



ENGINEER	CIVIL ENGINEER	CONSTRUCTION MANAGEMENT	ARCHITECT
LINDEN GROUP, INC. 11205 183RD PLACE ORLAND PARK, IL 60467 PH: 708-799-4400 FX: 708-799-4434 WWW.LINDENGROUPINC.COM	ADVANTAGE CONSULTING ENGINEERS 80 MAIN STREET, SUITE 17 LEMONT, ILLINOIS PH.: 847-260-4758	RWE MANAGEMENT COMPANY 16 W. 361 S. FRONTAGE RD, SUITE 106 BURR RIDGE, ILLINOIS 60527 PH.: 630-734-0883 FX.: 630-734-0884	LINDEN GROUP, INC. 10100 ORLAND PARKWAY, SUITE 110 ORLAND PARK, ILLINOIS 60467 PH.: 708-799-4400 FX.: 708-799-4434 WWW.LINDENGROUPINC.COM

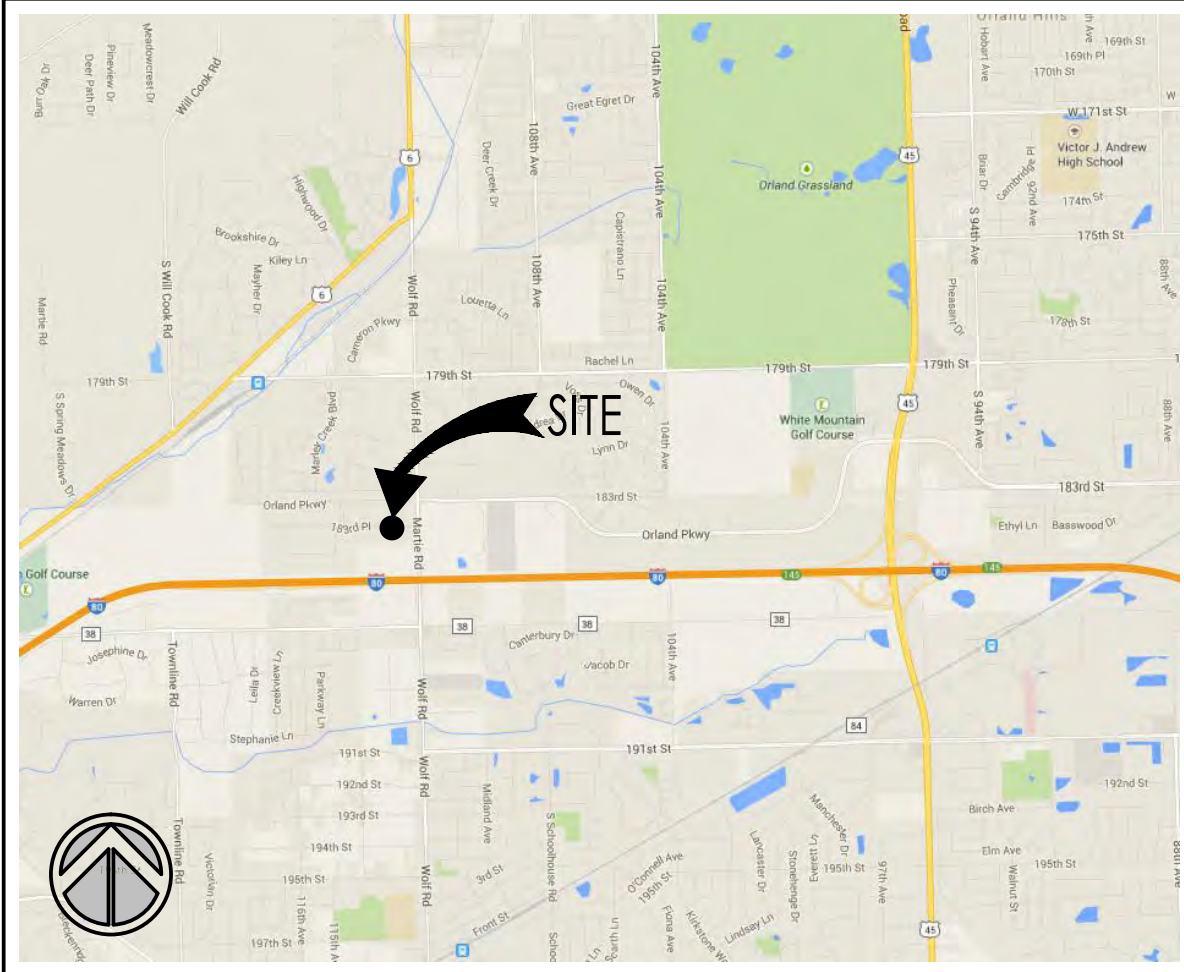
GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING THEIR BID. ALL CONTRACTORS TO VERIFY ALL EXISTING DIMENSIONS, MATERIALS AND CONDITIONS IN THE FIELD, AND TO REVIEW ALL PROPOSED NEW CONSTRUCTION BEFORE SUBMITTING BIDS AND STARTING CONSTRUCTION. NOTIFY OWNER IN WRITING OF ANY DISCREPANCIES. FAILURE TO MEET THIS REQUIREMENT SHALL NOT BE CAUSE FOR ANY ADDITIONAL COMPENSATION.
- VERIFY ALL DIMENSIONS IN THE FIELD. WRITTEN DIMENSIONS AND/OR LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE. DO NOT SCALE THE DRAWINGS.
- ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER. ALL MATERIALS & EQUIP., TO BE USED & INSTALLED IN STRICT ACCORDANCE WITH ALL MUNICIPAL BUILDING CODES & ALL OTHER APPLICABLE BUILDING CODES, & REGULATIONS.
- EACH CONTRACTOR SHALL FURNISH AND INSTALL ALL NEW MATERIALS, FIXTURES, EQUIP., ETC. AS INDICATED AND/OR SPECIFIED, AND AS REQUIRED TO COMPLETE THE WORK, WHETHER SPECIFICALLY CALLED FOR OR NOT. ANY DETAILS NOT SPECIFICALLY INDICATED ON THE DRAWINGS SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL NOT BE EXECUTED WITHOUT THE OWNER'S APPROVAL.
- THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL A LIST OF MATERIALS, FIXTURES, AND EQUIPMENT, INCLUDING TYPE AND QUALITY TO BE USED IN THE CONSTRUCTION OF THIS WORK. COLORS AND FINISHES SHALL BE COORDINATED BY THE OWNER AND THE CONTRACTOR/DEVELOPER.
- ALL MATLS. SHALL BE INSTALLED PER THE MANUF. SPECS. THESE RECOMMENDS. SHALL TAKE PRECEDENCE OVER CONFLICTING DETAIL DWGS FOUND HEREIN.
- ALL CONTRACTORS SHALL COORDINATE THEIR WORK WITH THE OWNER TO MINIMIZE DISRUPTION OF BUSINESS OPERATIONS. (IF APPLICABLE) NOTIFY OWNER AND/OR THE AUTHORITY HAVING JURISDICTION AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION. FOR ANY SERVICE INTERRUPTION, IF REQUIRED, NOTIFY OWNER AT LEAST 12 HOURS IN ADVANCE.
- ALL CONTRACTORS ARE RESPONSIBLE FOR CONTAINING THEIR CONSTRUCTION DEBRIS WITHIN THE CONSTRUCTION AREA, REMOVING IT FROM THE PREMISES AS SOON AS POSSIBLE & DISPOSING OF IT PROPERLY IN CONTRACTOR PROVIDED DUMPSTER. CLEAN WORKING CONDITIONS SHALL BE MAINTAINED ON A DAILY BASIS. MAINTAIN THE CONSTRUCTION AREA IN A BROOM CLEAN CONDITION.
- ALL CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH OTHER TRADES. WORK SHALL BE PROPERLY SEQUENCED TO AVOID DELAYS OR CONFLICTS WITH THE INTERCONNECTED WORK OF OTHERS.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- PROVISIONS FOR, & LOCATIONS OF FIRE EXTING., FIRE HOSES, SMOKE DETECTORS, SECURITY SYSTEMS, TEMP. CONTROLS, AND EMERGENCY SYSTEMS, ETC. SHALL BE MADE JOINTLY BETWEEN THE OWNER, CONTRACTOR, AND THE AUTHORITY HAVING JURISDICTION, IF THE EQUIPMENT IS NOT ALREADY SHOWN ON THE PLANS.
- ALL FIRESTOPPING AS PER STATE AND LOCAL CODES.
- PROVIDE CONTROL JOINTS OVER DOORS IN GYPSUM BOARD WALLS AND AS PER MANUFACTURER'S RECOMMENDATIONS.
- ALL INTERIOR FINISHES ARE TO COMPLY WITH THE FOLLOWING AND APPROVED BY A RECOGNIZED THIRD PARTY TESTING AGENCY.
1. WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 AS CLASS A FOR FLAME SPREAD AND SMOKE DEVELOPMENT.
2. FLR. FINISHES SHALL BE CLASS I OR CLASS II IN ACCORDANCE W/ NFPA 253.
- THERMAL & SOUND INSULATING MATERIALS IN EXPOSED OR CONCEALED INSTALLATIONS SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS & A SMOKE DEVELOPED RATING OF 450 OR LESS WHEN TESTED IN ACCORD. WITH ASTM-E84.
- NO ALTERATION TO WORK OR ANY SUBSTITUTIONS OF MATERIALS WILL BE ACCEPTED UNLESS APPROVED BY OWNER/G.C.-DEVELOPER IN ADVANCE.
- ALL DEFECTIVE OR INFERIOR MATERIALS, SLOPPY WORKMANSHIP AND OTHER DEFICIENCIES SHALL BE CORRECTED AND/OR REPLACED BY APPROPRIATE CONTRACTORS AT THEIR EXPENSE.

GENERAL NOTES (cont.)

- ALL WORK SHALL BE GUARANTEED FOR NOT LESS THAN ONE YEAR OR AS PER OWNER'S CONTRACT.
- THE COMPLETED PROJECT SHALL BE TURNED OVER TO THE OWNER IN COMPLETE OPERATING CONDITION REGARDLESS OF THE DRAWINGS, REFERENCE NOTES OR SPECIFICATIONS WHICH MAY NOT COVER EVERY DETAIL.
- THE OWNER SHALL HAVE CONTROL OF ALL OPERATIONS AND SHALL ACCEPT OR REJECT THE SCHEDULE AND PERFORMANCE OF THE CONTRACTOR.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE AS-BUILTS (ARCHITECTURAL, ELECTRICAL, FIRE DETECTION, COMMUNICATIONS, PLUMBING, & MECHANICAL) & OPERATING MANUALS FOR ALL EQUIP. & SYSTEMS INSTALLED.
- ALL ANGLED WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
- COMBUSTIBLE MATERIALS SHALL NOT BE STORED IN EXITS OR EXIT ENCLOSURES, BOILER ROOMS, MECHANICAL ROOMS, ELECTRICAL EQUIPMENT ROOMS, OR SPRINKLER ROOMS.
- PROVIDE SIGNAGE ON THE ENTRY DOOR TO ROOM TO IDENTIFY EQUIP. INSIDE FOR THE FOLLOWING: FIRE ALARM PANEL, ELECTRICAL EQUIP., HEATING/AC EQUIP., ETC.
- ALL NEW CONCRETE SHALL BE VIBRATED. ALL REQUIRED REBAR SHALL BE SUPPORTED AND SECURED IN PLACE PRIOR TO POUR. "MUCKING IN" OF REBAR IS NOT PERMITTED.
- ALL PROPOSED WORK SHALL COMPLY WITH THE RULES OF THE FIRE PREVENTION AND BUILDING SAFETY COMMISSION IN ACCORDANCE WITH 675 IAC 12-6-7(b).
- PLANS FOR FIRE ALARM SYSTEM AND FIRE SPRINKLER SYSTEM SHALL BE PREPARED AND SUBMITTED BY OTHERS, TO THE CITY / FIRE PROTECTION DISTRICT OR AUTHORITY HAVING JURISDICTION, FOR REVIEW AND APPROVAL.

VICINITY MAP



LANDSCAPE DRAWINGS	
TP-1	TREE PRESERVATION PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
L-3	NATURAL AREA MONITORING & MAINTENANCE PLAN

ARCHITECTURAL DRAWINGS	
A-0.1	ARCHITECTURAL SITE PLAN
A-1.0	PROPOSED FLOOR PLAN
A-1.1	PROPOSED ROOF PLAN
A-2.0	ENLARGED PLAN DETAILS
A-3.0	PROPOSED REFLECTED CEILING PLAN
A-4.0	EXTERIOR ELEVATIONS
A-4.1	EXTERIOR ELEVATIONS
A-5.0	SECTIONS and DETAILS
A-5.1	SECTIONS and DETAILS
A-6.0	PARTITION DETAILS
A-7.0	ROOM FINISH SCHEDULE, DOOR SCHEDULE
A-7.1	WINDOW ELEVATIONS, JAMB DETAILS
A-9.0	ACCESSIBILITY SPECIFICATION GUIDELINES
A-9.1	ACCESSIBILITY DETAILS & FIGURES
A-9.2	SPECIFICATIONS

STRUCTURAL DRAWINGS	
S-0.1	STRUCTURAL DETAILS and NOTES
S-1.0	FOUNDATION PLAN
S-1.1	FIRST FLOOR FRAMING PLAN

ELECTRICAL DRAWINGS	
EO.0	SYMBOL LIST
EO.1	NOTES and SCHEDULES
ET.0	LIGHTING PLAN
EZ.0	POWER PLAN

MECHANICAL DRAWINGS	
M-1	FIRST FLOOR HVAC PLAN, ROOF HVAC PLAN
M-2	HVAC NOTES, SCHEDULES and DETAILS

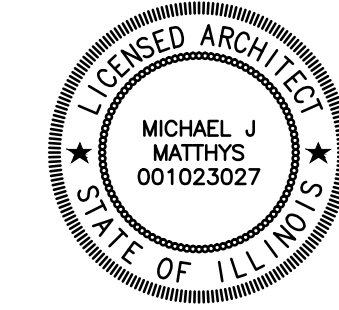
PLUMBING DRAWINGS	
P-1	FIRST FLOOR WATER SUPPLY PLAN
P-2	FIRST FLOOR WASTE / VENT PLAN
P-3	PLUMBING NOTES, SCHEDULES and DETAILS
P-4	RISER DIAGRAMS

I hereby certify, to the best of my knowledge and belief, that these plans have been drawn under my supervision and comply with all applicable building and zoning ordinances and codes of ORLAND PARK, IL			7-12-2016
Professional Design Firm: 184-000209 Expiration Date: 4/30/17			
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ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
P:708.799.4400 F:708.799.4434
WWW.LINDENGROUPINC.COM

RWE MANAGEMENT COMPANY
16 W 361 S. Frontage Rd., Suite 106
Burr Ridge, IL 60527
(630) 734-0883
JASON@RWE MANAGEMENT.COM

MIDWEST ANIMAL HOSPITAL
11205 183rd Place
Orland Park, Illinois 60467



Michael J. Matthis

DATE: 06-30-2016
DRAWN BY: TMH
CHECKED BY: TMH
ISSUED FOR PERMIT

2016-0035
PROJECT NUMBER

FILE NUMBER:
7-13-2016
DATE:
TMH
DRAWN BY:

FINAL REVIEW

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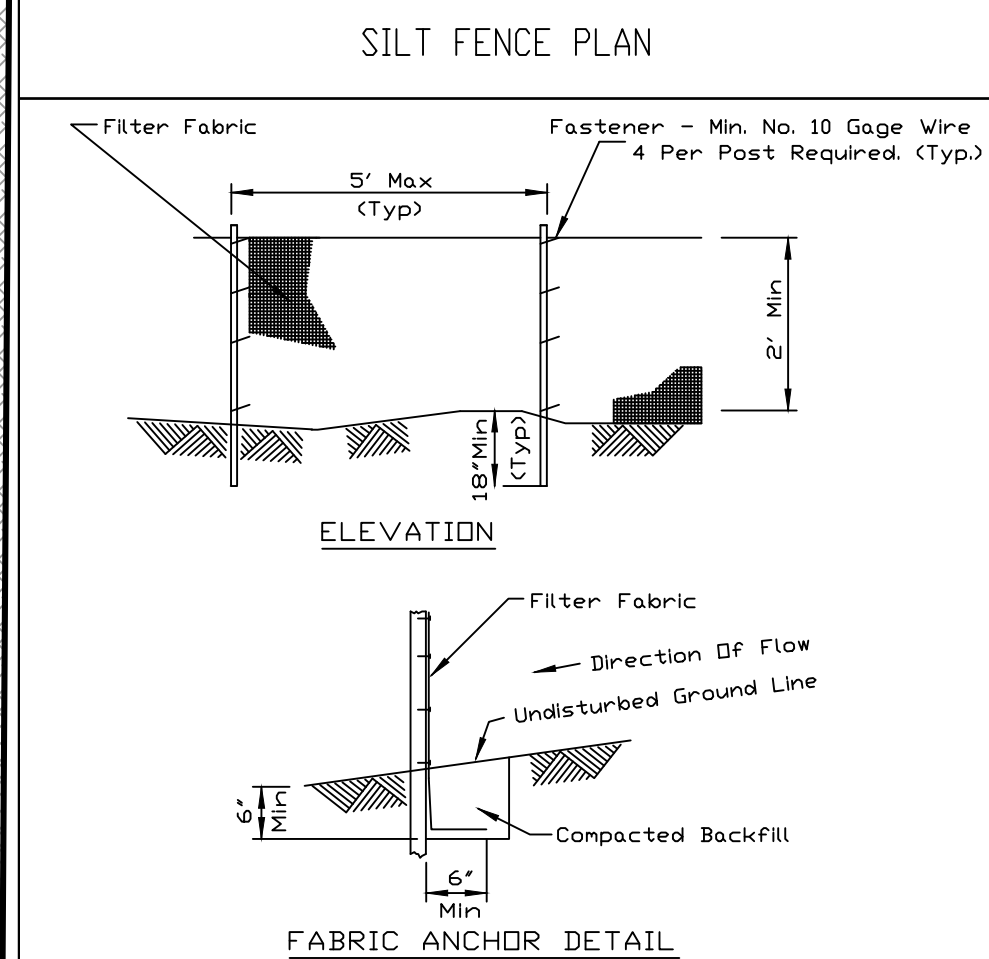
TITLE SHEET
PROJECT INFO
GENERAL NOTES

SHEET NAME

T-1.0

SHEET

OF



- NOTES:
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction and removed in conjunction with the final grading and site stabilization.
 2. Filter fabric shall meet the requirements of material specification 192 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
 3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	 NRCS Natural Resources Conservation Service	STANDARD DWG. NO.
Project _____		1L-620
Designed _____ Date _____		SHEET 1 OF 2
Checked _____ Date _____		DATE 11-20-01
Approved _____ Date _____		

- NOTES:
1. ALL ELEVATIONS SHOWN ON GRADING PLANS ARE FINISHED GRADE ELEVATIONS.
 2. BUILDING PADS SHOWN ARE APPROXIMATE. FINAL FOUNDATION FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.
 3. THE CROSS SLOPES ON ALL SIDEWALKS SHALL NOT EXCEED 2%.
 4. RETAINING WALL DESIGN BY OTHERS
 5. TW = TOP OF WALL
BW = FINISHED GRADE AT BOTTOM OF WALL

BENCHMARKS:

REFERENCE BENCHMARK:
NGS DESIGNATION - DK 2007
PID - DN4692
NAVD88 DATUM

STAINLESS STEEL ROD IN SLEEVE LOCATED 41 FEET WEST OF THE CENTERLINE OF WILL/COOK ROAD, 45 FEET NORTHWEST OF A POWER POLE, 9 FEET SOUTH OF THE EXTENSION OF THE CENTERLINE OF BROOKSHIRE DRIVE FROM THE EAST AND 1 FOOT EAST OF AN ORANGE CARSONITE MARKER. ACCESS IS THROUGH A 6 INCH LOGO CAP AND THE ROD IS SURROUNDED BY A FLOATING BRONZE DISK.

ELEVATION = 735.10

SITE BENCHMARKS:

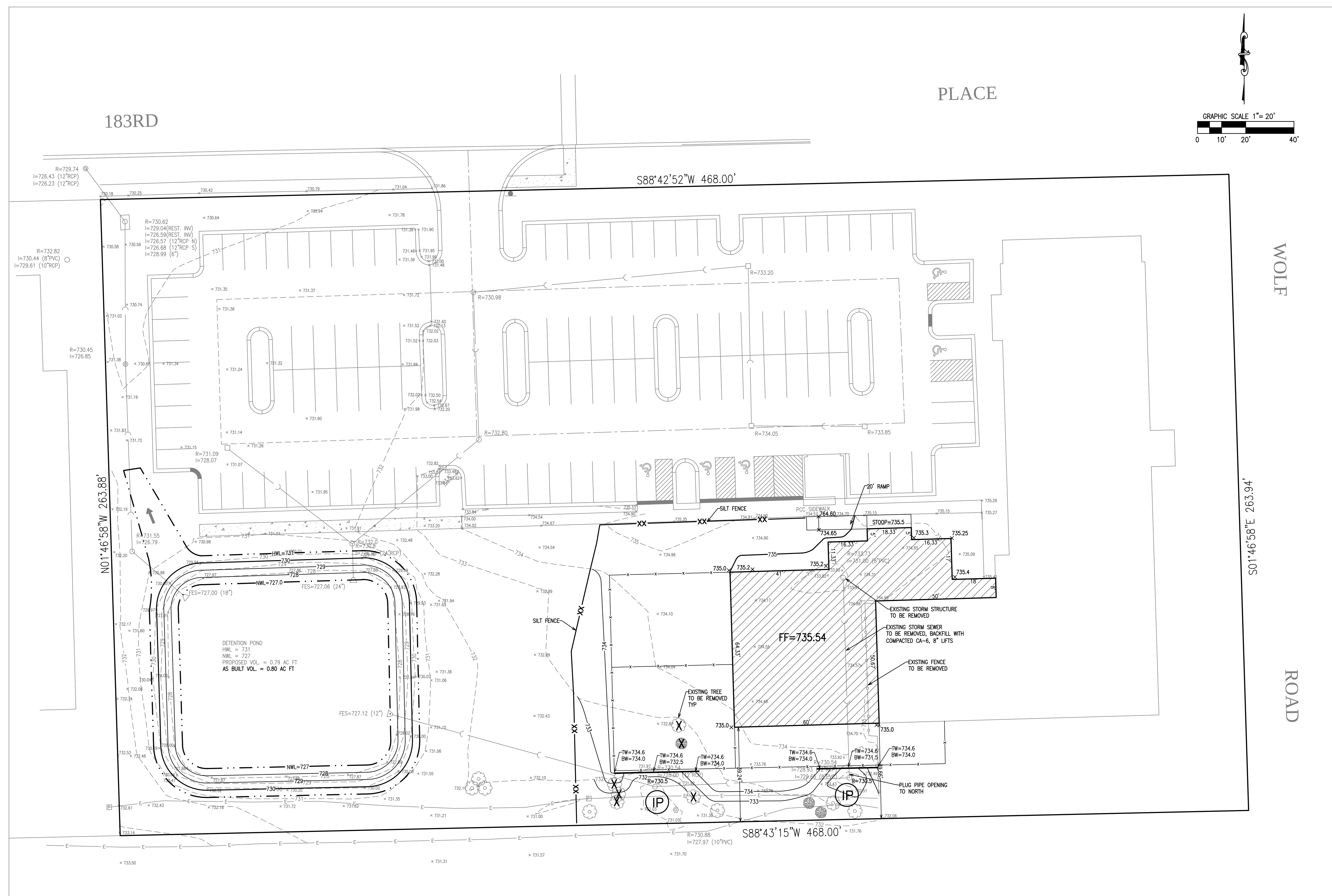
SITE BENCHMARK 1
SOUTHEAST BOLT OF FIRE HYDRANT LOCATED AT THE
NORTHWEST CORNER OF SITE.

ELEVATION = 731.77

SITE BENCHMARK 2

WEST BOLT OF FIRE HYDRANT LOCATED AT THE
NORTHEAST CORNER OF 183RD PLACE AND WOLF ROAD.

ELEVATION = 738.43



William J. Zaleski
ENGINEER
WILLIAM J. ZALESKI, P.E.
BILLZ@AECINC.US

07/12/16
DATE

ILLINOIS REGISTRATION NO.: 062-46121
EXPIRATION DATE: 11/30/2017

PROFESSIONAL DESIGN FIRM NO.: 184-007386
EXPIRATION DATE: 4/30/2017

THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER

WILLIAM J. ZALESKI
062-46121
REGISTERED PROFESSIONAL
ENGINEER OF ILLINOIS

ADVANTAGE CONSULTING ENGINEERS, LLC
80 MAIN STREET, SUITE 17
LEMONT, IL 60439
847-260-4758

**SITE GRADING PLAN AND
SOIL EROSION CONTROL PLAN**

MIDWEST ANIMAL HOSPITAL

ORLAND PARK, IL

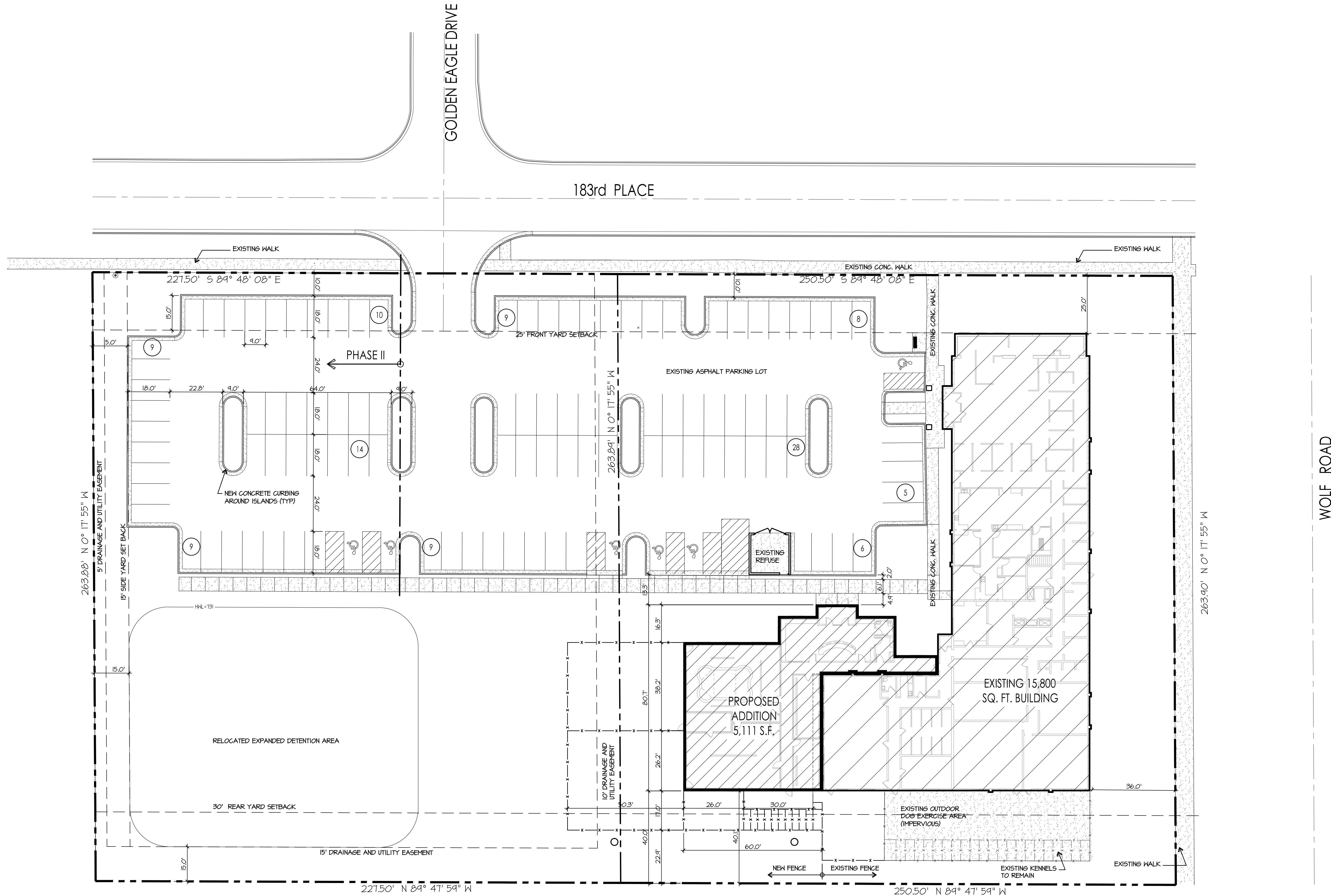
RWE MANAGEMENT CO.
16 W 361 S FRONTAGE ROAD
BURR RIDGE, IL 60527
PH: 630-734-0883

JULY 12, 2016
JOB: 16-049

SHEET:
SP1

1 OF 1

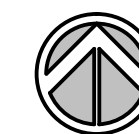
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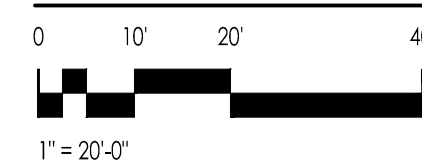
MECHANICAL NOTE:
ALL NEW MECHANICAL
EQUIPMENT AT GRADE OR ON
THE ROOF SHALL BE SCREENED
WITH LANDSCAPING OR HIDDEN
BEHIND ROOF LINES

ACCESSIBLE SPACE NOTE:
PARKING SPACE AND ACCESS
AISLE SHALL BE LEVEL WITH
THE SLOPES NOT EXCEEDING
2% IN ALL DIRECTIONS, REFER
TO CIVIL.

SITE DATA:	
TOTAL LAND AREA	126,134 SF 2.89 AC
NUMBER OF BUILDINGS	1
BUILDING FOOTPRINT AREA	20,911 SF
REQUIRED PARKING	70 CARS = 1 PER 300 S.F.
PROPOSED PARKING	107 CARS = 1 PER 195 S.F.
REQUIRED H.G. PARKING	3 H.G. (1/25 CARS UP TO 100)
F.A.R.	ALLOWED: 2.0 ACTUAL 0.17
IMPERVIOUS AREA / LOT COVERAGE	ALLOWED: 43,600 SF (75%) ACTUAL: 84,741 SF (67%)



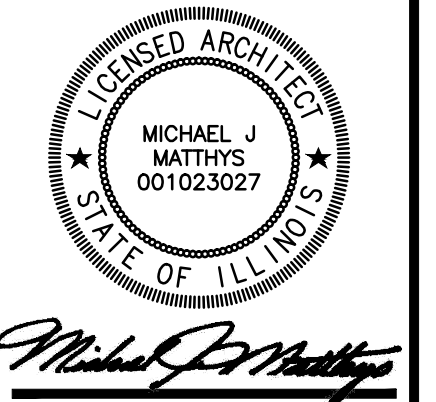
ARCHITECTURAL SITE PLAN



ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
P:708.799.4400 F:708.799.4434
WWW.LINDENGROUPINC.COM

RWE | MANAGEMENT
COMPANY
16 W 361 S. Frontage Rd., Suite 106
Burr Ridge, IL 60527
(630) 734-0883
JASON@RWE MANAGEMENT.COM

MIDWEST
ANIMAL HOSPITAL
11205 183rd Place
Orland Park, Illinois 60467



DATE	DRAWN	DESCRIPTION
06-30-2016	TMH	PROCESS REVIEW SET
07-13-2016	TMH	ISSUED FOR PERMIT

2016-0035
PROJECT NUMBER

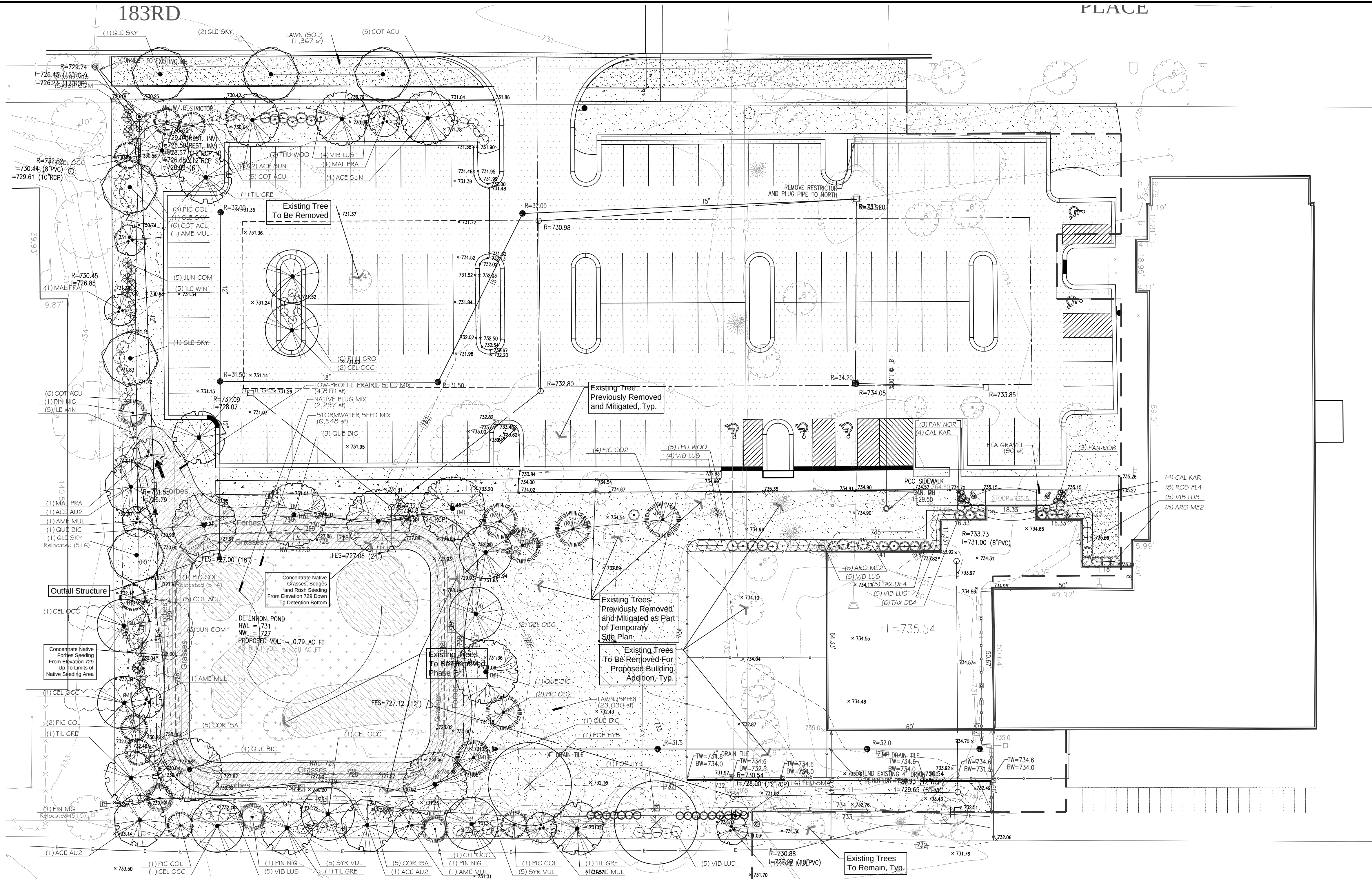
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ARCHITECTURAL
SITE PLAN

SHEET NAME
A-0.1
SHEET
SHEET OF

E:\A - C:\PROJECTS\183RD\183RD\183RD.dwg (Revised 2016-03-03) 183RD.dwg (183RD.dwg) 07-13-16
Plotted: 7/13/16 by 11:59am by 11:59am



PLANT SCHEDULE PHASE II

CANOPY TREES	BOTANICAL NAME / COMMON NAME	COND	SIZE	QTY
ACE SUN	ACER FREEMANTII / AUTUMN BLAZE MAPLE	B # B	2.5' CAL	3
CEL OCC	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	B # B	2.5' CAL	3
GLE SKY	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B # B	2.5' CAL	5
POP HYB	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B # B	4' CAL	5
QUE BIC	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B # B	2.5' CAL	6
TIL GRE	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B # B	2.5' CAL	6
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	COND	SIZE	QTY
PIC CO2	PICEA PUNGENS 'COLORADO GREEN' / BLUE SPRUCE	B # B	12' HT.	3
PIC COL	PICEA PUNGENS 'COLORADO GREEN' / BLUE SPRUCE	B # B	6' - 8' HT.	8
PIN NIG	PICEA NIGRA / AUSTRALIAN BLACK PINE	B # B	6' - 8' HT.	4
UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	COND	SIZE	QTY
AME MUL	AMELANCHIER CANADENSIS / SHADBLow SERVICEBERRY MULTITRUNK	B # B	6' - 8' HT.	6
MAL PRA	MALUS X 'PRAIRIFIRE' / PRAIRIFIRE CRAB APPLE	B # B	6' - 8' HT.	3
DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	COND	SIZE	QTY
ARO ME2	ARONIA MELANOCARPA / CHOKERBERRY	B # B	36" HT.	10
COR ISA	CORNUS SERICEA 'ISANTI' / ISANTI REDOSIER DOGWOOD	B # B	36" HT.	10
COT ACU	COTONEASTER ACUTIFOLIUS / PEKING COTONEASTER	B # B	36" HT.	26
ILE WID	ILEX VERTICILLATA 'WINTER RED' / WINTER RED HOLLY	B # B	36" HT.	10
RHU GRO	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	24" SPREAD	8
ROS FL4	ROSULA FLORIDA 'FLOUNDER CARPET PINK' / ROSE	5 GAL	24" SPREAD	8
SYR VUL	SYRINGA VULGARIS / COMMON LILAC	B # B	36" HT.	10
VIB LUS	VIBURNUM DENTATUM 'CHICAGO LUSTER' / CHICAGO LUSTER ARROWWOOD	B # B	36" HT.	35

EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
JUN COM	JUNIPERUS CHINENSIS 'PFITZERIANA COMPACTA' / COMPACTA PFITZER	5 GAL	24" SPREAD	16
TAX DE4	TAXUS X MEDIA / DENSE YEW	B # B	24" HT.	11
THU SMA	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	B # B	36" HT.	16
THU WOO	THUJA OCCIDENTALIS 'WOODWARDII' / WOODWARD ARBORVITAE	B # B	36" HT.	13

GRASSES	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	2' - 3' HT.	8
PAN NOR	PANICUM VIRGATUM 'NORTH WIND' / NORTHWIND SWITCH GRASS	1 GAL	2' - 3' HT.	8

NATIVE AREA PLUG MIX

NATIVE PLUG MIX	2,297 SF
PANICUM VIRGATUM / SWITCH GRASS	197
SCIRPUS FLUVIATILIS / RIVER BULRUSH	88
SPARTINA PECTINATA / FRAIRIE CORDGRASS	197
TOTAL PLUGS:	482

Stormwater Seed Mix	Common Name	PLS Quinces/Acre
Permanent Grasses/Sedges/Rushes:		
Carex cristata	Crested Owl Sedge	4
Carex frankii	Brown Cat Sedge	4
Carex lurida	Blue Cat Sedge	4
Carex sparganioides v. cephalodes	Rough-Clustered Sedge	4
Carex vulpinoidea	Brown Fox Sedge	4
Elymus canadensis	Bunt Spoke Rush	4
Elymus virginicus	Virginia Wild Rye	4
Glyceria striata	Fowl Mania Grass	4
Juncus effusus	Common Rush	4
Juncus torreyi	Torrey's Rush	4
Leersia oryzoides	Rice Cut Grass	4
Panicum virgatum	Switch Grass	4
Scirpus atrovirens	Dark Green Rush	4
Scirpus cyperinus	Wood Grass	4
Scirpus fluvialis	River Bulrush	4
Scirpus validus	Great Bulrush	4
Total		110.00
Temporary Cover:		
Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	110.00
Total		470.00
Forbs:		
Alisma spp.	Water Plantain (Various Mix)	12
Asclepias incarnata	Sweet Milkweed	4
Bidens spp.	Bidens (Various Mix)	4
Helianthus autumnalis	Sweet Yellow Sunflower	4
Mimulus ringens	Monkey Flower	4
Parthenium integrifolium	Clash Snapweed	4
Polypogon monspeliensis	Old-Field Goldenrod	4
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	4
Sagittaria latifolia	Broad-Leaf Arrowhead	4
Senna hebecarpa	Wild Senna	4
Thalictrum dasycarpum	Purple Meadow Rue	4
Total		63.00

Low-profile Prairie Seed Mix	Common Name	PLS Quinces/Acre
Permanent Grasses:		
Bouteloua curtipendula	Side Oats Grama	10.00
Carex spp.	Prairie Carex Mix	4.00
Elymus canadensis	Canada Wild Rye	32.00
Koeleria cristata	June Grass	0.25
Panicum virgatum	Switch Grass	1.00
Schizachyrium scoparium	Little Bluestem	32.00
Total		80.00
Temporary Cover:		
Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	100.00
Total		460.00
Forbs:		
Anemone cylindrica	Thimbleweed	0.50
Asclepias tuberosa	Butterfly Milkweed	2.00
Aster ericoides	Heath Aster	0.25
Aster laevis	Smooth Blue Aster	0.75
Aster novae-angliae	New England Aster	0.25
Baptisia lactea	White Wild Indigo	2.00
Chamaecrista fasciculata	Partridge Pea	14.00
Conepisia lanceolata	Sand Coneopsis	5.00
Coreopsis palmata	Prairie Coneopsis	1.00
Dalea candida	White Prairie Clover	1.50
Dalea purpurea	Purple Prairie Clover	1.50
Echinacea purpurea	Broad-Leaved Purple Coneflower	7.00
Eryngium yuccifolium	Rattlesnake Master	2.50
Lespedeza capitata	Round-Head Bush Clover	2.00
Liatris aspera	Rough Blazing Star	1.00
Lupinus perennis	Wild Lupine	0.25
Monarda fistulosa	Wild Bergamot	1.00
Parthenium integrifolium	Wild Quinine	1.00
Penstemon digitalis	Forget-me-Not Tongue	0.50
Pycnanthemum virginianum	Common Mountain Mint	1.00
Ratibida pinnata	Yellow Coneflower	4.00
Rudbeckia hirta	Black-Eyed Susan	5.00
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	1.00
Silphium integrifolium	Monk's Head	3.00
Silphium terebinthaceum	Prairie Dock	0.50
Solidago nemoralis	Old-Field Goldenrod	0.50
Solidago rigida	Stiff Goldenrod	1.00
Tradescantia virginiana	Common Spiderwort	0.75
Veronica spp.	Veronica (Various Mix)	1.75
Veronicastrum virginianum	Culvers Root	0.25
Total		63.75

LANDSCAPE NOTES:

- PLANT QUALITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUALITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASSES, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- ANY AREAS TO BE LOAMED AND SEEDING WHICH HAVE NOT BEEN DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 1"-2" OF LOAM OVER SCARPED EXISTING SOILS. CARE SHOULD BE GIVEN TO NOT PLACE GREATER THAN 1" SOIL OVER EXPOSED ROOTS OF EXISTING TREES IN SUCH AREAS.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING SIZES AND FOOTPRINTS.
- REFER TO ENGINEERING PLANS FOR DETENTION CALCULATIONS, UTILITY LOCATIONS, TOPOGRAPHIC INFORMATION AND THE LIKE.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DUE TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE SOD AS A GROUNDCOVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SOD UNLESS OTHERWISE NOTED.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- ALL BEDS TO BE BERMED 12" TO 24" ABOVE GRADE AND MEET DRAINAGE REQUIREMENTS.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- ALL NATIVE PLANTING SEED AREAS TO BE COVER WITH NAG SC150 EROSION CONTROL BLANKET.
- CONCENTRATE SENSITIVE NATIVE SEEDING, PRIMARILY THE FORBES, TO ELEVATION 729 AND ABOVE IN THE NATIVE SEEDING AREA AROUND THE DETENTION BASIN. CONCENTRATE THE NATIVE GRASSES, SEDGES AND RUSHES FROM ELEVATION 729 DOWN TO THE DETENTION BASIN BOTTOM.

LANDSCAPE ADDITION NOTES:

- ALL CURRENT FOUNDATION PLANTINGS WILL BE DUG AND HEALED IN ON SITE AND THEN RELOCATED AS SHOWN ON ADDITION LANDSCAPE PLAN DETAIL.
- ALL LANDSCAPE QUANTITIES WILL REMAIN THE SAME AS THE EXISTING ANIMAL HOSPITAL.
- ONCE BUILDING ADDITION CONSTRUCTION ACTIVITIES ARE COMPLETE THE HEALED IN EXISTING PLANT MATERIAL WILL BE REINSTALLED PER THE PLAN DETAIL.
- IF ANY PLANTS ARE DAMAGED OR DO NOT SURVIVE THE TRANSPLANTING / CONSTRUCTION ACTIVITIES THE WILL BE REPLACED WITH LIKE MATERIALS.
- ALL EXISTING PLANT MATERIAL ON SITE IN THE IMMEDIATE AREA OF THE BUILDING ADDITION WILL BE PROTECTED DURING CONSTRUCTION BY PLASTIC ORANGE SNOW FENCE WITH SECURED TO METAL POST NEAR THE DRIP LINE OF THE PLANT MATERIAL. POSTS TO BE SPACED 6' O.C. SEE PLAN DETAIL FOR LOCATION OF FENCE.
- TREES SHOWN ON THE LANDSCAPE PLAN WITH AN (M) INDICATED MITIGATION TREES REQUIRED PER THE VILLAGE TREE PRESERVATION ORDINANCE. SEE TREE PRESERVATION PLAN FOR MORE DETAIL.
- TREES SHOWN ON THE LANDSCAPE PLAN WITH AN (R) INDICATE EXISTING TREES TO BE RELOCATED ON SITE. SEE THE TREE PRESERVATION PLAN FOR MORE DETAIL.
- THE PETITIONER / CONTRACTOR SHALL REPLACE EXISTING DEAD PLANT MATERIAL ON SITE.
- THE PETITIONER / CONTRACTOR SHALL REPLACE ANY EXISTING PLANT MATERIAL DAMAGED DURING CONSTRUCTION.



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145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4864
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
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EXPIRES: 04/30/2011

MIDWEST ANIMAL HOSPITAL BUILDING EXPANSION PHASE II

Orland Park, Illinois

Reserved for Seal:

Expiration Date:

No.	Date	Description

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Design By: SSG Date: 07/13/16
Approved By: SSG Project No. 0000.00

Sheet Title:

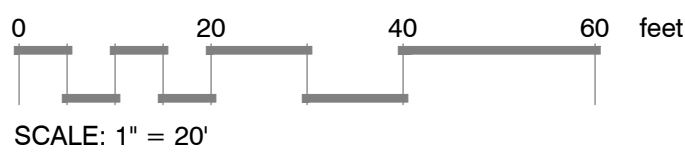
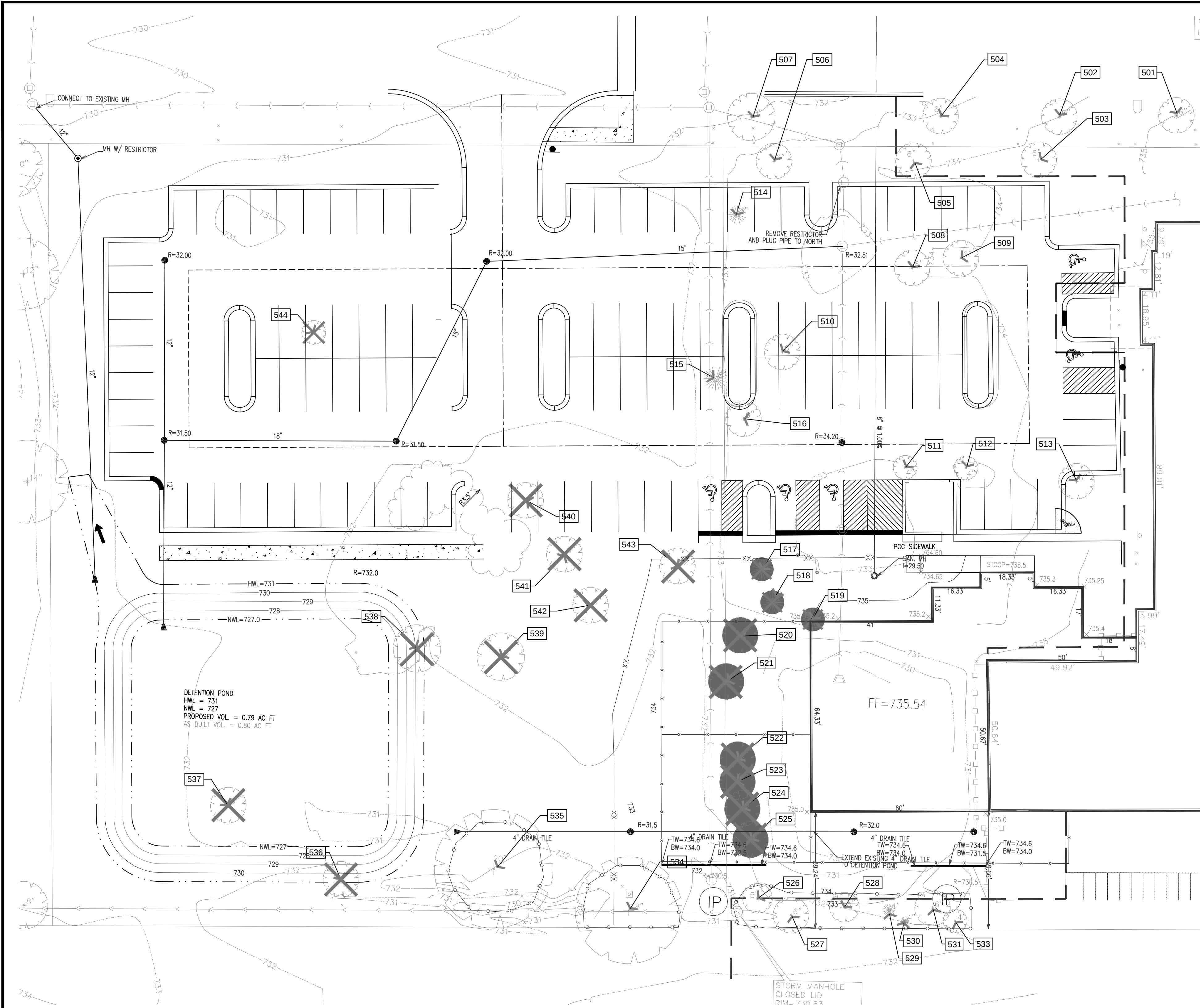
LANDSCAPE PLAN

Sheet No:

L-1

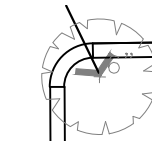
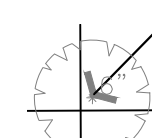
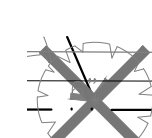
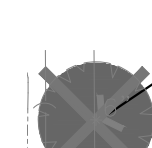


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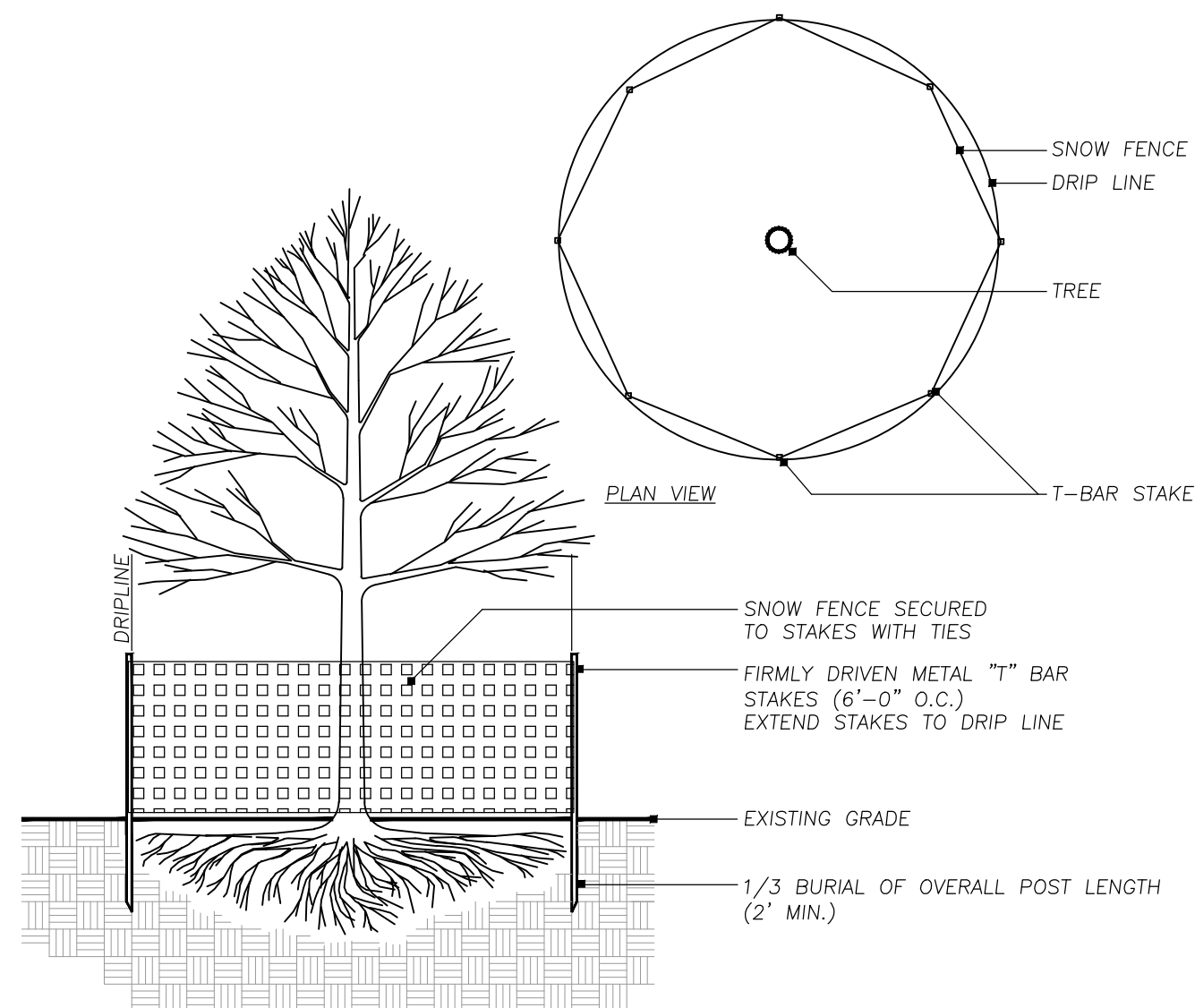


Existing Tree Data:

TAG #	BOTANICAL NAME	COMMON NAME	TREE SIZE	CONDITION	COMMENTS	Replacement Req.
501	Gleditsia triacanthos inermis	Thornless Honeylocust	6"	Good	To Remain in Place	0
502	Gleditsia triacanthos inermis	Thornless Honeylocust	5"	Good	To Remain in Place	0
503	Acer rubrum	Red Maple	6"	Good	To Remain in Place	0
504	Gleditsia triacanthos inermis	Thornless Honeylocust	4"	Good	To Remain in Place	0
505	Acer rubrum	Red Maple	8"	Good	To Remain in Place	0
506	Tilia cordata	Littleleaf Linden	6"	Good	To Remain in Place	0
507	Gleditsia triacanthos inermis	Thornless Honeylocust	8"	Good	To Remain in Place	0
508	Betula nigra	River Birch (Multi-trunk)	6"/8"	Fair	Relocate On Site	0
509	Betula nigra	River Birch (Multi-trunk)	4"/4"/5"	Fair	Relocate On Site	0
510	Tilia cordata	Littleleaf Linden	8"	Good	Relocate On Site	0
511	Tilia cordata	Littleleaf Linden	3"	Good	Relocate On Site	0
512	Tilia cordata	Littleleaf Linden	6"	Good	Relocate On Site	0
513	Tilia cordata	Littleleaf Linden	8"	Good	Relocate On Site	0
514	Picea glauca	Blue Spruce	6"	Good	Relocate On Site	0
515	Pinus nigra	Austrian Pine	12"	Good	Relocate On Site	0
516	Gleditsia triacanthos inermis	Thornless Honeylocust	8"	Good	Relocate On Site	0
517	Pinus nigra	Austrian Pine	10"	Good	Relocate On Site	(1) 4" Cal. Trees
518	Picea pungens	Colorado Green Spruce	6"	Good	Relocate On Site	(1) 4" Cal. Trees
519	Pinus nigra	Austrian Pine	10"	Good	Relocate On Site	(1) 4" Cal. Trees
520	Gleditsia triacanthos inermis	Thornless Honeylocust	8"	Good	To Remain in Place	(1) 4" Cal. Trees
521	Picea glauca	Blue Spruce	6"	Good	To Remain in Place	(1) 4" Cal. Trees
522	Picea glauca	Blue Spruce	6"	Good	To Remain in Place	(1) 4" Cal. Trees
523	Picea glauca	Blue Spruce	6"	Good	To Remain in Place	(1) 4" Cal. Trees
524	Tilia americana	American Linden	6"	Good	To Remain in Place	(1) 4" Cal. Trees
525	Pinus nigra	Austrian Pine	8"	Good	To Remain in Place	(1) 4" Cal. Trees
526	Acer x freemanii	Freeman Maple	8"	Good	To Remain in Place	0
527	Gleditsia triacanthos inermis	Thornless Honeylocust	7"	Fair	To Remain in Place	0
528	Tilia americana	American Linden	8"	Good	To Remain in Place	0
529	Picea pungens	Colorado Green Spruce	4"	Good	To Remain in Place	0
530	Picea pungens	Colorado Green Spruce	4"	Good	To Remain in Place	0
531	Acer x freemanii	Freeman Maple	4"	Good	To Remain in Place	0
532	Tilia americana	American Linden	5"	Good	To Remain in Place	0
533	Populus deltoides	Cottonwood	15"	Good	To Remain in Place	0
534	Populus deltoides	Cottonwood	20"	Good	To Remain in Place	0
535	Populus deltoides	Cottonwood	15"	Fair	To Be Removed	(2) 4" Cal. Trees
536	Populus deltoides	Cottonwood	5"	Good	To Be Removed	(1) 4" Cal. Trees
537	Populus deltoides	Cottonwood	8"	Good	To Be Removed	(1) 4" Cal. Trees
538	Populus deltoides	Cottonwood	8"	Good	To Be Removed	(1) 4" Cal. Trees
539	Populus deltoides	Cottonwood	8"	Good	To Be Removed	(1) 4" Cal. Trees
540	Populus deltoides	Cottonwood	6"	Good	To Be Removed	(1) 4" Cal. Trees
541	Populus deltoides	Cottonwood	6"	Good	To Be Removed	(1) 4" Cal. Trees
542	Populus deltoides	Cottonwood	8"	Good	To Be Removed	(1) 4" Cal. Trees
543	Populus deltoides	Cottonwood (Multi-trunk)	10"/12"	Fair	To Be Removed	(1) 4" Cal. Trees
544	Populus deltoides	Cottonwood	4"	Good	To Be Removed	0
Total Number of Mitigation Trees Required						(18) 4" Cal. Trees

-  Existing Trees to Remain In Place (Phase I)
-  Existing Trees to Be Relocated On Site (Phase I)
-  Existing Trees to Be Removed Previously Removed and Mitigated
-  Existing Trees to Be Removed (Phase II)

- Notes:**
- In Phase II additional trees will need to be removed if and when the future addition in implemented.
 - If Phase II is implemented and additional trees are to be removed then an updated Tree Preservation Plan will be provided at that time in accordance with The Village Tree Preservation Ordinance.
 - Phase II has necessitated the removal of Nine additional existing trees. The additional trees to be removed will be replaced in accordance with the Village Ordinance as indicated on this and the updated Landscape Plan.



SECTION VIEW

1 TREE PROTECTION DETAIL

Not To Scale

329383-01

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MIDWEST ANIMAL HOSPITAL BUILDING EXPANSION PHASE II

Orland Park, Illinois

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Design By:	SSG	Date:	07/13/16
Approved By:	SSG	Project No.:	0000.00

SHEET TITLE: TREE PRESERVATION PLAN

Sheet No:

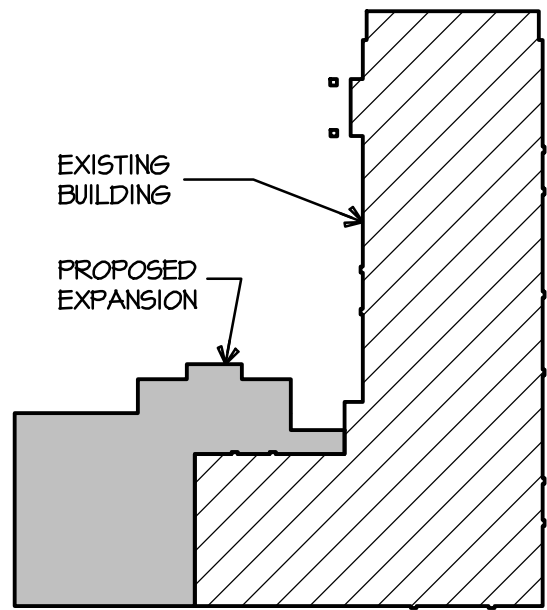
TP-1

ELEVATION TAG KEY

- 1
- ASPHALT SHINGLE ROOFING (COLOR AND STYLE TO MATCH EXISTING)
- OVERSIZED PRE-FINISHED COMMERCIAL GRADE ALUMINUM BOX GUTTER & DOWNSPOUT SYSTEM TO MATCH EXISTING (TIED INTO STORM SEWER) W/ PRE-FINISHED ALUMINUM WRAPPED FASCIA (COLOR AND FINISH TO MATCH EXISTING)
- 2
- 4" STONE SILL TO MATCH EXISTING
- 3
- "SPLIT FACE" STONE VENEER WAINSCOT TO MATCH EXISTING
- 4
- UTILITY SIZE FACE BRICK VENEER TO MACH EXISTING
- 5
- 8" BRICK SOLDIER COURSE, MATCH EXISTING BUILDING
- 6
- SHINGLED CONTINUOUS RIDGE VENT, TYP.
- 7
- SKYLIGHTS, FLASH AND SEAL AS PER MANUFACTURERS REQUIREMENTS
- 8
- EXTERIOR RATED LIGHT FIXTURE (FIXTURE TO MATCH EXISTING)
- 9
- ENTRANCE DOORS W/ TEMPERED, INSULATED GLAZING (VERIFY COLOR AND FINISH WITH ARCHITECT AND OWNER)
- 10
- DRYVIT OUTSULATION PLUS MD SYSTEM. PROFILE EDGES TO MATCH EXISTING. COLOR, FINISH AND TEXTURE TO MATCH EXISTING BUILDING FINISH.
- 11
- REFINISHED ALUMINUM FLASHING
- 12
- REFINISHED MASONRY BASE & COUNTER FLASHING
- 13
- FIBER CEMENT HORIZONTAL SIDING SYSTEM (TO MATCH SIDING AT EXISTING MECHANICAL AREAS)
- 14
- DASHED LINE INDICATES MECHANICAL AREA BEYOND
- 15

GENERAL ELEVATION NOTES

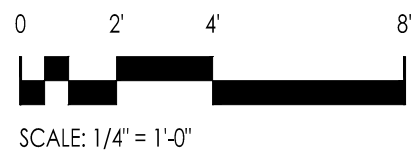
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3. ALL EXTERIOR CAULKING AND FILLER MATERIAL TO MATCH THE COLOR(S) OF ADJACENT MATERIALS.
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6. ALL WINDOWS SHALL MATCH EXISTING, OR AS SELECTED BY OWNER.
7. SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHT LOCATIONS AND INFORMATION.
8. SEE ROOF PLAN FOR PROPOSED DOWN SPOUT LOCATIONS, VERIFY W/ SITE CONDITIONS AND STORM LOCATIONS.
9. VERIFY ALL MASONRY CONTROL JOINT LOCATIONS



KEY PLAN
N.T.S.



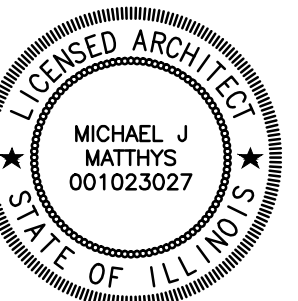
NORTH ELEVATION



ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
P:708.799.4400 F:708.799.4434
WWW.LINDENGROUPINC.COM

RWE MANAGEMENT COMPANY
16 W 361 S. Frontage Rd., Suite 106
Burr Ridge, IL 60527
(630) 734-0883
JASON@RWE MANAGEMENT.COM

MIDWEST ANIMAL HOSPITAL
11205 183rd Place
Orland Park, Illinois 60467



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07-13-2016

2016-0035
PROJECT NUMBER

FILE NUMBER
7-13-2016
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EXTERIOR
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SHEET NAME

A-4.0
SHEET

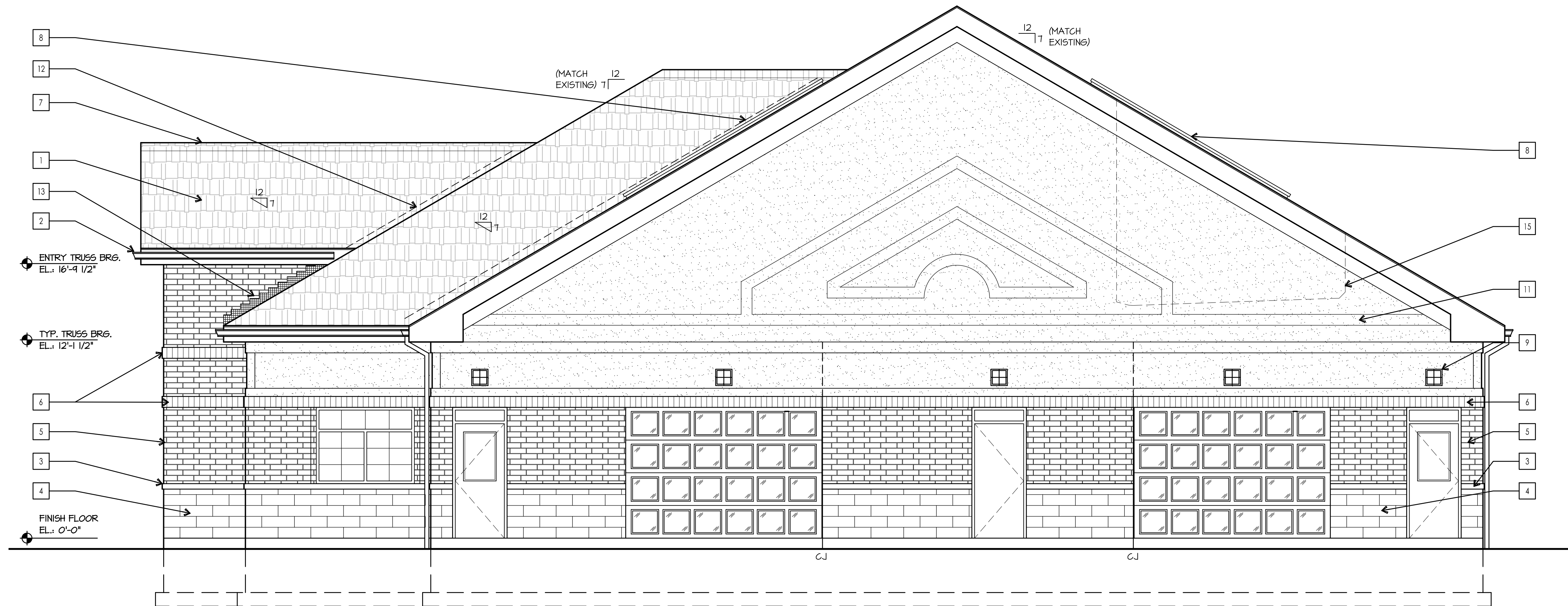
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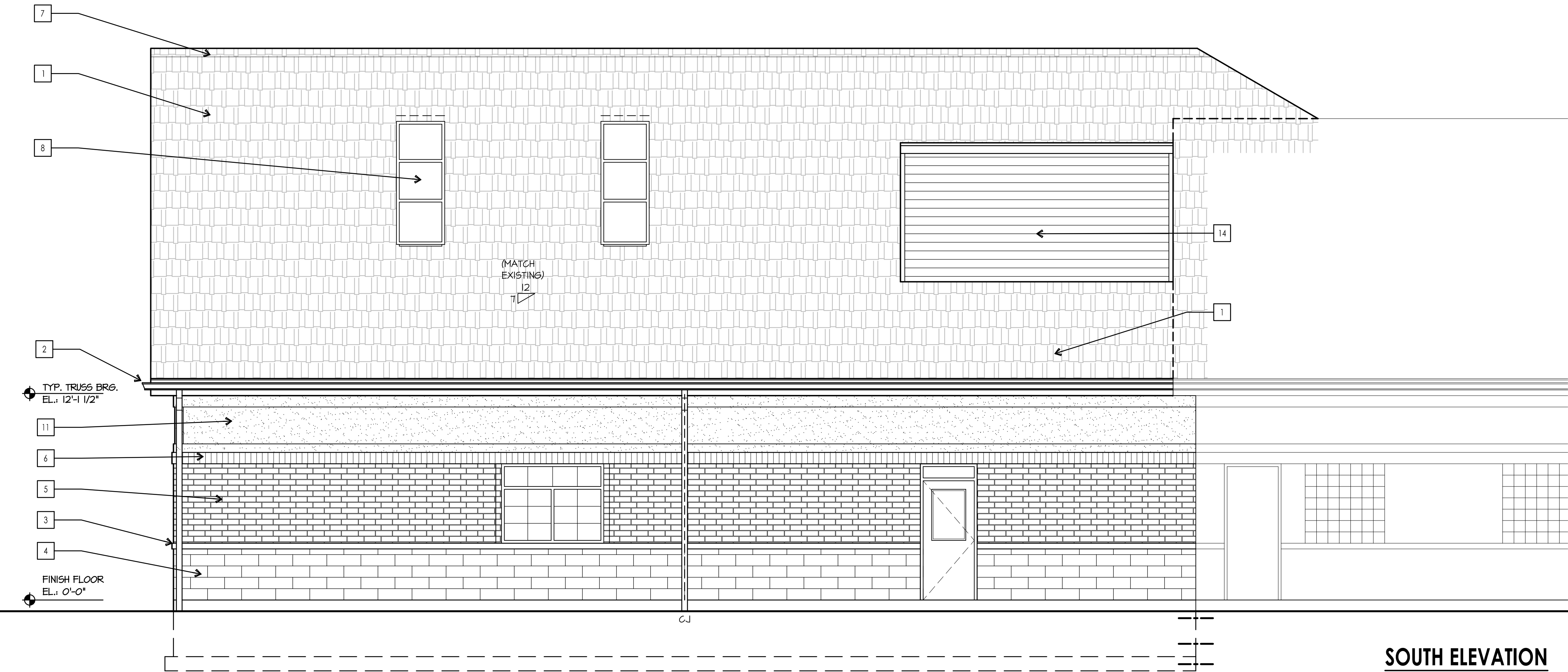
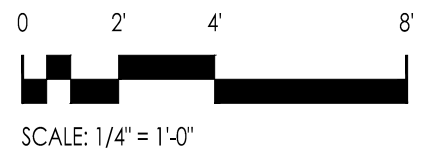
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GENERAL ELEVATION NOTES

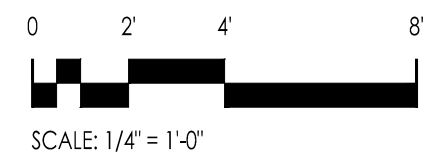
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WEST ELEVATION



SOUTH ELEVATION



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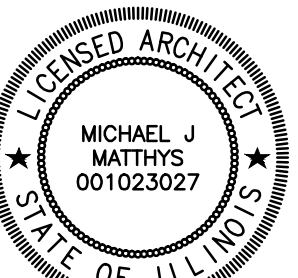
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ORLAND PARK, ILLINOIS 60467
P: 708.799.4400 F: 708.799.4434
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RWE | MANAGEMENT
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16 W 361 S. Frontage Rd., Suite 106
Burr Ridge, IL 60527
(630) 734-0883
JASON@RWE MANAGEMENT.COM



11205 183rd Place
Orland Park, Illinois 60467



Michael J. Matthis

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EXTERIOR
ELEVATIONS

SHEET NAME

A-4.1

SHEET

OF

BOARD APPROVED

Case No: 2014-0424

Date: January 5, 2015

//Out Conditions:

W/Out Conditions:

VILLAGE OF ORLAND PARK



ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE

10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
P:708.799.4400 F:708.799.4434
WWW.LINDENGROUPINC.COM

RWE
MANAGEMENT COMPANY

16 W 361 S. Frontage Rd.
Burr Ridge, IL 60527
Phone: (630)-734-0883
Fax: (630)-734-0884
E Fax: (270)-682-0883

**MIDWEST
ANIMAL HOSPITAL**
11205 183rd Place
Orland Park, Illinois 60467

DESCRIPTION
ISSUED FOR ZONING REVIEW
ZONING REVIEW COMMENT REVISIONS
PLANNING COMMISSION COMMENT REVISIONS

2014-0050
PROJECT NUMBER

FILE NUMBER
12-12-2014

DATE
TMH
DRAWN BY

FINAL REVIEW

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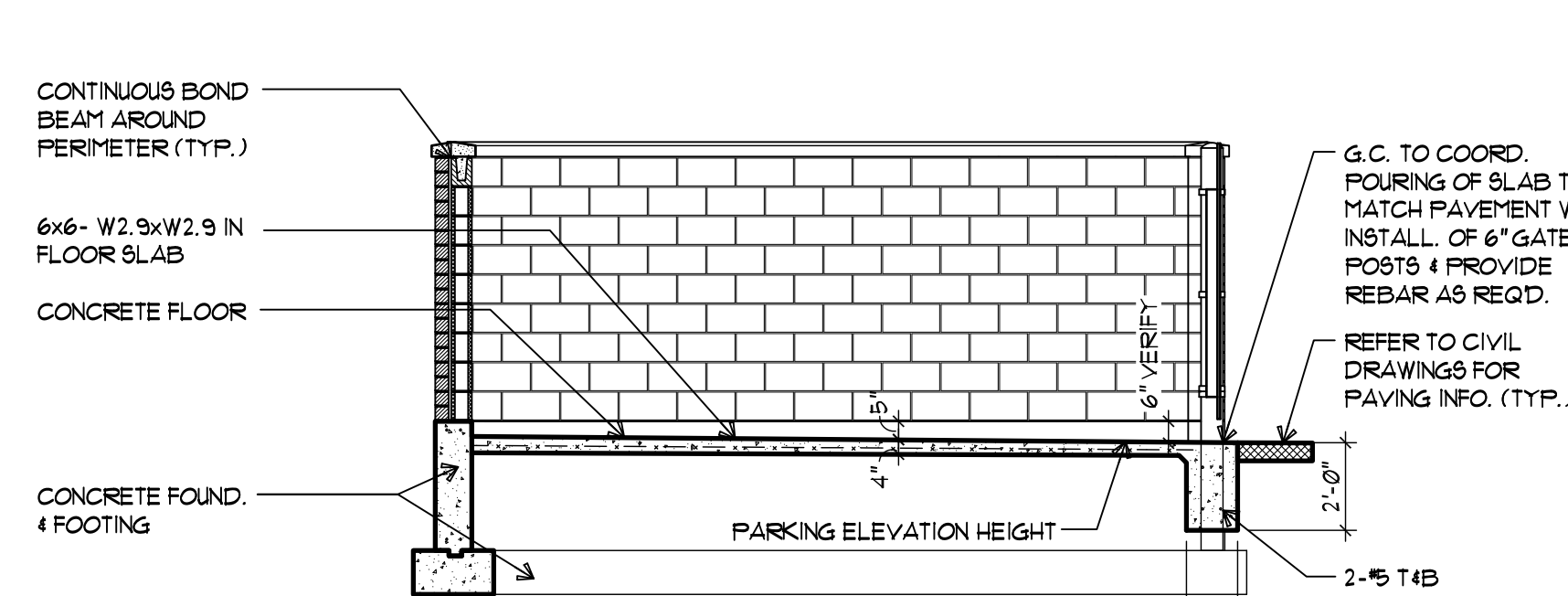
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SITE DETAILS

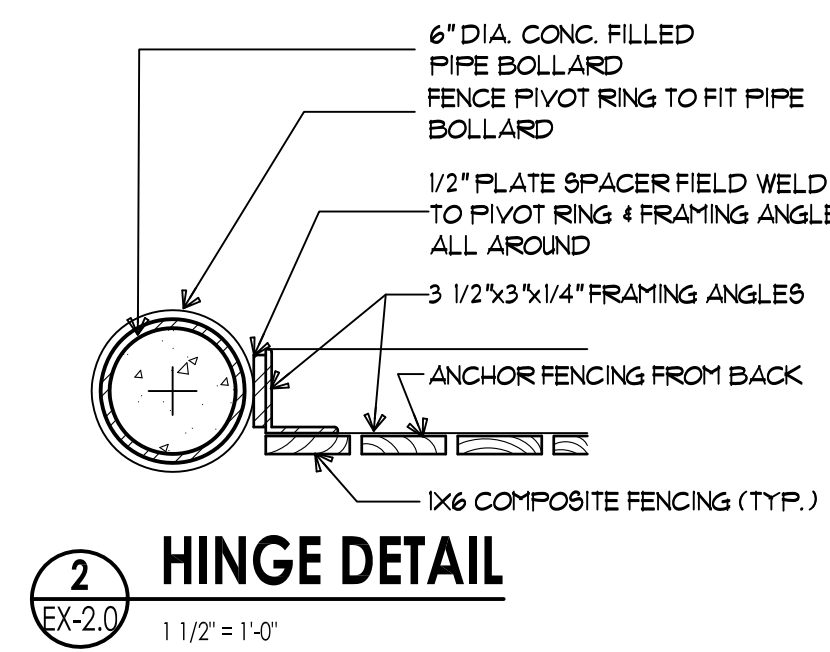
SHEET NAME

EX-2.0

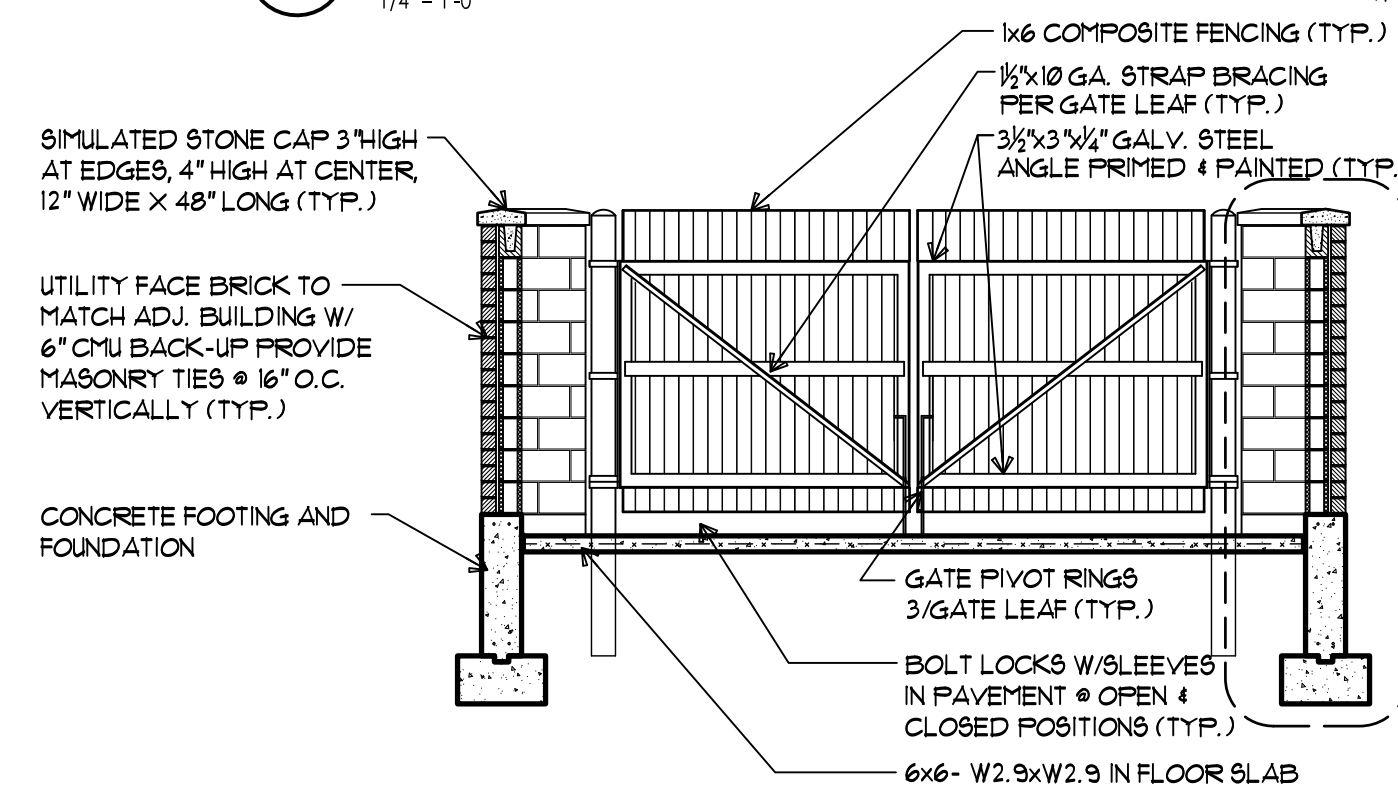
SHEET OF



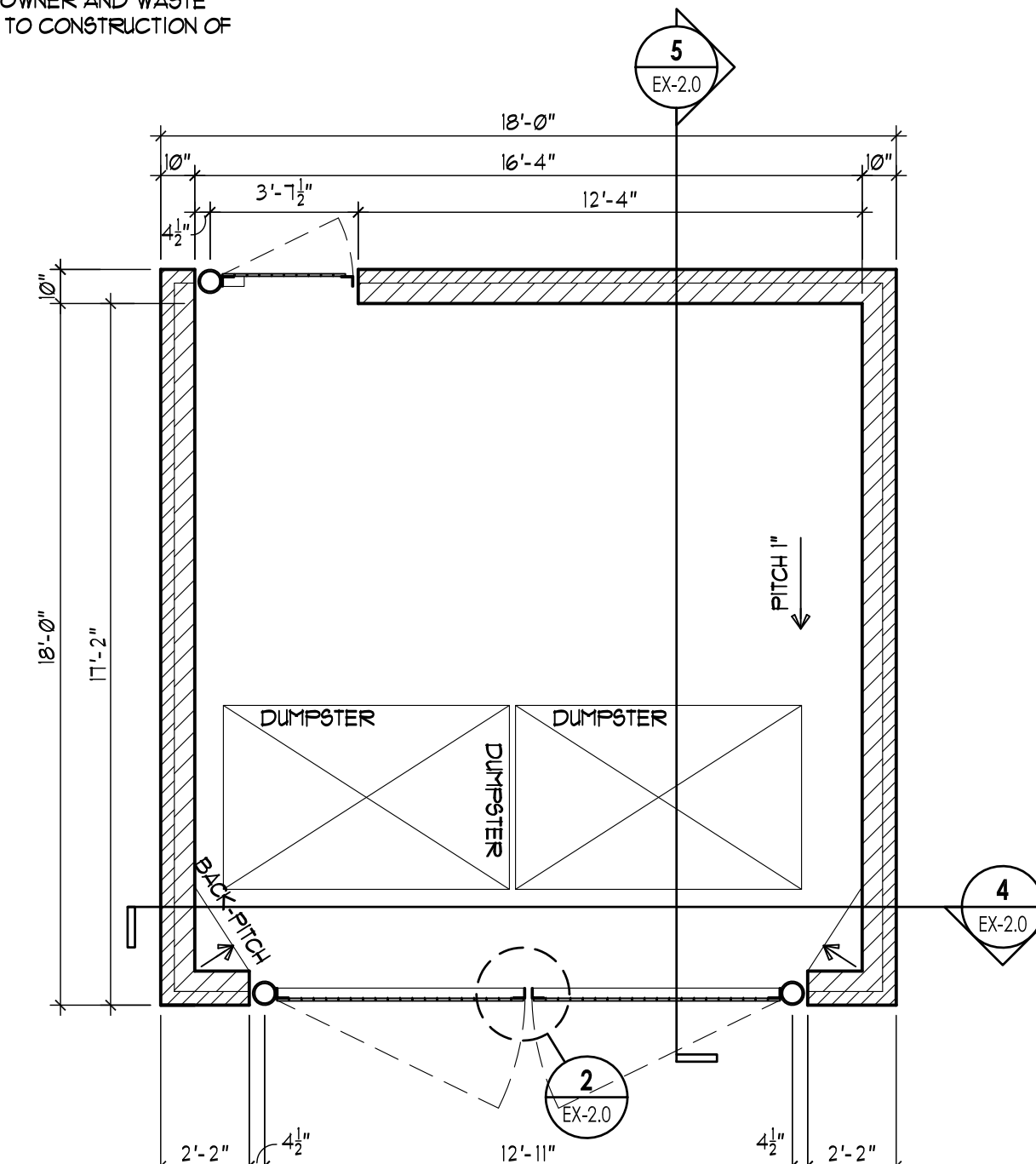
5 REFUSE ENCLOSURE SECTION

$$1/4" = 1'-0"$$


HINGE DETAIL

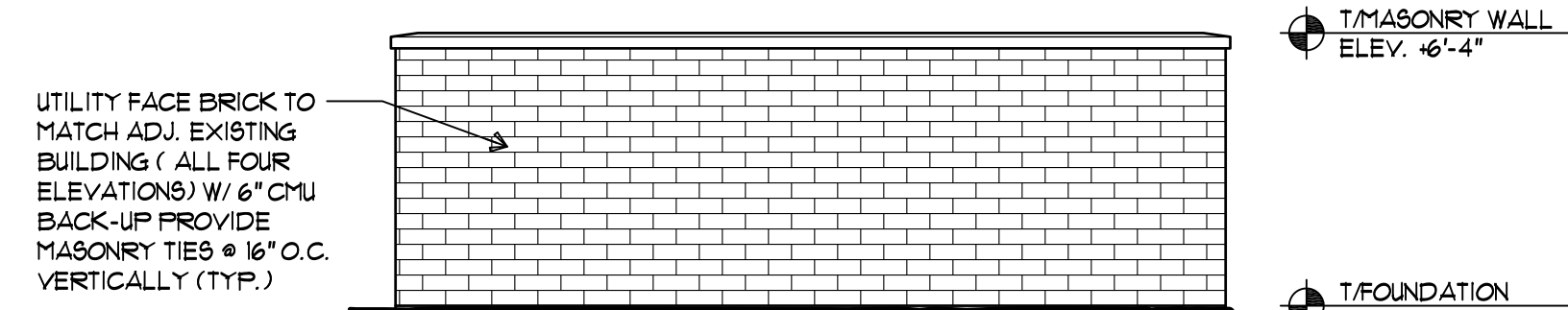
 $1\frac{1}{2}'' = 1'-0''$ 

4 REFUSE ENCLOSURE SECTION

$$1/4'' = 1'-0''$$


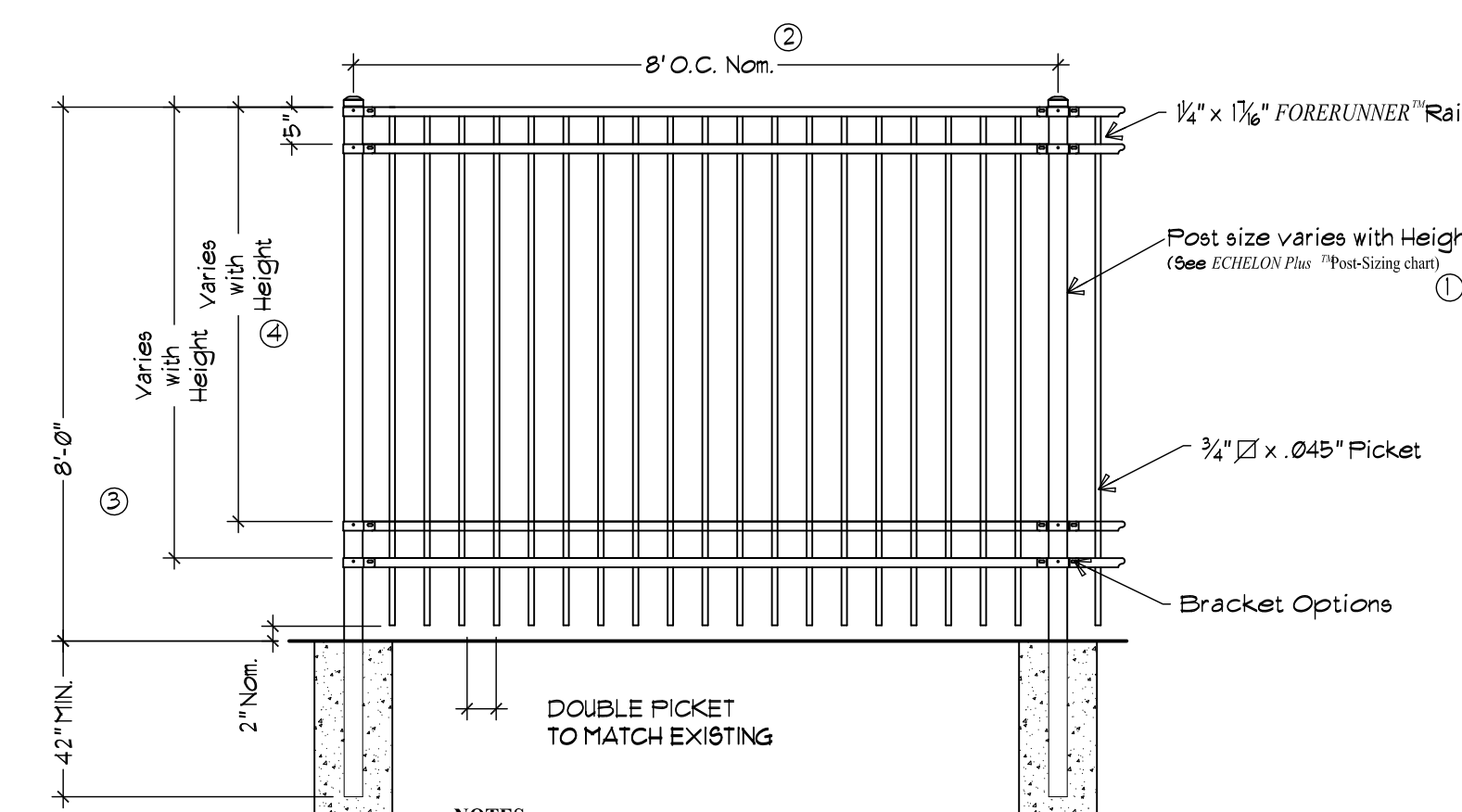
REFUSE ENCLOSURE

1/4" = 1'-0"



3 REFUSE ENCLOSURE ELEVATION

EX-2.0 $1/4" = 1'-0"$

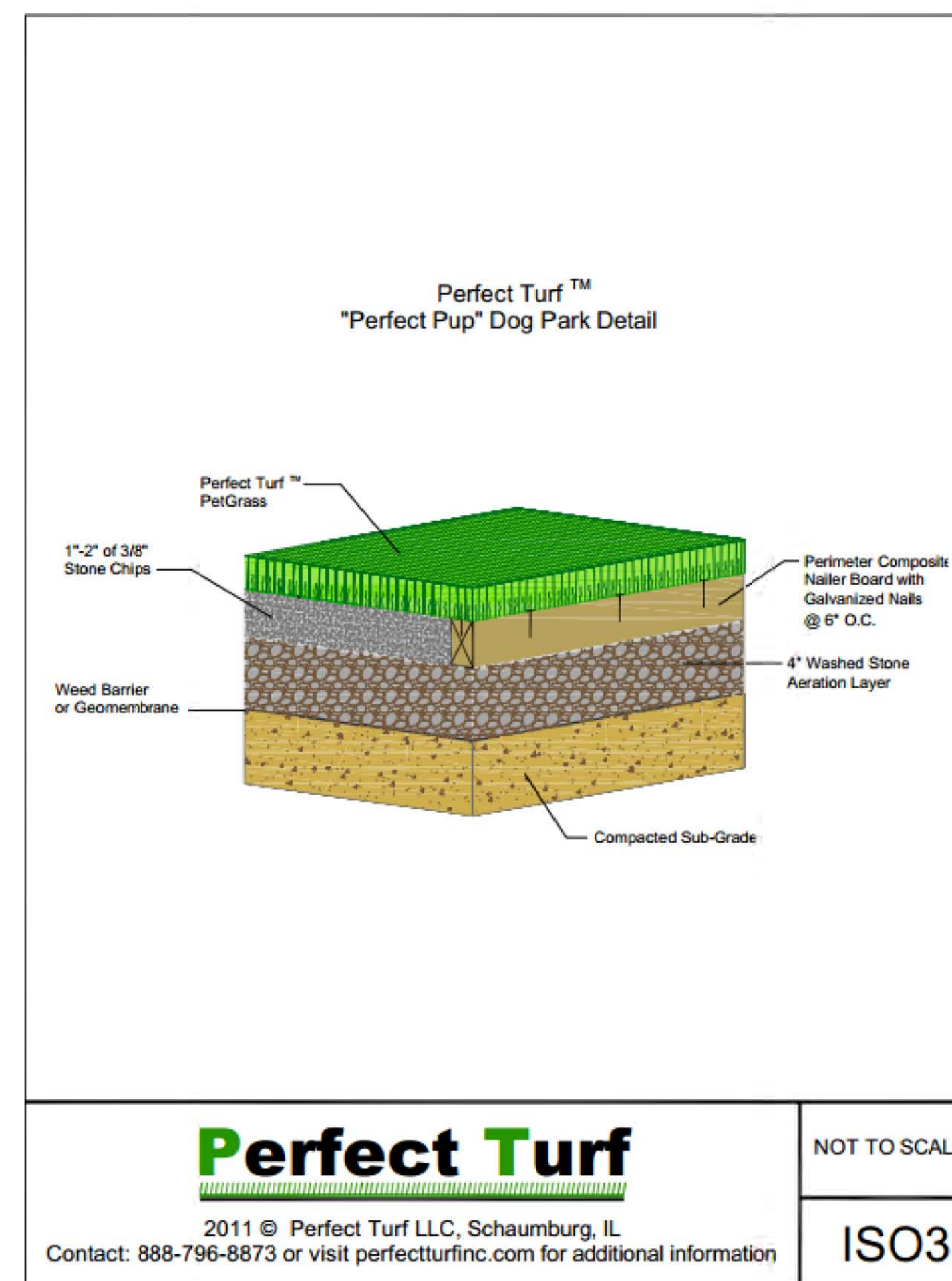


NOTES:

- 1.) Post size depends on fence height and wind loads.
See ECHELON *Plus*™ post sizing chart.
- 2.) Panels also available for 6' on center post spacing
- 3.) Additional heights available on request
- 4.) Fourth rail optional.

PROPOSED 8'-0" HIGH FENCE

N.T.S.



\\c:\1\2014\2014-0050\Drawing Files\Site-Load-Zoning\50-14_SITEBASE.dwg 1/21/2014 9:26 AM EX-2.0