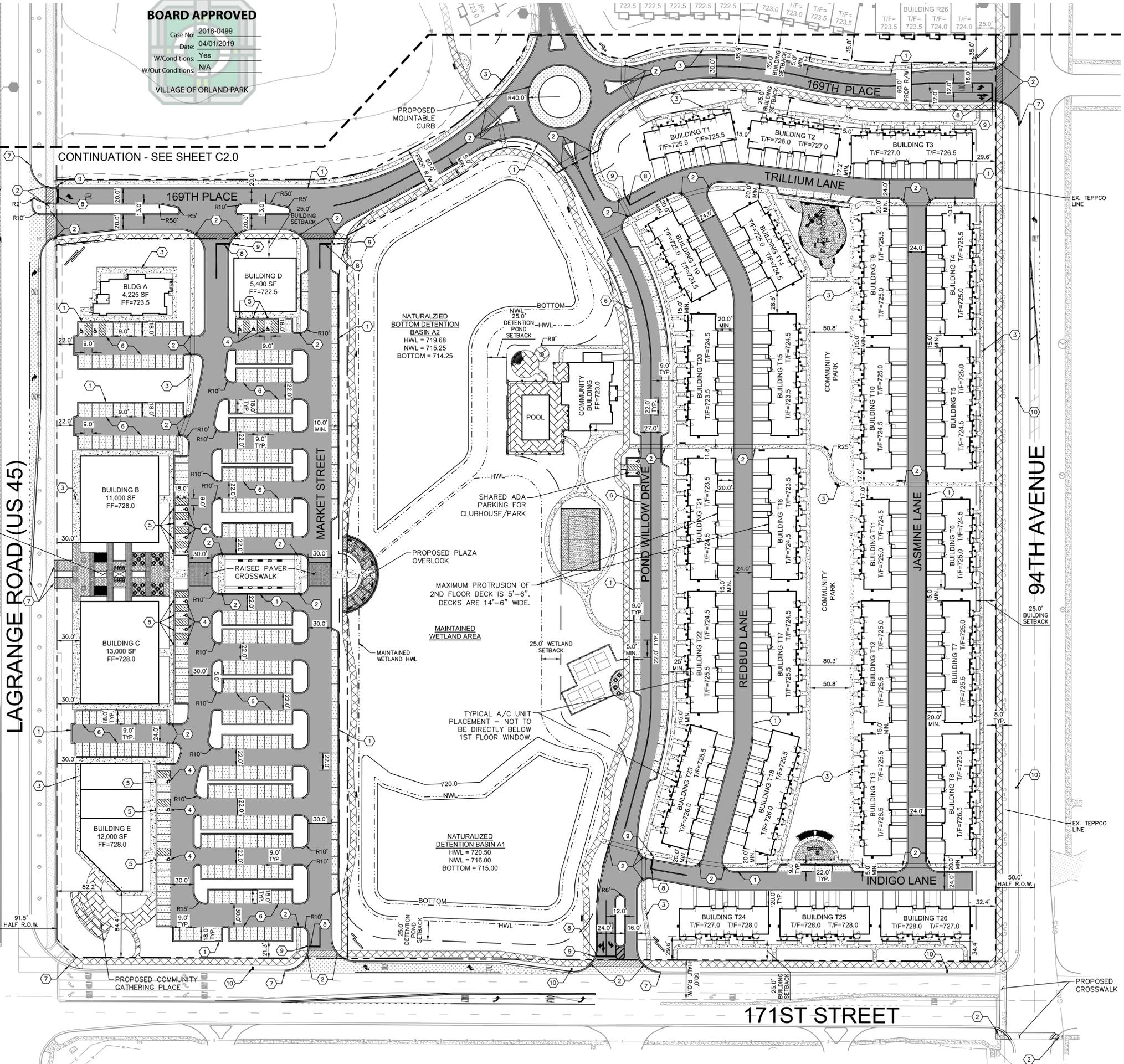
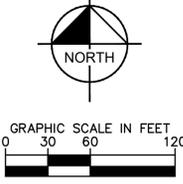
LAGRANGE ROAD (US 45)

94TH AVENUE

CONTINUATION - SEE SHEET C2.1

Drawing name: \\kimley-horn.com\WMS\CHS\168626000\_SR\_Jacobson\_Orland Park, IL\2 Design\CAD\PlanSheets\C2.1 - SITE DIMENSION PLAN.dwg - SITE DIMENSION PLAN.dwg - Mar 08, 2019 7:55am by: Taylor Eschbach  
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**BOARD APPROVED**  
 Case No: 2018-0499  
 Date: 04/01/2019  
 W/Conditions: Yes  
 W/Out Conditions: N/A  
 VILLAGE OF ORLAND PARK



### GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

### KEY NOTES

- B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- ACCESSIBLE RAMP (SEE DETAILS)
- CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS)
- 4" WIDE PAINTED SOLID LINE, TYP.
- CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 24" WIDE STOP BAR, TYP. (SEE DETAILS)
- STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
- VILLAGE STANDARD LED LIGHT POLE (COBRA HEAD)

### SITE DATA

**GENERAL:**  
 SITE AREA: 57.72 AC  
 TOTAL IMPERVIOUS AREA: 30.66 AC (INCLUDING EXISTING POND)  
 TOTAL PERVIOUS AREA: 27.06 AC  
 LOT COVERAGE: 53.12% (INCLUDING EXISTING POND)  
 EXISTING ZONING: E1 ESTATE RESIDENTIAL  
 COMPREHENSIVE PLAN: REGIONAL CORE PLANNING DISTRICT  
 PROPOSED ZONING: COR MIXED USE DISTRICT  
 EXISTING WETLANDS AREA: 10.27 AC  
 PARKING DIMENSION: 9' X 18' - 22' MIN. DRIVE AISLE  
 TOTAL RESIDENTIAL UNITS: 294  
 OVERALL RESIDENTIAL DENSITY: 8.90 UNITS/ACRE

**TOWNHOME APARTMENTS:**  
 SITE AREA: 20.21 AC  
 SITE AREA FOR DETENTION: 4.55 AC  
 NET AREA: 15.66 AC  
 IMPERVIOUS AREA: 8.74 AC  
 PERVIOUS AREA: 11.47 AC  
 LOT COVERAGE: 43.23%  
 NUMBER OF BUILDINGS: 26 (27 INCLUDING COMMUNITY BUILDING)  
 NUMBER OF UNITS: 138 2 BEDROOM UNITS  
 52 3 BEDROOM UNITS  
 190 TOTAL UNITS  
 12.13 UNITS/ACRE  
 2 BEDROOM/2.5 BATH (1,295 SF)  
 2 BEDROOM/2.5 BATH (1,560 SF)  
 3 BEDROOM/2.5 BATH (1,560 SF)

**DENSITY:**  
 UNIT TYPES:  
 2 BEDROOM/2.5 BATH (1,295 SF)  
 2 BEDROOM/2.5 BATH (1,560 SF)  
 3 BEDROOM/2.5 BATH (1,560 SF)

**PARKING PROVIDED:**  
 STANDARD SPACES: 59  
 GARAGE SPACES: 328  
 DRIVEWAY SPACES: 338  
 TOTAL SPACES: 715 (3.76/UNIT)  
 2 SPACES/UNIT = 380 SPACES

**PARKING REQUIRED:**  
 RETAIL/COMMERCIAL:  
 SITE AREA: 7.57 AC  
 IMPERVIOUS AREA: 6.59 AC  
 PERVIOUS AREA: 0.98 AC  
 LOT COVERAGE: 87.02%  
 PROPOSED F.A.R.: 0.14  
 SF RETAIL: 19,000  
 SF RESTAURANT: 26,625  
 PARKING REQUIRED: 343 SPACES  
 PARKING PROVIDED: 376 SPACES

**169TH PLACE R.O.W.:**  
 SITE AREA: 2.11 AC  
 IMPERVIOUS AREA: 1.84 AC  
 PERVIOUS AREA: 0.27 AC  
 LOT COVERAGE: 87.35%

### PAVING AND CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- DECORATIVE HARDSCAPE FOR LANDSCAPE PER LANDSCAPE PLANS
- ASPHALT MULTI-USE PATH  
MINIMUM 8' WIDTH
- VEHICLE RATED SPECIALTY PAVING
- STANDARD PITCH CONCRETE CURB AND GUTTER

REVISED PER VILLAGE COMMENTS	03/08/19	WAW	BY
REVISED PER VILLAGE COMMENTS	02/06/19	WAW	
REVISED PER VILLAGE COMMENTS	01/07/19	WAW	
REVISED PER VILLAGE COMMENTS	11/16/18	WAW	
REVISIONS	DATE		

**Kimley-Horn**  
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 3001 WAREVILLE ROAD, SUITE 350,  
 LISLE, IL 60532-4550  
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
 DESIGNED BY: JDC  
 DRAWN BY: JDC  
 CHECKED BY: WAW

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

**Sr. Jacobson**  
 CONSULTING ENGINEERS

**LORMAX STERN**

**ORLAND RIDGE**  
 LAGRANGE ROAD & 171ST STREET  
 ORLAND PARK, IL 60487

ORIGINAL ISSUE:  
 07/13/2018  
 KHA PROJECT NO.  
 168626000

SHEET NUMBER  
**C2.1**

## **REQUEST FOR ACTION REPORT**

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File Number: **2020-0169**  
Orig. Department: **Development Services Department**  
File Name: **Belle Tire - Development Petition for Special Use Permit for Planned Development, Special Use Permit for Motor Vehicle Services, Rezoning, Site Plan, Elevations, Landscape Plan, and Plat of Subdivision**

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### **BACKGROUND:**

#### **QUICKFACTS**

##### **Project**

Belle Tire - Development Petition for Special Use Permit for Planned Development, Special Use Permit for Motor Vehicle Services, Rezoning, Site Plan, Elevations, Landscape Plan, and Plat of Subdivision 2020-0169

##### **Petitioner**

Christopher Enright - Enright Architects

##### **Purpose**

The petitioner seeks the approval of a Special Use Permit to create a two (2) lot Planned Development at 9500 159<sup>th</sup> Street. The proposed project includes the subdivision of three (3) lots into two (2) lots. The newly created Lot 1 is proposed to be developed as part of this project. The proposed development on Lot 1 includes the construction of a 9,800 square foot building to be used for Motor Vehicle Services. This project does not include new development on Lot 2 of the proposed Planned Development at this time but it does include improvements.

**Requested Actions:** Special Use Permit for Planned Development, Special Use Permit to allow for Motor Vehicle Services in the BIZ General Business District on Lot 1, Rezoning Lot 1 from E-1 Estate Residential District to BIZ General Business District, Site Plan, Elevations, Landscape Plan, and Plat of Subdivision

**Address:** 9500 159<sup>th</sup> Street

**P.I.N.(s):** 27-15-302-007-0000; 27-15-302-027-0000; 27-15-302-028-0000

**Parcel Size:** 2.5 Acres (108,900 Square Feet)

**Comprehensive Plan Planning District & Designation:** Regional Core Planning District with Regional Mixed Use Designation (Note: Limited vehicular access. Promote improvements to aging commercial.)

**Existing Zoning:** E-1 Estate Residential District

**Existing Land Use:** Motor Vehicle Services / Personal Service Establishment / Vacant Buildings

**Proposed Land Use:** Motor Vehicle Services / Undeveloped Lot

##### **Surrounding Land Uses & Zoning:**

North: COR Mixed Use District - Commercial Retail (Target)

South: COR Mixed Use District - (across 159<sup>th</sup> Street) Undeveloped Land

East: COR Mixed Use District - Commercial Retail (Once Upon A Child)

West: BIZ General Business District - Medical Office (Physicians Immediate Care)

### **BACKGROUND**

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The subject property is comprised of three properties. The three properties were involuntarily annexed by the Village in 1994 via Ordinance No. 2580 and given the zoning classification of E-1 Estate Residential. It is standard practice to re-zone properties that are involuntarily annexed to the most restrictive zoning district if the annexation does not accompany a proposed redevelopment project.

Two (2) of the properties (PIN(s): 27-15-302-027-0000 and 27-15-302-028-0000) are part of the Glen Cooper Subdivision that was approved by the Village in 1995 (Legistar ID:1995-0026) and recorded with Cook County via Document No. 95206323. The third property (PIN: 27-15-302-007-0000) is centrally located to the Glen Cooper Subdivision, sharing property lines on the west, north, and east.

In 2004, the Cooper properties had proposed rezoning the properties from E-1 Estate Residential to BIZ General Business District. On January 25, 2005 the Plan Commission voted unanimously to recommend approval of the rezoning to the Village Board. However, the item was continued at the February 28, 2005 Committee meeting as well as the March 28, 2005 committee meeting to allow for time to investigate the status of the existing billboard on the site. The petitioner had stated that the lease of the billboard was signed with Clear Channel Company in 1994 and that the lease would expire in 2014. The committee had also raised the issue of the difficult configuration of the site and whether the property in the middle with the separate ownership could be consolidated. It was determined that, at that point in time, the request for rezoning of the current lot did not allow for any redevelopment of the site but only permits the reusing of the existing buildings for uses that are permitted in the BIZ General Business District. The project was continued once more at the May 26, 2005 Planning and Economic Development Committee. Due to the fact that the existing buildings could be used for similar uses as to those that existed when the property was annexed, it was ultimately determined that rezoning was not necessary at this point in time. The project was terminated on July 5, 2005 by the Board of Trustees.

Since this time, there have not been any changes to the subject properties. The current petition addresses several of the items above such as the removal of the billboard and rezoning the property in conjunction with a proposed development.

### **PROJECT DESCRIPTION & CONTEXT**

The petitioner is proposing to subdivide three (3) irregular lots to create two (2) lots as part of a Planned Development, rezone the newly created Lot 1 from E-1 Estate Residential to BIZ General Business District, and construct a 9,800 square single-story commercial building on the newly created Lot 1 which will be occupied by Belle Tire, a motor vehicle services company. Lot 1 of the newly created Planned Development measures roughly 1.268 acres (55,257 square feet) and Lot 2 measures roughly 1.257 acres (54,758 square feet). At this time, no new development is proposed for Lot 2 of the new subdivision. However, improvements to Lot 2 are proposed to create a more developable property.

The proposed project requires approval of subdivision, a Special Use Permit to create a Planned Development, rezoning of Lot 1, and a Special Use Permit to allow for Motor Vehicle Services in the BIZ General Business District. There are no requested Special Use Permit Modifications nor Variances as part of the proposed project.

The project conforms to the Village's Comprehensive Plan, Land Development Codes and policies for this area.

### **SITE PLAN**

The existing three (3) irregular lots are proposed to be subdivided into two (2) regular lots. Below is a summary of the proposed site plans for each lots as part of this project.

#### *Lot 1*

Lot 1 of the proposed Planned Development, the western lot, will measure roughly 1.268 acres and include a 9,800 square foot motor vehicle service building. The site also includes a garbage enclosure at the northwest corner of the property, a monument sign at the southwest corner of the property, a rear drive aisle located to the north of the property, a total of thirty-nine (39) parking spaces, and four (4)

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bicycle parking spaces.

A new pedestrian sidewalk will be constructed along 159<sup>th</sup> Street, running west to east and connecting to the existing sidewalk systems on the property to the west as well as the newly created Lot 2. As it exists, the sidewalk on Lot 1 is directly adjacent to 159<sup>th</sup> Street. The newly constructed sidewalk will provide an adequate buffer to those utilizing the sidewalk systems, being setback roughly twenty-one (21) feet from the street.

The proposed building will be located on the eastern side of the property with access to the office being from the new sidewalk that connects to the parking lot and the 159<sup>th</sup> Street network. Access to the motor vehicle services area will be on the west elevation of the structure directly from the adjacent, centrally located parking lot.

Parking is provided to the west of the proposed building. The parking lot will connect to a newly constructed twenty-five (25) foot drive aisle that will provide future cross-access to the adjacent east and west properties via a thirty (30) foot cross-access easement. The rear drive aisle will have a guardrail on the eastern stubbed point and a 6" concrete curb on the western stubbed point until such a time that either property develops.

#### *Lot 2*

Lot 2 does not have a proposed development at this time and therefore there are no changes at this time other than some minor grading for the rear drive aisle on Lot 1. Non-conformities on Lot 2 may remain in place until such time that a future development is approved on site. Existing non-conformities shall not be expanded, enlarged, moved, or altered in any manner that would increase the degree of the non-conformity. However, there are substantial improvements to the property that will take place once a development is proposed. These substantial improvements will be required via the Development Agreement and are as follows:

1. Completion of the construction of the cross-access drive between Lots 1 and 2. The guardrail must be removed at this time.
2. Removal of the existing billboard after the existing leases contract expires on November 1<sup>st</sup>, 2023.
3. Consolidation of access drives from 159<sup>th</sup> Street as there is currently three.
4. All overhead utilities must be buried.

The proposed site plan is compliant with applicable setbacks, lot coverage and proposed aisle widths.

## **MOBILITY**

### **Vehicular/Traffic**

The subject property is located north of 159<sup>th</sup> Street, a major arterial street under IDOT jurisdiction. Direct access to the site will be from 159<sup>th</sup> Street.

### **Cross-Access**

Once a development is proposed on Lot 2 of the subdivision, cross-access between the two sites will be provided via a twenty-five (25) foot wide cross-drive aisle that will have a thirty (30) foot cross-access easement with the final Plat of Survey. The cross-access drive aisle will also provide the opportunity to connect to the adjacent property to the west at a future time.

### **Parking**

Required - 33 spaces

Provided - 39 spaces (including 2 accessible parking spaces)

Per Section 6-306, motor vehicle services are required to provide one (1) parking space per three-hundred (300) square feet of floor area. Provided parking is proposed to be 18% over the required parking. Section 6-306 grants Development Services Department the ability to authorize parking spaces above the required amount but no greater than 20% when requested by the petitioner. The petitioner has stated that parking could not be decreased further than as proposed based on the amount of traffic at

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other locations.

Bicycle parking is proposed on the lot, located to the east of the south building entrance.

### **Pedestrian**

Pedestrian access to the site will be provided via a connection to the new concrete sidewalk that will connect to the larger 159<sup>th</sup> Street sidewalk system

### **BUILDING ELEVATIONS**

One (1) 9,800 square foot building is proposed to be constructed on Lot 1. No building is proposed on Lot 2 and no changes are proposed to the two (2) existing brick structures. The proposed building is comprised primarily of subtle pink face brick ("Heartland Woodbury by Glen-Gery brick Co.). Secondary materials include beige/brown EIFS ("Sto-Stolit 1.0 Moonlit Sand"), metal coping that will match the EIFS, and metal columns between the overhead doors ("Maryville Brown").

Columns (face brick) with pre-cast concrete stone caps are proposed on all elevations for architectural features. The customer entrance is defined by a twenty-eight (28) foot tall entrance feature with white lintels at the southwest corner while the remainder of the building measures twenty-two (22) feet and eight (8) inches. The south and west elevations serve as the primary "front-of-house", the north elevation serves as the "back-of-house" operationally and aesthetically, and the east elevation is not active operationally but remains aesthetically appealing with storefront features.

#### *South Elevation (Front - Facing 159<sup>th</sup> Street)*

The south elevation serves as the primary storefront, being visible from 159<sup>th</sup> Street, and is distinguished by its entrance feature, storefront, and use of three (3) face brick columns. The elevation is comprised entirely of face brick. A continuous brick rowlock sill is shown below the window lines. Soldier course work is shown above the window line and below the EIFS cornice and freize that extends the length of the parapet wall. A precast concrete lintel and a precast concrete address panel is shown on the entrance feature.

Three (3) storefront windows and conceptual signage is shown on this elevation as well.

#### *West Elevation (Side - Facing Physician's Immediate Care)*

The west elevation serves as a secondary storefront and is distinguished by its entrance feature and row of ten (10) overhead doors to be used for customer vehicle services. The elevation is entirely comprised of face brick. The entrance feature has a precast lintel and concrete address panel, mimicking those on the south elevation. The continuous brick rowlock sill, soldier course work, cornice, freize, and face brick columns are present on this elevation to continue the harmonious architectural design of the structure.

Bollards, exterior lighting, storefront windows, and conceptual signage are proposed on this elevation.

#### *North Elevation (Rear - Facing Target)*

The north elevation is distinguished by its sense of "back-of-house". This elevation continues the consistent architectural design of the other elevations with the use of face brick, columns, brick rowlock sill, soldier course work, cornice, and freize. One (1) overhead door is present which will be used by employees. In addition, two (2) service doors, three windows, and a free air station is present.

Bollards, exterior lighting, and conceptual signage are proposed on this elevation.

#### *East Elevation (Side - Facing Lot 2)*

The east elevation continues the consistent architectural design of the building with the use of face brick, columns, brick rowlock sill, soldier course work, cornice, and freize. Storefront windows are shown at the southeast corner of the building and nine (9) additional windows are shown on this elevation.

Exterior lighting, a service door, and conceptual signage are proposed on this elevation.

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## **LANDSCAPING/TREE MITIGATION**

A preliminary Landscape Plan has been submitted, reviewed, and approved by the Village's landscape consultant Hey & Associates. Landscaping requirements have been met and will be confirmed during final landscape plan review. The petitioner must submit a final landscape plan for separate review and approval in conjunction with final engineering. All conditions included in the most recent and future comment letters must be addressed during final landscape plan review. It is imperative that the landscape design professional and project engineer coordinate their work to provide grading required for landscape compliance.

Of note, the required parking lot island of the centrally located parking row has been consolidated into another parking lot island. The construction of the required parking lot island would have resulted in an awkwardly placed bed and therefore it was determined that the consolidation and relocation of plant materials was appropriate.

## **DETAILED PLANNING DISCUSSION**

### **Preliminary Engineering**

Preliminary engineering approval has been granted for this project by the Village's engineering consultant, Christopher B. Burke Engineering Ltd. (CBBEL). Final engineering submittal must address all previous review letter comments as well as any future engineering comments.

Water and Sewer - Stormwater detention for the proposed project on Lot 1 will be provided by an underground detention system with underdrains that overflow into the existing storm sewer system. Stormwater detention is not proposed for Lot 2 as part of this project.

Utilities - Nearby tie-ins are existing and available. Utilities have been coordinated with overall Planned Development. Overhead utilities are to be buried on Lot 1 as part of this project and Lot 2 at such a time it redevelops.

Lighting - A photometric plan will be reviewed during final engineering and shall meet the requirements of Section 6-315.

Off-Site Improvements - The petitioner will need to provide a letter from the adjacent landowner allowing the off-site work and improvements (regarding the removal of the existing billboard upon end of contract) on Lot 2. An approval letter shall be submitted as part of final engineering.

### **Comprehensive Plan**

According to the Village's Comprehensive Plan, the subject property is located in the Regional Core Planning District and is designated Regional Mixed Use. The Comprehensive Plan notes that there is limited vehicular access and that improvements to aging commercial are necessary. The proposed development consisting of motor vehicle services on Lot 1 are considered a conditionally appropriate land use within this designation.

### **Land Use/Compatibility**

The proposed use of motor vehicle services is a conditionally appropriate land use within its planning district. The proposed land use is consistent with the existing uses on site as well as the existing uses along 159<sup>th</sup> Street which is distinguished from LaGrange Road by the prominence of automobile sales and services. The proposed project is a Special Use in the BIZ General Business District, conditionally compatible with the Regional Core Planning District, and is harmonious with surrounding existing uses along 159<sup>th</sup> Street.

### **Subdivision**

The proposed project will include a subdivision to divide three (3) lots into two (2) lots. A Preliminary Plat has been reviewed and approved by the Village. The proposed Lot 1 is roughly 1.268 acres (55,257 square feet) and Lot 2 is roughly 1.257 acres (54,758 square feet). The petitioner will need to submit a final Plat of Subdivision to the Village for execution and recording.

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## **Map Amendment**

The petitioner seeks approval of a map amendment to rezone Lot 1 of the subdivision from E-1 Estate Residential District to BIZ General Business District. The property, when annexed by the Village, was given the E-1 Estate Residential District with the condition that existing uses could continue. The proposed BIZ General Business District is compatible with the zoning and uses of the adjacent properties as well as along 159<sup>th</sup> Street. Per Section 5-108 of the Land Development Code, the Plan Commission shall consider the extent to which the proposed amendment meets the eight LaSalle Factors, which are attached for review.

## **Special Use Permit**

The petitioner seeks approval of a Special Use Permit to create a Planned Development comprised of two (2) lots as well as a Special Use Permit to allow for motor vehicle services in the BIZ General Business District. Motor vehicle services require approval of a Special Use Permit in the BIZ General Business District per Section 6-207 of the Land Development Code. Per Section 5-105.E. of the Land Development Code, the Plan Commission shall consider the extent to which the proposed project will meet the eight Special Use Standards, which are attached for review.

## **Signage**

As shown on the submitted plans, the petitioner is proposing a monument sign at the southwest corner of the property as well as wall signage on the east, south, and west elevations. The petitioner has provided conceptual elevations for review. Signage is not included as part of this petition. All signs are subject to a separate sign permit review by the Development Services Department and must comply with Section 6-307 of the Land Development Code.

## **Accessory Structures**

### Flagpole

A flagpole is located to the east of the 159<sup>th</sup> Street access. The flag pole is proposed to be thirty-five (35) feet in height with a sixty (60) square foot flag. The proposed flag pole meets the requirements provided in Section 6-302 of the Land Development Code.

### Garbage Enclosure

A garbage enclosure is proposed to be located at the rear of the site near the northwest corner of the property. To meet code requirements, the enclosure walls and gates must be constructed of the same building material and in the same architectural style as the principal structure. Opaque walls and gate shall have a height no greater than eight (8) feet and no less than six (6) feet. The proposed garbage enclosure conforms to the Land Development Code requirements.

## **Mechanicals/Utility Conduits**

All mechanical equipment must be screened, either at grade level with landscaping or hidden behind the roofline. Exterior roof ladders are not permitted and should be located interior to the building. The petitioner has verified that all roof-top mechanical units will be screened from view via the parapet wall. All ground-based mechanical equipment has been shown to be properly screened via landscaping.

## **Exactions and/or Incentives**

All exaction fees, including but not limited to transportation, parks and schools, are to be paid to the Village per Code requirements.

## **Bulk Requirements**

### Lot Size

Minimum - 10,000 square feet

Overall Proposed - 109,995 square feet

Lot 1 - 55,257 square feet

Lot 2 - 54,758 square feet

### Lot Coverage

Maximum - 75% (Up to 80% when Best Management Practices are used)

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Proposed Lot 1 - 73%  
Proposed Lot 2 - No Change

Density/Floor Area Ratio (F.A.R)  
Maximum - 1.0  
Proposed - 0.19

Setbacks  
*Front Setback (South - Facing 159<sup>th</sup> Street):*  
Required - 25 feet  
Proposed - 62.3 feet

*Rear Yard (North):*  
Required - 30 feet  
Proposed - 61.3 feet

*East Interior Side Yard:*  
Required - 15 feet  
Proposed - 15 feet

*West Interior Side Yard:*  
Required - 15 feet  
Proposed - 120.7 feet

Building Height  
Maximum - 50'  
Proposed - 28'

This is now before Plan Commission for consideration.

## **BUDGET IMPACT:**

## **REQUESTED ACTION:**

Regarding Case Number **2020-0169**, also known as **Belle Tire**, I move to accept and make findings of fact as discussed at this Plan Commission meeting and within the Staff Report dated April 6, 2021.

And

I move to recommend to the Village Board approval of the **Plat of Subdivision** titled "Subdivision Plat", prepared by Woolpert, dated January 30, 2020 and last revised May 14, 2020, subject to the following conditions:

1. Submit a Record Plat of Subdivision to the Village for approval, execution, and recording.
2. Establish the proposed 30' cross-access easement at the rear of the subject property.

And

I move to recommend to the Village Board approval of the **Rezoning** of Lot 1 of the subject property located at 9500 159<sup>th</sup> Street from E-1 Estate Residential District to BIZ General Business District.

And

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I move to recommend to the Village Board approval of the **Preliminary Site Plan** titled "Site Plan," Sheet C-200, prepared by Woolpert, dated March 4, 2021, subject to the following conditions:

1. Meet all building code requirements and final engineering requirements, including required permits from outside agencies.
2. All ground-based and roof-mounted mechanical equipment must be fully screened from view and shall meet the code requirements listed in Section 6-308.J.
3. Submit a sign permit application to the Development Services Department for separate review. Signs are subject to additional review and approval via the sign permitting process and additional restrictions may apply.

And

I move to recommend to the Village Board approval of the **Preliminary Landscape Plan** titled "Landscape Plan", Sheet C-500, prepared by Woolpert, dated January 8, 2021, subject to the same conditions as outlined in the Preliminary Site Plan motion and subject to the following condition:

1. Submit a final landscape plan meeting all Village Codes and all required supporting documentation addressing the outstanding landscape items in conjunction with the final engineering submittal.

And

I move to recommend to the Village Board approval of the **Preliminary Elevations** titled "Building Elevations," on Sheets A201, A202, and A203, dated May 15, 2020, subject to the same conditions as outlined in the Preliminary Site Plan motion and subject to the following conditions:

1. All masonry must be of anchored veneer type masonry with a 2.625" minimum thickness.
2. Meet all building code requirements and final engineering requirements.

And

I move to recommend to the Village Board approval of a **Special Use Permit** for a commercial Planned Development for Belle Tire in the BIZ General Business District and E-1 Estate Residential District, subject to the same conditions as outlined in the Preliminary Site Plan Motion and subject to the following conditions:

1. All overhead utilities on Lot 1 of the commercial Planned Development must be buried and all overhead utilities on Lot 2 of the commercial Planned Development must be buried at the time of future development.
2. At such a time that Lot 2 of the commercial Planned Development is developed, the cross-access must be completed and the guardrail must be removed.
3. The owner of Lot 2 of the commercial Planned Development must provide official authorization for the proposed off-site grading for Belle Tire as well as confirmation of agreement to remove the billboard as part of Final Engineering.
4. No contract for the existing billboard may be extended or entered into and the existing billboard must be removed within six (6) months of the current contract which expires on November 1, 2023 or upon development of Lot 2, whichever occurs first.
5. Existing nonconformities on Lot 2 shall not be expanded, enlarged, moved, or altered in any manner that would increase the degree of the non-conformity.
6. At such a time of future development, Lot 2 must be rezoned to BIZ General Business District.
7. The property owners of Lot 1 and Lot 2 must enter into a Development Agreement with the Village prior to Ordinance adoption.

And

I move to recommend to the Village Board approval of a **Special Use Permit** to allow for Motor Vehicle

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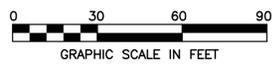


**SITE MAP**

NOT TO SCALE

**LEGEND:**

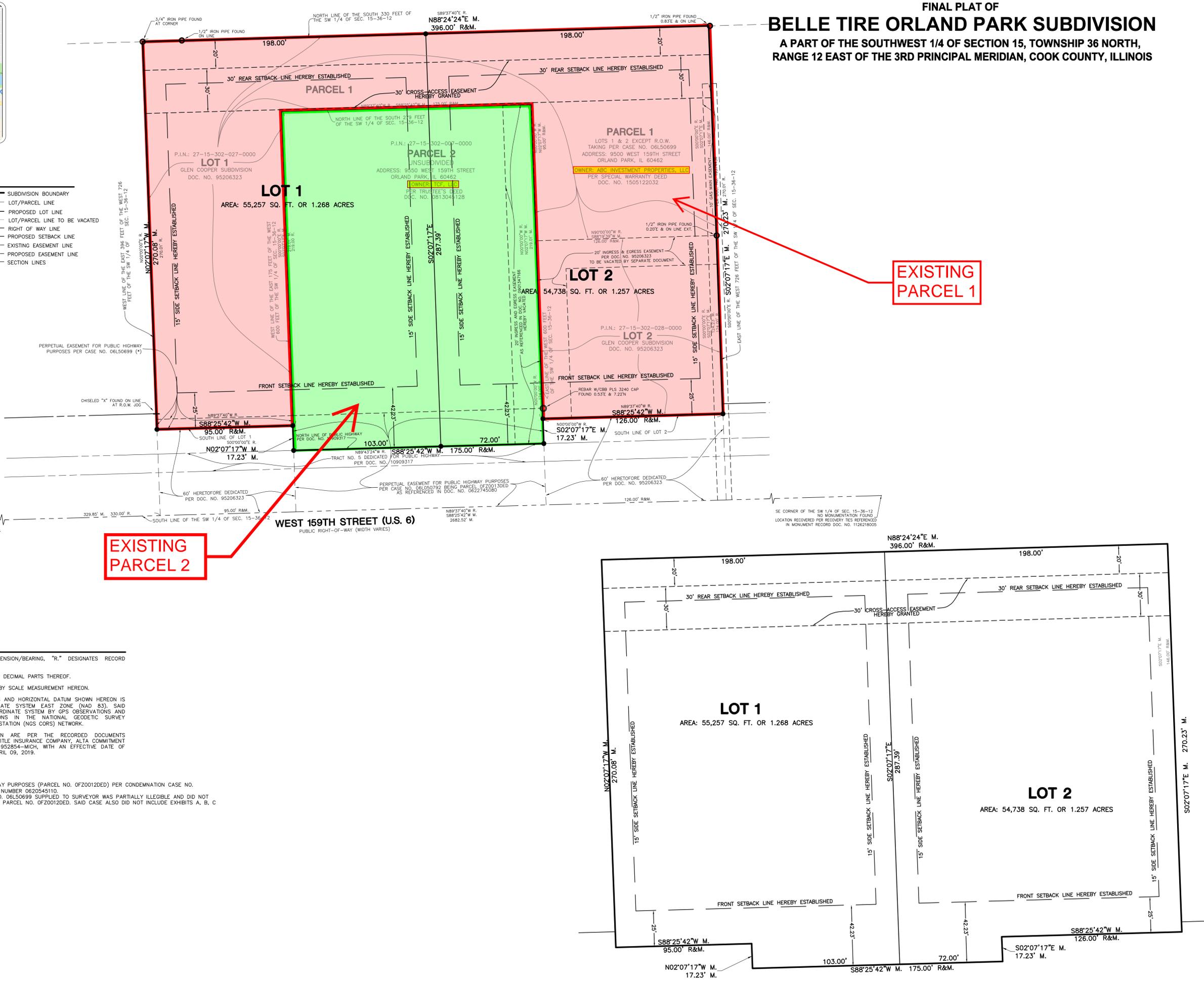
- SUBDIVISION BOUNDARY
  - LOT/PARCEL LINE
  - PROPOSED LOT LINE
  - LOT/PARCEL LINE TO BE VACATED
  - RIGHT OF WAY LINE
  - PROPOSED SETBACK LINE
  - EXISTING EASEMENT LINE
  - PROPOSED EASEMENT LINE
  - SECTION LINES
- 
- SET R.R. SPIKE/NAIL IN ASPHALT OR IRON PIN W/CAP IN SOIL OR CUT CROSS IN CONCRETE
  - REBAR FOUND
  - IRON PIPE FOUND
  - PK NAIL FOUND
  - MAG NAIL FOUND
  - SPIKE FOUND
  - CHISELED CROSS FOUND



**FINAL PLAT OF**  
**BELLE TIRE ORLAND PARK SUBDIVISION**  
 A PART OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 36 NORTH,  
 RANGE 12 EAST OF THE 3RD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS



CALL BEFORE YOU DIG  
 800-882-0123



**EXISTING PARCEL 2**

**EXISTING PARCEL 1**

**SURVEYOR'S NOTES:**

1. "M." DESIGNATES MEASURED DIMENSION/BEARING, "R." DESIGNATES RECORD DIMENSION/BEARING.
2. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
3. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
4. THE BASIS OF MEASURED BEARINGS AND HORIZONTAL DATUM SHOWN HEREON IS THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD 83). SAID BEARINGS ORIGINATED FROM SAID COORDINATE SYSTEM BY GPS OBSERVATIONS AND OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK.
5. EASEMENTS AS DEPICTED HEREIN ARE PER THE RECORDED DOCUMENTS REFERENCED IN THE FIRST AMERICAN TITLE INSURANCE COMPANY, ALTA COMMITMENT FOR TITLE INSURANCE FILE NO. NCS-952854-MICH, WITH AN EFFECTIVE DATE OF MARCH 12, 2019, LAST REVISED ON APRIL 09, 2019.

(\*) PERPETUAL EASEMENT FOR HIGHWAY PURPOSES (PARCEL NO. 0F20012DED) PER CONDEMNATION CASE NO. 06L50699 AS DESCRIBED IN DOCUMENT NUMBER 0620545110. THAT PART OF CONDEMNATION CASE NO. 06L50699 SUPPLIED TO SURVEYOR WAS PARTIALLY ILLEGIBLE AND DID NOT INCLUDE A LEGAL DESCRIPTION OF SAID PARCEL NO. 0F20012DED. SAID CASE ALSO DID NOT INCLUDE EXHIBITS A, B, C AND D REFERENCED THEREIN.

PROJECT NO.:	REVISION
79595	
DATE 01/30/20	
SCALE AS SHOWN	
DES. SRK	
DR. PTK	
CKD. SRK	
	2. 05/14/20 REVISED PER COMMENTS
	1. 01/31/20 REVISED PER COMMENTS

WOOLPERT, INC.  
 1815 South Meyers Road  
 Suite 950  
 Oakbrook Terrace, IL 60181  
 630.424.9080  
 FAX: 630.495.3731



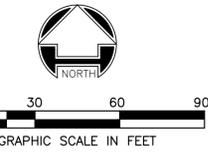
**BELLE TIRE ORLAND PARK SUBDIVISION**  
 A PART OF THE SOUTHWEST 1/4 OF SECTION 15,  
 TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE 3RD  
 PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS

SHEET NO.

**1 of 2**

C:\SV Projects\79595 - Belle Tire Orland Park IL\79595 - Plat-R2.dwg, Plotted By: Kaczmarzyk, Plotted: May 15, 2020 - 8:41am

Layout Tab Name: C200, Images: william.dougherty1.jpg, Xrefs: 79595TBLK.dwg, 79595-x.dwg, 79595-p.dwg, 79595-LTG.dwg, 79595 - Topo 11-20-20.dwg  
 Last Saved By: Cederquist, 3/4/2021 6:07:19 PM  
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REVISION

DATE

PROJECT No: 79595

DATE 03/04/21

DES. DR. PJD

CKD. ARS

1815 South Meyers Road  
 Suite 950  
 Oakbrook Terrace, IL 60181  
 630.424.9080  
 FAX: 630.495.3731



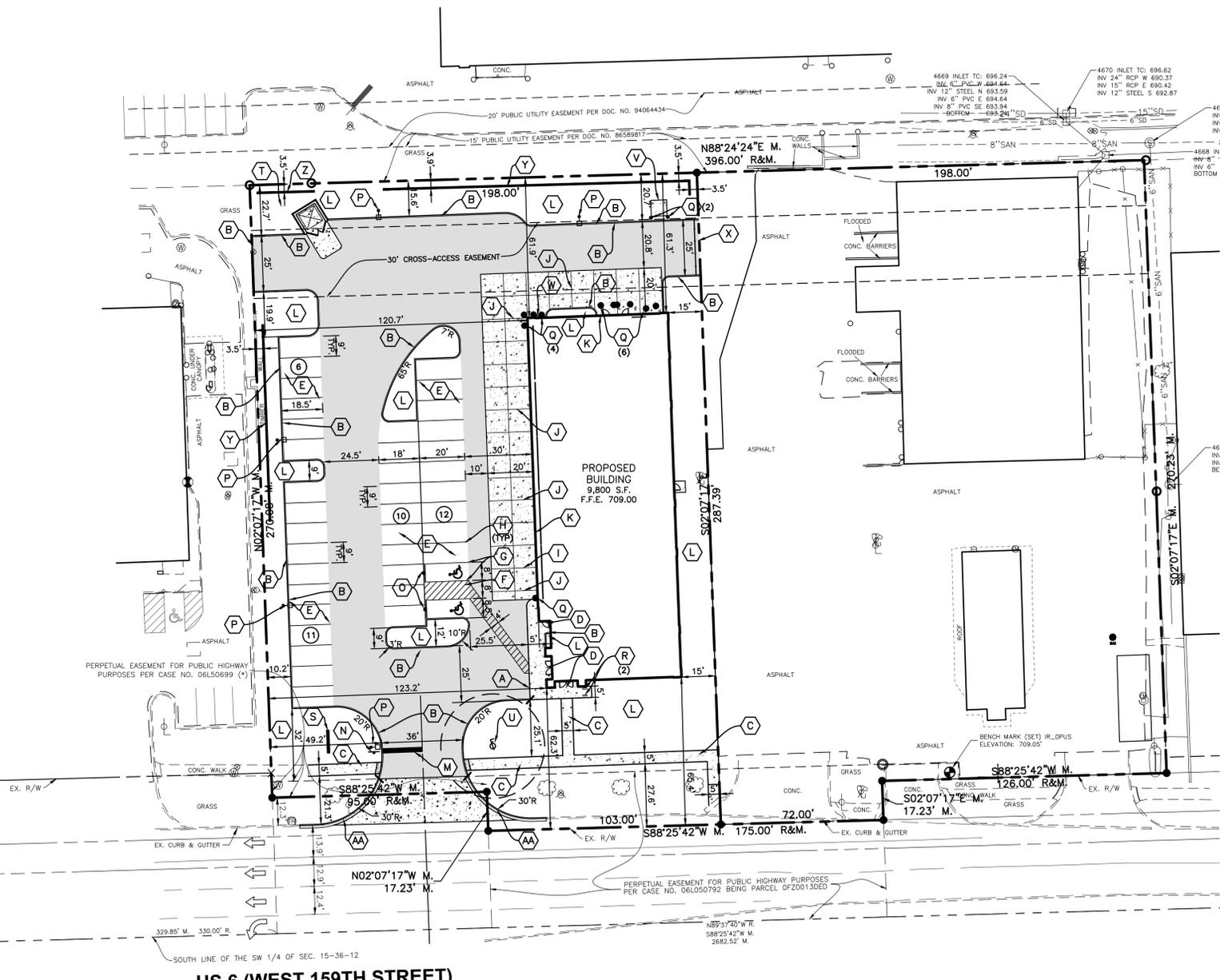
BELLE TIRE ORLAND PARK

9526 WEST 159TH STREET  
 ORLAND PARK, IL 60467

SITE PLAN

SHEET NO.

C200



**SITE DATA BOX**

	EXISTING	PROPOSED
ZONING DISTRICT	E-1	BIZ
PRINCIPAL STRUCTURES	2	1
<b>BIZ REQUIREMENTS</b>		
	REQUIRED	PROPOSED
FLOOR AREA RATIO	MAX 1.0	0.19
LOT AREA	MIN 10,000 SF	1.20 AC (52,272 SF)
LOT COVERAGE	MAX 75%	73%
GREEN SPACE	MIN 25%	27%
BUILDING HEIGHT (FT)	MAX 50	28
STANDARD PARKING STALLS	33	37
ACCESSIBLE PARKING STALLS	MIN 2	2
BICYCLE PARKING STALLS	MIN 4	4
<b>SETBACKS</b>		
159TH STREET (SOUTH)	MIN 25 FT	62.3 FT
INTERIOR SIDE (EAST)	MIN 15 FT	15 FT
INTERIOR SIDE (WEST)	MIN 15 FT	120.7 FT
REAR (NORTH)	MIN 30 FT	61.3 FT

**LEGEND**

SYMBOL	DESCRIPTION
A	INTEGRAL WALK & CURB
B	6" STRAIGHT CURB
C	CONCRETE WALK
D	CONCRETE STOOP (5'x5' UNLESS OTHERWISE)
E	REGULAR DUTY ASPHALT PAVEMENT
F	4" PAINTED BLUE PAVEMENT STRIPE AT 45° ANGLE, 2' O.C.
G	4" PAINTED BLUE PAVEMENT STRIPE
H	4" PAINTED WHITE PAVEMENT STRIPE
I	CONTROL JOINT
J	EXPANSION JOINT
K	EXPANSION JOINT AT BUILDING
L	LANDSCAPED AREA
M	24" STOP BAR
N	STOP SIGN AND 'RIGHT OUT ONLY' SIGN
O	ADA SIGN
P	LIGHT POLE (SEE LIGHTING PLAN)
Q	GUARD POST
R	BICYCLE RACK (4 PARKING SPACES)
S	BELLE TIRE SIGN (SEE ARCH. PLANS)
T	TRASH ENCLOSURE (SEE ARCH. PLANS)
U	35' FLAG POLE WITH 60 SQUARE FOOT FLAG
V	TRANSFORMER PAD
W	'FREE AIR' STATION
X	GUARDRAIL
Y	0'-2" HIGH SEGMENTED CONCRETE RETAINING WALL
Z	0'-1.5" HIGH SEGMENTED CONCRETE RETAINING WALL
AA	B6.12 BARRIER CURB AND GUTTER
AB	ADA PAVEMENT SYMBOL
AC	SIGN
AD	CURB TRANSITION
AE	NUMBER OF PARKING SPACES
AF	CONCRETE PAVEMENT
AG	HEAVY DUTY ASPHALT PAVEMENT
AH	DETECTABLE WARNING SURFACE

**SITE NOTES**

- ALL DIMENSIONS IN CURBED AREAS SHALL BE BACK TO BACK OF CURB.  
 --ALL DIMENSIONS IN AREAS WITHOUT CURB SHALL BE TO EDGE OF PAVEMENT.  
 --ALL DIMENSIONS AT INTEGRAL CURB & WALK SHALL BE TO FACE OF CURB.  
 --ALL DIMENSIONS FROM BUILDING SHALL BE FROM FACE OF BUILDING.
- ALL RADI IN PAVED AREAS & ON CURBS SHALL BE 3' UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD BEFORE STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD CONDITION, THE CONTRACTOR SHALL CONTACT A/E IMMEDIATELY.
- PROVIDE SMOOTH TRANSITION FROM NEW AREAS TO EXISTING FEATURES AS NECESSARY.
- ALL AREAS WHERE THE EXISTING PAVEMENT OR PAVEMENTS ARE DAMAGED DURING CONSTRUCTION FROM TRAFFIC BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR SUPPLIERS SHALL BE RESURFACED OR RECONSTRUCTED AT LEAST TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION WORK IS COMPLETED.
- ALL RADI INDICATED SHALL BE FORMED AS CIRCULAR ARCS.
- ALL DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO BASE LINES, PROPERTY LINES OR BUILDING LINES UNLESS OTHERWISE NOTED.
- ADA RAMP AND SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, CITY AND LOCAL CODE WHICHEVER HAS JURISDICTION. SEE SITE PLAN FOR LOCATION AND SITE DETAILS FOR SPECIFICATIONS.
- ALL STRIPES ARE TO BE 4" PAINTED, WHITE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AT HIS EXPENSE ALL AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY FEDERAL, STATE, COUNTY, CITY OR LOCAL AGENCY. THE AMOUNT, LOCATION AND SIZE SHALL BE PER DIRECTION OF AGENCY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, GRAVEL, AND ANY OTHER MATERIALS TRACKED ONTO ANY PUBLIC OR PRIVATE STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE DAILY IF NECESSARY. THE CONTRACTOR MUST USE WATER OR OTHER METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- DUE TO PROPOSED SITE CONDITIONS, WORK WILL BE REQUIRED WITHIN THE WEST 159TH STREET (U.S. 6) RIGHT-OF-WAY. CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO FOLLOW IDOT MOT DETAIL ON SHEET C601.
- THE LOCATION OF TENANT SIGNAGE IS PROVISIONAL SUBJECT TO CONFORMANCE WITH SECTION 6-307 OF THE LAND DEVELOPMENT CODE AND APPROVAL OF A PERMANENT SIGN PERMIT.

**US 6 (WEST 159TH STREET)**  
 PUBLIC R.O.W. (WIDTH VARIES)

SE CORNER OF THE SW 1/4 OF SEC. 15-36-12  
 NO MONUMENTATION FOUND  
 LOCATION RECOVERED PER RECOVERY TIES REFERENCED  
 IN MONUMENT RECORD DOC. NO. 1126218005





**CHRISTOPHER ENRIGHT ARCHITECTS**  
A PROFESSIONAL CORPORATION

628 Parent Avenue  
Suite 106  
Royal Oak, MI 48067  
TEL: 248.830.9395  
cenright@enrightarchitects.com

Consultant

Project:  
**Belle Tire**  
Orland Park, IL

9500 W. 159th Street  
Orland Park, IL 60467

Sheet:  
**Building Elevations**

Project Number:  
**18-850**

Sheet Number:  
**A 201**



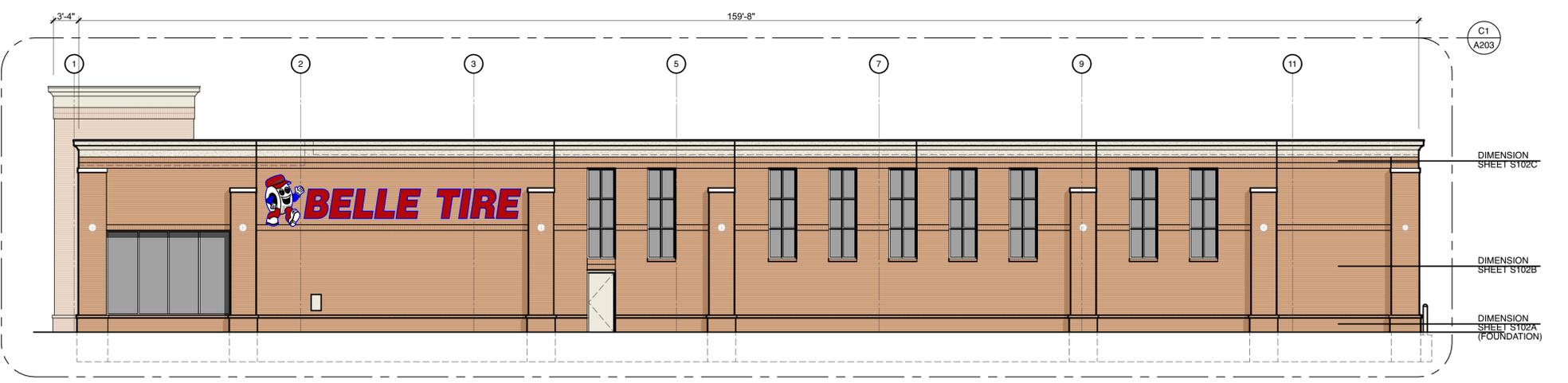
**B1 West Elevation**  
A201 SCALE: 1/8" = 1'-0"



**D1 South Elevation**  
A201 SCALE: 1/8" = 1'-0"



**D5 North Elevation**  
A201 SCALE: 1/8" = 1'-0"



**F1 East Elevation**  
A201 SCALE: 1/8" = 1'-0"

MATERIALS:		
MARK	MATERIAL	DESCRIPTION
EIFS-1	E.I.F.S.	STO-STOLIT 1.0 MOONLIT SAND 10611-64
B-1	FACE BRICK	HEARTLAND WOODBURY BY GLEN-GERY BRICK CO.
GB-1	GLAZED BLOCK	TRENWYTH ASTRA-GLAZE-SW + SERIES-COLOR = FIRESTONE RED
GL	GLAZING SYSTEM	GLAZING: 1" INSUL. - PPG SOLARBRAND 60 SOLAR CONTROL LOW "E" CLEAR, LOW REFLECTIVE INSULATING GLASS - IN CLEAR ANODIZED FRAMING SYSTEM SERIES 200 BY TUBELIGHT CORP. PROVIDE TEMPERED GLASS AS REQUIRED
MC-1	COPING	DURO-LAST 2 PIECE SNAP-ON METAL FASCIA - KYNAR FINISH - COLOR TO MATCH EIFS
PS-1	COPING	PRE-CAST CONCRETE STONE - BUFF SUBMIT SAMPLE FOR ARCHITECT'S APPROVAL
P-1	PAINT	#2333 CAPE COD GREY - INDUSTRIAL ENAMEL PRATT & LAMBERT / #7666 GRAY MATTERS SHERWIN WILLIAMS
P-2	PAINT	GRENADIER RED - PRATT & LAMBERT
P-3	PAINT	PAINT TO MATCH EIFS
P-4	PAINT	DRYFALL - BRILLIANT WHITE
P-5	PAINT	GENERAL WHITE - INDUSTRIAL ENAMEL PRATT & LAMBERT
P-7	PAINT	BLACK SEMI-GLOSS - ALL MANUFACTURERS
P-8	PAINT	HC-75 MARYVILLE BROWN

NOTE:  
ALL WEATHER COVERING MATERIALS AND THICKNESSES SHALL COMPLY WITH LAND DEVELOPMENT CODE SECTION 6-308 AND VILLAGE CODE 6-1-15.



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Consultant

Project

**Belle Tire**  
Orland Park, IL

9500 W. 159th Street  
Orland Park, IL 60467

Sheet

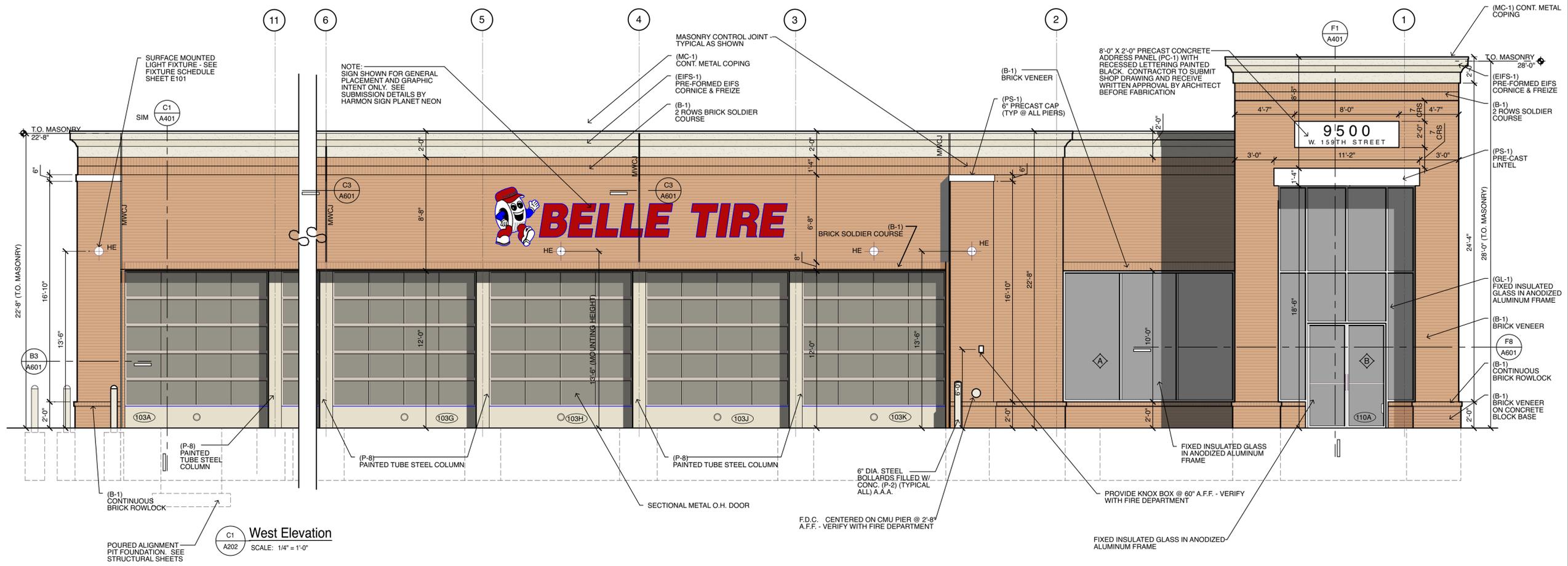
**Building Elevations**

Issued for  
2nd Municipal Submission: May 15, 2020

Project Number  
**18-850**

Sheet Number

**A 202**



**West Elevation**  
SCALE: 1/4" = 1'-0"

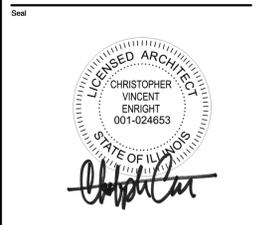


**South Elevation**  
SCALE: 1/4" = 1'-0"

MATERIALS:		
MARK	MATERIAL	DESCRIPTION
EIFS-1	E.I.F.S.	STO-STOLIT 1.0 MOONLIT SAND 10611-64
B-1	FACE BRICK	HEARTLAND WOODBURY BY GLEN-GERY BRICK CO.
GB-1	GLAZED BLOCK	TRENWYTH ASTRA-GLAZE-SW + SERIES-COLOR = FIRESTONE RED
GL	GLAZING SYSTEM	GLAZING: 1" INSUL. - PPG SOLARBRAND 60 SOLAR CONTROL LOW "E" CLEAR, LOW REFLECTIVE INSULATING GLASS - IN CLEAR ANODIZED FRAMING SYSTEM SERIES 200 BY TUBELIGHT CORP. PROVIDE TEMPERED GLASS AS REQUIRED
MC-1	COPING	DURO-LAST 2 PIECE SNAP-ON METAL FASCIA - KYNAR FINISH - COLOR TO MATCH EIFS
PS-1	COPING	PRE-CAST CONCRETE STONE - BUFF SUBMIT SAMPLE FOR ARCHITECT'S APPROVAL
P-1	PAINT	#2333 CAPE COD GREY - INDUSTRIAL ENAMEL PRATT & LAMBERT / #7686 GRAY MATTERS SHERWIN WILLIAMS
P-2	PAINT	GRENADIER RED - PRATT & LAMBERT
P-3	PAINT	PAIN TO MATCH EIFS
P-4	PAINT	DRYFALL - BRILLIANT WHITE
P-5	PAINT	GENERAL WHITE - INDUSTRIAL ENAMEL PRATT & LAMBERT
P-7	PAINT	BLACK SEMI-GLOSS - ALL MANUFACTURERS
P-8	PAINT	HC-75 MARYVILLE BROWN

NOTE:  
ALL WEATHER COVERING MATERIALS AND THICKNESSES SHALL COMPLY WITH LAND DEVELOPMENT CODE SECTION 6-308 AND VILLAGE CODE 6-1-15.





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cenright@enrightarchitects.com

Consultant

Project

**Belle Tire  
Orland Park, IL**

9500 W. 159th Street  
Orland Park, IL 60467

Sheet

**Garbage Enclosure**

Issued for  
2nd Municipal Submission: May 15, 2020

Project Number  
**18-850**

Sheet Number

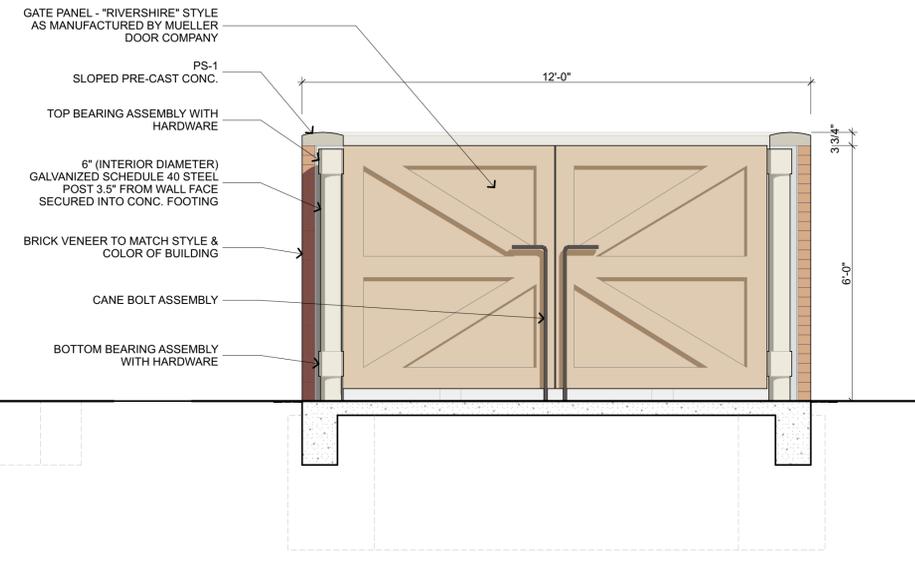
**A 204**

**COMPLIANCE:**  
GARBAGE ENCLOSURE SHALL COMPLY WITH 6-302.D OF THE LDC.

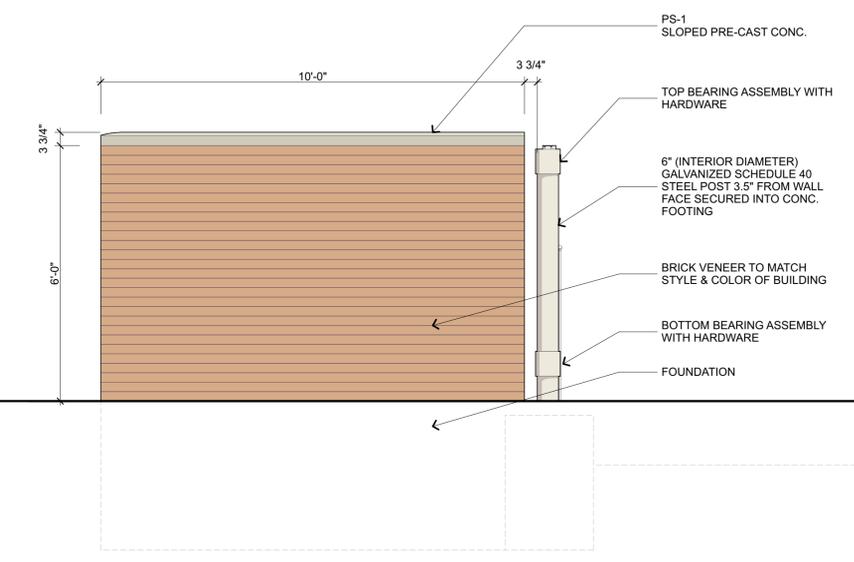
**MATERIALS:**

MARK	MATERIAL	DESCRIPTION
EIFS-1	E.I.F.S.	STO-STOLT 1.0 MOONLIT SAND 10611-64
B-1	FACE BRICK	HEARTLAND WOODBURY BY GLEN-GERY BRICK CO.
GB-1	GLAZED BLOCK	TRENWYTH ASTRA-GLAZE-SW + SERIES - COLOR = FIRESTONE RED
GL	GLAZING SYSTEM	GLAZING: 1" INSUL. - PPG SOLARBRAND 60 SOLAR CONTROL LOW "E" CLEAR, LOW REFLECTIVE INSULATING GLASS - IN CLEAR ANODIZED FRAMING SYSTEM SERIES 200 BY TUBELIGHT CORP. PROVIDE TEMPERED GLASS AS REQUIRED
MC-1	COPING	DURO-LAST 2 PIECE SNAP-ON METAL FASCIA - KYNAR FINISH - COLOR TO MATCH EIFS
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P-7	PAINT	BLACK SEMI-GLOSS - ALL MANUFACTURERS
P-8	PAINT	HC-75 MARYVILLE BROWN

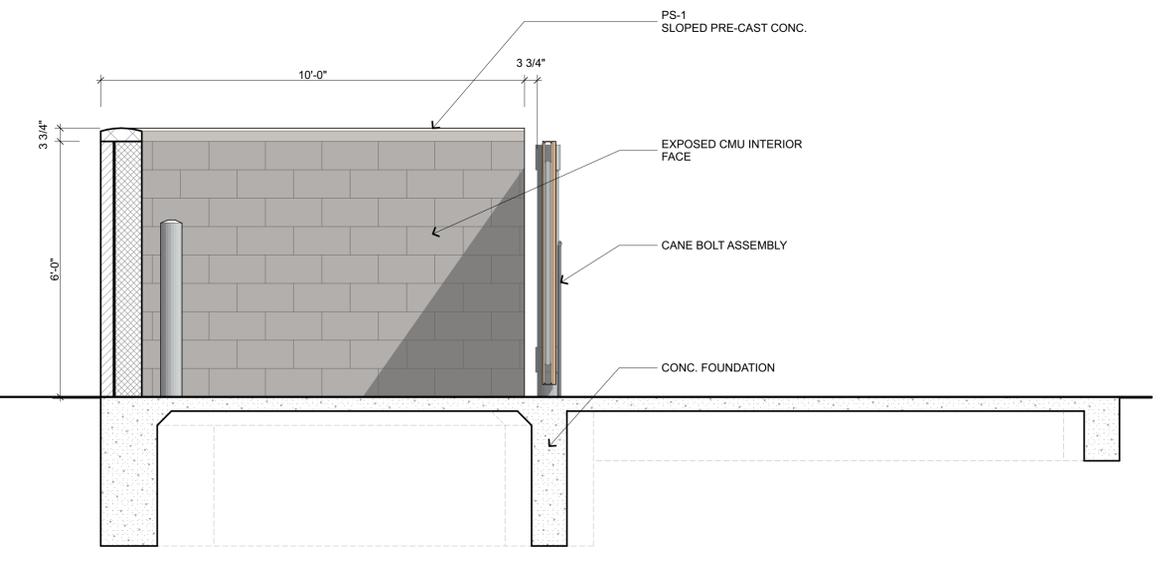
**NOTE:**  
ALL WEATHER COVERING MATERIALS AND THICKNESSES SHALL COMPLY WITH LAND DEVELOPMENT CODE SECTION 6-308 AND VILLAGE CODE 5-1-13.



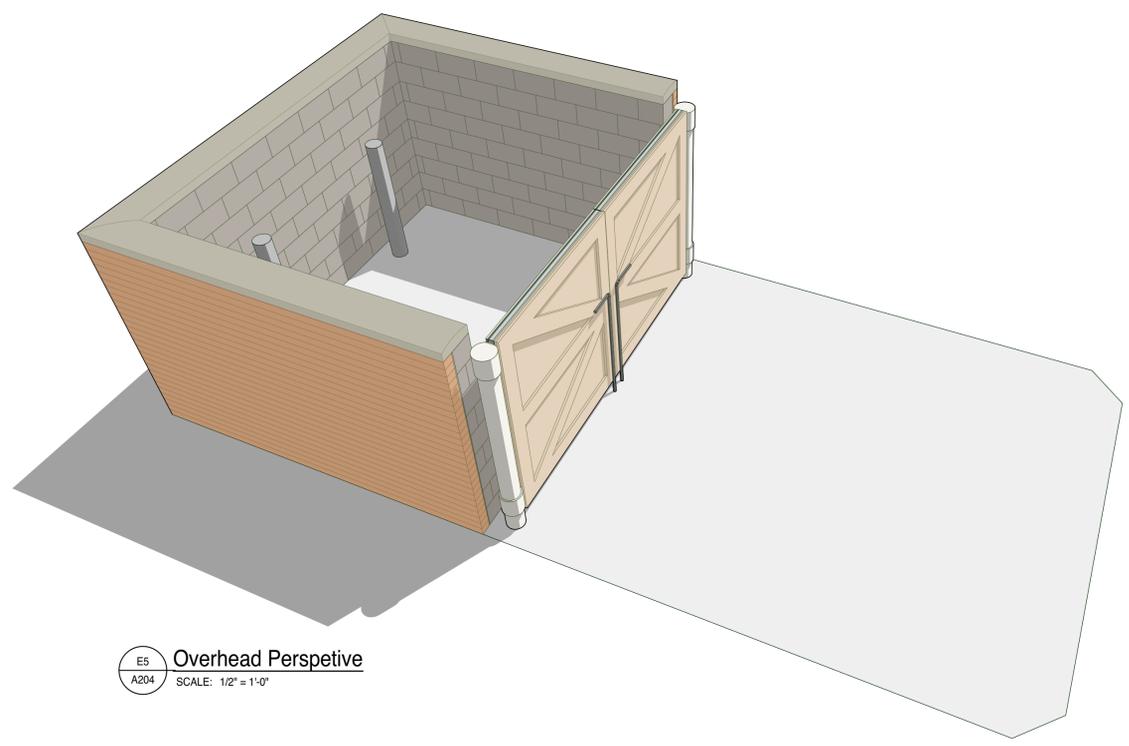
**C5 South Elevation**  
SCALE: 1/2" = 1'-0"



**C1 West Elevation**  
SCALE: 1/2" = 1'-0"



**E1 Section Looking East**  
SCALE: 1/2" = 1'-0"



**E5 Overhead Perspective**  
SCALE: 1/2" = 1'-0"

# CHRISTOPHER ENRIGHT ARCHITECTS

A PROFESSIONAL CORPORATION

Belle Tire  
West 159<sup>th</sup> Street  
Orland Park, IL

## SPECIAL USE STANDARDS

Responses indicate page numbers from the Village of Orland Park, Illinois 2013 Comprehensive Plan

1. *The special use will be consistent with the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations;*
  - *Some existing older commercial properties are vacant and appear unkempt (p.45)*

Proposed use will eliminate existing vacant, unkempt site and buildings
  - *Development patterns have changed over time making some properties prime candidates for thoughtful infill and redevelopment (p. 45)*

Current property is a being redeveloped and renovated to meet Village standards and meets the spirit of infill
  - *Support redevelopment and re-use of developed areas via proactive planning and incentives (p. 46)*

Property needs redevelopment and will be provided
  - *Promote investment in aging, unkempt and / or vacant properties through renovation, re-use or development. (p. 51)*

Existing aging, unkempt and vacant buildings to be demolished and will be redeveloped.
  - *The north side of the District includes a number of aging retail centers and buildings on smaller disconnected, irregular lots. These areas need improvement, investment or redevelopment in order to stay viable. (p. 78)*

Current lot to be redeveloped
  - *Foster and enhance specialty retail clusters like furniture and auto (p. 142)*

Our proposed use is consistent with other auto uses along the 159<sup>th</sup> Street corridor.
  - *Encourage redevelopment of infill parcels... (p. 142)*

Parcel to be redeveloped

2. *The special use will be consistent with the community character of the immediate vicinity of the parcel for development;*

Automotive retail / repair use is consistent with our neighbors, including (but not limited to):

Import Auto, Discount Tire, Phillips 66, Auto Zone, Pep Boys Auto Parts and Service, Costco (Tire Center) as well as large retail users:, Target, Walmart, Jewel-Osco, PetSmart, etc.

3. *The design of the proposed use will minimize adverse effect, including visual impacts on adjacent properties;*

Proposed use is a single story facility where the exterior consists of brick veneer and cast stone with limited yet appropriate parking and landscape

4. *The proposed use will not have an adverse effect on the value of the adjacent property;*

- This multi-million dollar development on an existing demolished building will increase surrounding property values.
- Belle has a very active Property Management department that services and maintains their buildings on a scheduled basis so quality is maintained
- Belle is a substantial, long standing entity that will provide constant support to the proposed facility and area

5. *The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service;*

As the proposed site is deep within the existing intense commercial corridor, all required dry and wet utilities as well as other essential municipal services are provided in ample manner.

6. *The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development;*

Belle develops, operates and manages 10 to 20 properties every year. Belle is well positioned and uniquely qualified to construct this project and maintain the property in the future.

7. *The development will not adversely affect a known archaeological, historical or cultural resource;*

No archeological, historical or cultural resource is known on this site.

8. *The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village. It is the responsibility of the petitioner to prove*

Proposed development will meet all required aspects of the zoning ordinance where it is anticipated that no variances will be required.

Sincerely

A handwritten signature in dark ink, reading "Christopher Enright", is written over a horizontal line. The signature is cursive and stylized.

Christopher Enright, NCARB

# CHRISTOPHER ENRIGHT ARCHITECTS

A PROFESSIONAL CORPORATION

Belle Tire  
9500 West 159<sup>th</sup> Street  
Orland Park, IL

## SPECIAL USE STANDARDS FOR PLANNED DEVELOPMENT

Responses indicate page numbers from the Village of Orland Park, Illinois 2013  
Comprehensive Plan

1. *The special use for planned development will be consistent with the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations;*
  - Promote design requirements for buildings that include masonry-based features and an emphasis on transparency, rhythm and detailing (pg.13)  
All four sides of the proposed structure feature a mostly brick veneer exterior. Brick veneer exterior is accompanied by cast stone detailing and a minor EIFS cornice. Windows and masonry pilasters create a consistent, proportional rhythm at the exterior. A prominent entry tower identifies the main customer entry at the south end of the facility
  - Promote investment in aging, unkempt, and/or vacant properties in the Orland Park planning area (p.51)  
This property is well known for the derelict and dilapidated, vacant structures and generally blighted condition of the site. A significant benefit to the community will be the demolition of such structures, broken pavement and overgrown vegetation. The construction of the new development will greatly improve the site and increase property values to all neighbors.
  - Investment and improvements are encouraged in aging commercial areas to maintain the strength of the corridor. Proactive planning should consider redevelopment and reuse of area that are no longer viable (p.90)  
Current property is being redeveloped and renovated to meet Village standards and meets the spirit of infill. This development will include a cross-access roadway to facilitate access between properties rather than dependence upon US 6 (159<sup>th</sup> Street). Overhead utilities will be buried with this Belle development and will be required when Lot 2 develops in the future.

- Promote a mix of both locally-owned and national chain business (pg 142)

Belle Tire is midwest-based, privately owned by the Barnes family headquartered in Allen Park, Michigan. Within just the past 3 years, they have begun to expand their Michigan network to include northern Ohio, Indiana, and now Chicago. While the future use of Lot 2 is unknown at this time, opportunity exists for a locally-owned establishment to develop and improve the site.

2. *The special use will be consistent with the community character of the immediate vicinity of the parcel for development;*

- Automotive retail / repair use is consistent with our neighbors, including (but not limited to): Import Auto, Discount Tire, Phillips 66, Auto Zone, Pep Boys Auto Parts and Service, Costco (Tire Center) as well as large retail users:, Target, Walmart, Jewel-Osco, PetSmart, etc.

3. *The design of the proposed use will minimize adverse effect, including visual impacts on adjacent properties;*

- Proposed use is a single story facility where the exterior consists of brick veneer and cast stone with limited yet appropriate parking and landscape. This development will also bury overhead utilities with further utility burial required when Lot 2 develops in the future.

4. *The proposed use will not have an adverse effect on the value of the adjacent property;*

- This multi-million dollar development on an existing vacant building will increase surrounding property values
- Belle has a very active Property Management department that services and maintains their buildings on a scheduled basis so quality is maintained
- Belle is a substantial, long standing entity that will provide constant support to the proposed facility and area

5. *The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service;*

- As the proposed site is deep within the existing intense commercial corridor, all required dry and wet utilities as well as other essential municipal services are provided in ample manner.

6. *The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development;*
  - Belle develops, operates and manages 10 to 20 properties every year. Belle is well positioned and uniquely qualified to construct this project and maintain the property in the future.
  
7. *The development will not adversely affect a known archaeological, historical or cultural resource;*
  - No archeological, historical or cultural resource is known on this site.
  
8. *The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.*
  - Proposed development will meet all required aspects of the zoning ordinance where it is anticipated that no variances will be required.

Sincerely

A handwritten signature in black ink, reading "Christopher Enright", is written over a horizontal line. The signature is written in a cursive style.

Christopher Enright, NCARB

# CHRISTOPHER ENRIGHT ARCHITECTS

A PROFESSIONAL CORPORATION

Belle Tire  
West 159<sup>th</sup> Street  
Orland Park, IL

## REZONING STANDARDS

1. *The existing uses and zoning of nearby property;*

Surrounding uses:

- COR – Mixed Use Core (North) – use: Retail – Target
- COR – Mixed Use Core (South) – Vacant Lot
- E-1- Estate Residential District (East) – Vacant Lot
- BIZ – General Business District (West) – use – Physicians Immediate Care

2. *The extent to which property values are diminished by a particular zoning classification or restriction;*

Property values will not be affected in the negative as the proposed zoning will be consistent with the surrounding properties

3. *The extent to which the destruction of property value of a complaining property owner promotes the health, safety, morals, or general welfare of the public;*

Proposed rezoning will allow commercial developments consistent with surrounding uses and will actually promote better symbiosis with the community than the existing residential zoning designation.

4. *The relative gain to the public as opposed to the hardship imposed on a complaining property owner;*

Gain to the public of commercial vs. residential zoning is a higher tax base for the public, additional services and product selection for the public and reduction of potential complaints from a residential user in a commercial corridor.

5. *The suitability of the subject property for its zone purposes;*

The proposed use and proposed zoning will be consistent with those uses and zoning surrounding the property.

6. *The length of time the property has been vacant as zoned, considered in the context of land development in the area;*

Current site contains an old, run down use and structures. Redevelopment is needed on this site for the benefit of the neighbors and Village overall.

7. *The care with which the community has undertaken to plan its land use development;*

The following elements are taken from Responses indicate page numbers from the Village of Orland Park, Illinois 2013 Comprehensive Plan and are also indicated in the responses in the Special Use Standards:

- *Some existing older commercial properties are vacant and appear unkempt (p.45)*  
 Proposed use will eliminate existing vacant, unkempt site and buildings
- *Development patterns have changed over time making some properties prime candidates for thoughtful infill and redevelopment (p. 45)*  
 Current property is a being redeveloped and renovated to meet Village standards and meets the spirit of infill
- *Support redevelopment and re-use of developed areas via proactive planning and incentives (p. 46)*  
 Property needs redevelopment and will be provided
- *Promote investment in aging, unkempt and / or vacant properties through renovation, re-use or development. (p. 51)*  
 Existing aging, unkempt and vacant buildings to be demolished and will be redeveloped.
- *The north side of the District includes a number of aging retail centers and buildings on smaller disconnected, irregular lots. These areas need improvement, investment or redevelopment in order to stay viable. (p. 78)*  
 Current lot to be redeveloped
- *Foster and enhance specialty retail clusters like furniture and auto (p. 142)*  
 Our proposed use is consistent with other auto uses along the 159<sup>th</sup> Street corridor.
- *Encourage redevelopment of infill parcels... (p. 142)*  
 Parcel to be redeveloped

8. *The evidence, or lack of evidence, of community need for the use proposed*

With more than 160 stores, Belle Tire Marketing Department studies each future market location carefully. The Department has identified the Village of Orland Park, specifically the 159<sup>th</sup> Street corridor as an ideal location for this future

store. Further, Belle often finds locations near Discount Tire to be very successful. Along with those reasons, the property in question also exists in the 159<sup>th</sup> Street corridor, where the Comprehensive Plan identifies automotive uses as valued locations.

Sincerely,

A handwritten signature in dark ink, written in a cursive style, reading "Chris Enright". The signature is written over a horizontal line that extends across the width of the signature.

Christopher Enright, NCARB

DATE: April 6, 2021

## **REQUEST FOR ACTION REPORT**

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File Number: **2021-0258**

Orig. Department:

File Name: **Memo: New Petitions**

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**BACKGROUND:**

**BUDGET IMPACT:**

**REQUESTED ACTION:**

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# Memorandum

**To:** Plan Commission  
**From:** Ed Lelo, Director of Development Services  
**Date:** April 6, 2021  
**Subject:** New Petitions & Appearance Reviews

Below, please find a summary of recently petitioned projects and appearance reviews. Petitioned projects are currently under review by staff and may or may not be on a future Plan Commission agenda. These projects have been petitioned to the Village but may not have obtained all the approvals required to begin work. Projects sometimes are terminated without moving forward for a variety of reasons. Appearance Reviews and Certificates of Appropriateness are reviewed and approved administratively. The below list does not include cell tower or solar panel projects. Please contact me with any questions regarding the below projects.

## Appearance Review Petitions

Colette Highlands, Townhomes – 10616 Owain Way – Minor changes to exterior façade – replace shingled roof with metal roof

Sheehy Funeral Home – 9000 151<sup>st</sup> Street – Garage addition

Old Plank Trail Bank – 15330 LaGrange Road – Replace garbage corral

## Development Petitions

## Certificate of Appropriateness Petition

## Board Approved Petitions