



# VILLAGE OF ORLAND PARK

14700 Ravinia Avenue  
Orland Park, IL 60462  
[www.orlandpark.org](http://www.orlandpark.org)

## Meeting Agenda

### Plan Commission

*Nick Parisi, Chairman*

*Commissioners: Paul Aubin, John J. Paul,*

*Laura Murphy, Dave Shalabi*

*Edward Schussler and Patrick Zomparelli*

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Tuesday, March 5, 2019

7:00 PM

Village Hall

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#### CALLED TO ORDER/ROLL CALL

#### APPROVAL OF MINUTES

[2019-0032](#) Minutes of the February 19, 2019 Plan Commission Meeting

**Attachments:** [02-19-19 meeting minutes](#)

#### PUBLIC HEARINGS

[2018-0742](#) Ashburn Baptist - Teen Addition - Development Petition for Rezoning, Site Plan, Elevations, Landscape Plan, Special Use Permit

**Attachments:** [Elevations](#)  
[Elevations Color](#)  
[Aerial](#)  
[Alta Plat](#)  
[Landscape Plan](#)  
[Overall Aerial](#)  
[Site Plan](#)  
[Grading Plan](#)  
[Roof top screen](#)  
[Special Use Standards](#)  
[Rezoning Standards](#)  
[Plan Commission Report](#)

JT

[2018-0644](#) Voda Car Wash - Development Petition for Site Plan, Elevations, Landscape Plan, Special Use Permit with Modifications

**Attachments:** [Site Plan](#)  
[Building Elevations](#)  
[Building Material Samples](#)  
[Renderings](#)  
[Special Use Responses](#)  
[Existing Conditions](#)  
[Vehicle Stacking Exhibit](#)  
[Preliminary Landscape Plan](#)  
[PC STAFF REPORT - PRINT FROM HERE](#)  
BS

**NON-PUBLIC HEARINGS**

**OTHER BUSINESS**

**2019-0142** Memo: New Petitions & Appearance Review

**Attachments:** [3-5-19 Plan Commission Memo](#)

**NON-SCHEDULED CITIZENS & VISITORS**

**ADJOURNMENT**

DATE: March 5, 2019

## **REQUEST FOR ACTION REPORT**

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File Number:	<b>2019-0032</b>
Orig. Department:	<b>Development Services Department</b>
File Name:	<b>Minutes of the February 19, 2019 Plan Commission Meeting</b>

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### **BACKGROUND:**

### **BUDGET IMPACT:**

### **REQUESTED ACTION:**

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# VILLAGE OF ORLAND PARK

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## Meeting Minutes

Tuesday, February 19, 2019

7:00 PM

Village Hall

## Plan Commission

*Nick Parisi, Chairman*  
*Commissioners: Paul Aubin, John J. Paul,*  
*Laura Murphy, Dave Shalabi*  
*Edward Schussler and Patrick Zomparelli*

**CALLED TO ORDER/ROLL CALL**

**Present:** 6 - Chairman Parisi; Member Aubin; Member Paul; Member Murphy; Member Shalabi, Member Schussler

**Absent:** 1 - Member Zomparelli

**APPROVAL OF MINUTES**

**2019-0143 Minutes of the December 11, 2018 Plan Commission Meeting**

APPROVED

**Aye:** 5 - Chairman Parisi, Member Aubin, Member Paul, Member Shalabi and Member Schussler

**Nay:** 0

**Abstain:** 1 - Member Murphy

**Absent:** 1 - Member Zomparelli

**2019-0032 Minutes of the January 8, 2019 Plan Commission Meeting**

APPROVED

**Aye:** 6 - Chairman Parisi, Member Aubin, Member Paul, Member Murphy, Member Shalabi and Member Schussler

**Nay:** 0

**Absent:** 1 - Member Zomparelli

**NON-PUBLIC HEARINGS**

**2019-0003 Solar Panel Installation - 88 Silo Ridge Road West**

Continued to the April 16, 2019 Plan Commission.

I move to continue file number 2019-0003, Solar Panel Installation - 88 Silo Ridge Road West, to the February 19, 2019 Plan Commission meeting.

CONTINUED

**2019-0073 143rd Street Phase I Engineering Study - Impact to Historic Resources (Section 106 National Historic Preservation Act Review)**

Presentation by Salmon (refer to audio 10:20-17:36)

Discussion included setbacks and the businesses affected by the street widening; Phase 1, 2 and 3 timelines. (refer to audio 17:53-23:03)

No action required.

**PUBLIC HEARINGS**

**OPEN PUBLIC HEARING**

APPROVED

**Aye:** 6 - Chairman Parisi, Member Aubin, Member Paul, Member Murphy, Member Shalabi and Member Schussler

**Nay:** 0

**Absent:** 1 - Member Zomparelli

**2018-0499 Orland Ridge - Planned Development**

Presentation by Staff, made in accordance with written staff report dated February 19, 2019. (refer to audio 23:53-1:27:27 )

BREAK

Discussion included protecting grasslands birds, low-impact lighting, and bird-friendly glass; traffic concerns, traffic study, setbacks, retention area and storm water; townhome design, size and amenities. (refer to audio 1:35:30-3:03:00)

A motion was made by Commissioner Aubin, seconded by Chairman Parisi, to approve Public Hearing 2019-0499

Regarding Case Number 2018-0499, also known as Orland Ridge, I move to accept and make Findings of Fact for a Special Use as discussed at this Plan Commission meeting and within this staff report, dated February 19, 2019.

And

I move to recommend to the Village Board of Trustees to approve the preliminary site plan titled "Site Dimension Plan", prepared by Kimley Horn & Associates & Associates, dated July 13, 2019, last revised February 6, 2019, sheets C2.0 and C2.1 and the park exhibit titled "Park Area Exhibit", prepared by Kimley Horn & Associates, dated November 6, 2018 and revised November 16, 2018, subject to the following conditions:

1. The commercial component of the preliminary site plan is considered conceptual, with the exception of the proposed community gathering space, located between Building B and Building C, and will need to go back through the entire Development Review process and approval; once tenants are selected and the project is designed. The community gathering space is not conceptual and is required, as a condition of the site plan approval; and
2. An additional community gathering space that measures, .29 Acres, in the commercial area will be required, as a condition of the site plan approval; and
3. The hotel component of the preliminary site plan is considered conceptual and

will need to go back through the entire Development Review process and approval; once tenants are selected and the project is designed. Future plans for the hotel parcel must provide two (2) vehicular ingress/egress points; and

4. 169th Place be fully constructed including sidewalks and multi-use paths, and connected to La Grange Road prior to final occupancy being granted for more than 50% of the residential units; and

5. The developer will be responsible for the maintenance of the landscaping areas and the roundabout along 169th Place and shall work with the Village to prepare a maintenance agreement for the landscaping areas along 169th Place; and

6. With the exception of the accessory structure modifications that have been requested, all accessory structure and uses must meet standard Land Development Code requirements, Section 6-302; and

7. In the paving legend on the legend for the site plan, label the asphalt multi-use path as a "minimum 8 feet" within the paving legend; and

8. All private park space, with the exception of the clubhouse and pool area, must be publicly accessible to the general public; signage must be installed that indicates the public accessibility. The development may not be gated nor outside public access otherwise restricted. The clubhouse must be equally available to all residents of the development; and

9. Work with staff to determine the required developer contribution for both the park land acreage or cash in lieu and the amount of park recreation cash for capital improvements prior to the Board meeting; and

10. Meet building code requirements; and

11. Meet all final engineering requirements including required permits from outside agencies; and

12. Screen all mechanical equipment either at grade or at rooftop with landscaping or parapets respectively; and

13. Submit a sign permit for all proposed signage; and

And

I move to recommend to the Village Board of Trustees to approve the elevation drawings titled "Preliminary Architectural Plans", compiled by SR Jacobson and Lormax Stern, dated February 6, 2019, with Ranch Villa Drawings prepared by Coponen Architects, Sheets AR-2, Typical Building Front Elevation only (dated

10/25/2018), A-4, Unit End Elevation, Typical Unit Rear Elevation, and the Typical Unit Front Elevation (dated June 13, 2018), AR-3 (dated December 18, 2018), Villa Front Elevation (dated 07/08/2018) and Villa Rear Elevation (Submitted 02/06/2019), Elevation A (Submitted 02/06/2019), Elevation B (Submitted 02/06/2019), and Elevation C (Submitted 02/06/2019); and also Townhome Drawings, prepared by Coponen Architects, Sheets A2 (dated 10/25/2018, revised 01/05/2019), and the Townhome Rendering (dated 11/03/2018); and also Clubhouse Drawings prepared by Alexander V. Bogaerts + Associates, P.C., Sheets 4 (dated 11/12/2018, s.p.a. 01/02/2019), and 5 (dated 11/12/2018, s.p.a. 01/02/2019), Rendered Elevation Sheet 4 (dated 11/12/2018, s.p.a. 12/21/2018), Rendered Elevation Sheet 5 (dated 11/12/2018, s.p.a. 12/21/2018); and also three (3) Commercial Plaza Renderings (dated January 2019), subject to the following conditions;

1. In the case of a conflict between exhibit drawings; the stricter application will apply;

And

I move to recommend to the Village Board of Trustees to approve the preliminary landscape plan titled "Preliminary Landscape Plan", prepared by Kimley-Horn and Associates, Inc., dated July 13, 2019, last revised February 6, 2019, sheets L1.0 through L4.6, subject to the same conditions outlined in the above preliminary site plan and elevation motions and the following:

1. The Petitioner shall submit a final landscape plan and all required supporting documentation addressing all outstanding landscape items in coordination with final engineering submittal; and
2. The Petitioner shall install permanent "no mow" markers (such as bollards, posts, etc), at the back corner of every other property that abuts a stormwater basin or wetland area to clearly indicate the 25' setback line; and
3. The Petitioner shall install environmental educational signage around all wetlands and detention ponds; and
4. The installation and maintenance of landscaping in all stormwater management and wetland areas shall be performed by a qualified landscape contractor, as approved by the Development Services Department; and
5. Any trees or large shrubs in conflict with the petroleum gas line easement along 94th Avenue should be relocated elsewhere on site;

And



I move to recommend to the Village Board of Trustees to approve the preliminary plat of subdivision titled "Orland Ridge", prepared by Landmark, subject to the same conditions outlined in the above preliminary site plan and elevation motions and the following:

1. Prior to the Development Committee meeting, change the title of the plat to "Preliminary Plat of Subdivision - Orland Ridge" and provide a date on the plat; and
2. Submit a Record Plat of Subdivision to the Village for execution and recording; and
3. All dedications, jurisdictions and document numbers must be referenced on the plat for any necessary right of way dedications;

And

I move to recommend to the Village Board of Trustees to approve the following Special Use Permits for the Orland Ridge Planned Development, subject to the same conditions outlined in the above preliminary site plan, landscape plan and elevation motions. Modifications to the Special Use Permits include:

1. A Special Use Permit for a Planned Development with multiple buildings and multiple uses:
  - a. With modifications to reduce building setbacks for the townhomes:
    - i. Front building setback from collector streets - COR Mixed Use District, Section 6-210F.1.a. (1)(b). (From 40' to 25')
    - ii. Front building setback from local street - COR Mixed use District, Section 6-210 F.1.a. (1)(c) (From 30' to 20')
    - iii. Building to building side setback (From 30' to allow for a minimum building to building separation of 15') COR Mixed use District, Section 6-210 F.2.
    - iv. Building side to local street setback (From 30' to 20') COR Mixed Use District, Section 6-210 F.1.a. (3) (c)
    - v. Building corner side to collector street setback (From 40' to 25') Mixed Use District, Section 6-210 F.1.a (3) (b).
    - vi. Balcony encroachment into front setback (From 3' limit to 5.5' maximum) Accessory Structures and Uses Section 6-302 C. 4.
  - b. With modifications to reduce building setbacks for the Villas:
    - i. Building side to side setback from (From 30' to allow for a minimum building to building separation of 20') COR Mixed use District Section 6-210 F.2.
    - ii. Building corner side to collector street setback (From 40' to 25') COR Mixed use District Section 6-210 F.1.a. (3) (b).
    - iii. Building side to local street setback (From 30' to 25') COR Mixed use District

Section 6-210 F.1.a (3) (c).

iv. Building to building rear setback (From 60' to allow for a minimum building to building separation of 27') COR Mixed use District Section 6-210 F. 2.

c. With a modification to reduce the setback from the detention pond high water line Storm Sewers and Storm Water Retention Section 6-409 E. 18.0 (From 25' to as little as 0')

d. With a modification to exceed retaining wall height at overlook. Accessory Structures and Uses Section 6-302 C.31. (From 3' to 6')

e. With a modification to reduce Off-Street parking and loading requirements, Section 6-302 including Section 6-302 E.7.a., which allows driveway parking to count toward parking requirements only if two off-site spaces are provided elsewhere on the site.

f. With a modification to allow lot coverage to be calculated as an aggregate of all the parcels within the Planned Development in the COR Mixed use District, Section 6-210 G.

g. With a modification to allow air conditioning units in the front and side setbacks of the Townhomes and Villas, Section 6-302 C.1.

h. With a modification to reduce parkways, Section 6-406.2.a. and 3.

i. With a modification to increase detention pond release rates to a rate that will protect the existing regulatory wetland hydrology, in accordance with Federal regulations, Section 6-409.E.18.c.

2. A Special Use Permit to allow attached dwellings in the COR Mixed use District, Section 6-210. C.2.

3. A Special Use Permit for a site plan with total building area greater than 50,000 square feet, Section 6-210.C.23.

4. A Special Use Permit to allow residential uses to exceed more than 40% of the Mixed Use Planned Development in the COR Mixed use District, Section 6-210.C.2.B.

5. A Special Use Permit to construct a private park and community center, Section 6-210.C.6,17:

a. With a modification to increase the maximum private park acreage from 2 acres to 3.75 acres, Section 5-112.H.2.c

6. A Special Use Permit for the disturbance of wetlands, Section 6-413:

a. With a modification to eliminate two small wetlands.

b. With a modification to reduce the 50' wetland setback for the remaining preserved wetland.

APPROVED

**Aye:** 6 - Chairman Parisi, Member Aubin, Member Paul, Member Murphy, Member Shalabi and Member Schussler

**Nay:** 0

**Absent:** 1 - Member Zomparelli

**CLOSE PUBLIC HEARING**

APPROVED

**Aye:** 6 - Chairman Parisi, Member Aubin, Member Paul, Member Murphy, Member Shalabi and Member Schussler

**Nay:** 0

**Absent:** 1 - Member Zomparelli

**OTHER BUSINESS**

None

**2019-0142 Memo: New Petitions & Appearance Review**

There being no further business before the Plan Commission, Chairman Parisi adjourned the meeting.

**NON-SCHEDULED CITIZENS & VISITORS**

None

**ADJOURNMENT**

A motion was made by Chairman Parisi, seconded by Commissioner Aubin, to adjourn the meeting at 10:13pm

ADJOURNED

**Aye:** 6 - Chairman Parisi, Member Aubin, Member Paul, Member Murphy, Member Shalabi and Member Schussler

**Nay:** 0

**Absent:** 1 - Member Zomparelli

Respectfully Submitted,

Jennifer Sexton  
Recording Secretary

DATE:

**REQUEST FOR ACTION REPORT**

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File Number: **2018-0742**  
 Orig. Department: **Development Services Department**  
 File Name: **Ashburn Baptist - Teen Addition - Development Petition for Rezoning, Site Plan, Elevations, Landscape Plan, Special Use Permit**

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**BACKGROUND:**

**Project**

Ashburn Baptist - Teen Addition - 15401 Wolf Road, Orland Park, IL 60467

**Case Number**

2018-0742

**Petitioner**

Ashburn Baptist Church

Todd E. Carlson, contact  
334 E. Colfax  
Palatine, IL 60067

**Purpose**

The Petitioner seeks approval to construct and operate a 4,770 square foot teen center building addition to the existing Ashburn Baptist Church building.

*Requested Actions:* Rezoning, Site Plan, Elevations, Landscape Plan, and Special Use Permit Amendment

**Quick Facts**

**Address:** 15401 Wolf Road

**P.I.N.:** 27-17-102-003-0000

**Land Area:** 35 acres

**Comprehensive Plan Planning District:** Centennial Planning District,

**Comprehensive Plan Land Use Designation:** Community/ institutional land use

**Existing Zoning:** RSB Residential and Supporting Business District

**Proposed Zoning:** E-1 Estate Residential Zoning District

**Existing Land Use:** Place of Worship

**Proposed Land Use:** Place of Worship

**Surrounding Area:**

North: (across 153rd Street) undeveloped but zoned for R-3 single family residential; plus one Estate Residential single family lot with home

South: R-3 Single family residential (Fawn Creek)

East: R-3 Single family residential (Ashburn Point)

West: (across Wolf Road) undeveloped, zoned for R-3 single family residential (Doctor Marsh)

**Bulk Requirements**

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Lot Size: 35 acres provided/ 1 acre minimum required  
Lot Coverage: 15% provided / Maximum 70% limit  
Building Setbacks: 125' provided/ 50' minimum front and side required  
Building Height: 35' to mean height of roof/ addition does not increase height

**Preliminary Approvals**

**Engineering:** Preliminary Engineering consent has been given for the project, subject to conditions.

**Landscape:** Preliminary Landscape Plan approval has been given for the project, subject to conditions.

**Project Description**

The petitioner proposes to construct an approximately 4,770 square foot addition abutting the northeast corner of the existing 45,000 square foot Ashburn Baptist Church building. The one-story building addition will match the existing architectural style, color and materials of the existing church, and will be set back a minimum of 125' from nearby residential parcels. The existing Ashburn Baptist Church Special Use Permit for a Place of Worship (Ordinances 1646 and 760) will be amended to accommodate this change. No Code modifications are proposed for this petition.

According to the petitioner: "The building addition will be used by teens on Sunday and Wednesday, as well as other activities, and the purpose is religious instruction and training and related activities. Since it is youth who are using the building who are already coming in cars driven by their parents, no additional parking will be needed." Currently the church complex exceeds Code requirements for parking, even with the new addition.

**History & Context**

Ashburn Baptist Church is an approximately 655 seat place of worship located on 35 acres at 153rd Street and Wolf Road, and was built over 30 years ago. In 1977 a special use permit for a planned development was approved for Ashburn Baptist Church that included age restricted senior housing, a place of worship, a school, a recreation building, a parking lot, and recreational facilities. It was rezoned to the R-6 Zoning District, presumably to accommodate the originally proposed multi-family housing. However the special use permit was amended in 1987 to include only a church, school, and recreation facilities and a parking lot, and the property remained in the R-6 Residential Zoning District, a zoning district that no longer exists in the current Land Development Code. The RSB Zoning District was created in the late 1980's, but is currently applicable to a very limited number of parcels.

**Project Analysis**

**Comprehensive Plan**

The Village's Comprehensive Plan identifies the subject site as within the Centennial Planning District, with a designation for community/institutional uses, which include places of worship. The proposed teen center will be an addition to the existing church building, and the teen center will serve as a church-related facility that caters to a specific congregant age group and therefore conforms to the Village's Comprehensive Plan and Land Development Code.

**Rezoning (Map Amendment)**

The subject site is currently zoned RSB Residential and Supporting Business District. This district was created in the late 1980's as a zoning district that accommodates "Residential and non-residential uses meeting the day to day convenience shopping and service needs of persons residing in the district and adjacent residential district areas. The district is intended to

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provide uses that are on a more intimate, pedestrian-oriented scale than those uses located in the BIZ Business District.” The proposed Ashburn Baptist Church does not provide convenience shopping for the surrounding area. Most places of worship are located in the E-1 Estate Residential Zoning Districts, which allow primarily large lot residential uses, but also allow places of worship through a special use permit. Per staff request, Ashburn Baptist Church has agreed to rezone their property to the E-1 Estate Residential Zoning District. The petitioner has supplied Rezoning Standard responses.

### **LaSalle Factors**

Per Section 5-108 E.3a of the Land Development Code, the Plan Commission shall consider the following factors when reviewing an application for rezoning. The petitioner has provided responses to standards as an attachment. Additionally, each factor below is followed by staff observations.

1. The existing uses and zoning of nearby property: *Nearby properties are single family uses, the proposed low density Estate Residential zoning with a place of worship use is compatible with those uses.*
2. The extent to which property values are diminished by a particular zoning classification or restriction: *Staff does not have an expert opinion on this standard.*
3. The extent to which the destruction of the property value of a petitioning property owner promotes the health, safety, morals, or general welfare of the public: *Staff does not have an expert opinion on this standard.*
4. The relative gain to the public as opposed to the hardship imposed on a petitioning property owner: *The Village has requested that the church rezone to the E-1 Zoning District to align with current zoning practices. The E-1 Zoning District typically includes lower impact uses than potential development in the RSB Mixed Use Zoning District. The proposed rezoning will have no impact on the current and proposed church operations.*
5. The suitability of the subject property for its zoned purposes. *The property has an abundance of acreage and can easily accommodate the teen addition within Code limits, and also provides at least 125' of setback from neighboring homes.*
6. The length of time the property has been vacant as zoned, considered in the context of land development in the area. *The property has operated as a place of worship in the RSB Zoning District for almost 30 years.*
7. The Comprehensive Plan designation and the current applicability of that designation. *The Village's Comprehensive Plan supports civic and institutional uses in this location. Places of worship are considered a type of civic and institutional use.*
8. The evidence or lack of evidence, of community need for the use proposed. *The proposed teen center is intended to meet the needs of an age group within the church's congregation, and to attract other teens to the church, who are often community members.*

### **Site Plan and Elevations**

The proposed teen center addition will be attached to the existing church near the northeast corner of the church building. The addition has very low visibility from the public streets and will be set back a minimum of 125' from neighboring residential properties. The site topography is

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rolling, and the existing church building is set into the hillside, with a lower main entry door, and an upper level where the teen addition will be constructed. The teen addition is 16' in height, the existing church sanctuary portions of the upper level soar well above the proposed teen center height. The grade around the building addition will be sloped down to meet the lower grade. The east elevation of the addition will meet the existing grade and will include access doors and a sidewalk. The one-story building addition will match the existing architectural style, color and materials of the existing place of worship, including the curved corners of the existing building.

### **Mechanicals**

Rooftop mechanicals will be added to the teen addition. The petitioner proposes a 48" tall metal panel box that matches the building color, to screen the equipment. The proposed 'roof top curb adapter' is specifically designed for the mounting and screening of HVAC rooftop equipment.

### **Lighting**

Soffit lighting will be added at the southeast entrance to the building addition, and emergency lighting will be added at the two other doors. No other new lighting is proposed.

### **Signage**

No new signs are proposed under this petition, and according to the petitioner, none are anticipated. New signage requires a separate permit.

### **Mobility and Parking**

Vehicular circulation patterns to the church have been established for many years. The two church parking lots are accessed from a curb cut on Wolf Road. No significant change in the traffic patterns are anticipated since most teenagers will arrive with parents who are attending other services. There are 294 parking spaces in the existing parking lot; the Code only requires 164 parking spaces for a church of this size. There is no specific Code requirement for teen center parking, however if the teen center parking was calculated as if it were an independent community center, the teen addition would only require an additional 16 spaces, which could be easily accommodated on the existing lots.

### **Engineering**

The petition has preliminary engineering consent to move forward to Plan Commission. Site disturbance from the new construction is limited; however a small underground storm water detention area will be constructed north of the addition to accommodate volume control for the proposed site disturbance, per MWRD requirements. According to the petitioner, no proposed retaining wall will exceed 3' in height per Code. Any retaining wall that exceeds 3' requires a Code modification and review by Village Engineers.

### **Landscape Plan**

A preliminary landscape plan has been submitted, showing proposed shrubs and perennials along the southeastern elevation. However, in this situation, the Code requires a 7' wide foundation planting along 50% of the building. The perimeter of the building is 219 linear feet, therefore **110 linear feet** of foundation plantings is required, while only **60 feet** of foundation plantings have been provided. The **additional 50 linear feet** must include a combination of trees, shrubs, and perennial ground covers, including at least 11 shrubs. It is recommended these shrubs be placed on the northwest side of the addition in the tiered beds.

### **Exaction Fees**

Any required exaction fees will be established at the time of Building Permits.

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## Special Use Permit

The proposed land use is classified as a Place of Worship which is defined in Section 2-102 of the Land Development Code as a place of worship, synagogue, temple, mosque or other place of religious worship, including any accessory use or structure, such as a school, day care center, or dwelling that is located on the same lot. A Special Use Permit is required for a Place of Worship in the proposed E-1 Estate Residential Zoning District according to Section 6-201 of the Land Development Code. Per Section 5-105.E. of the Land Development Code, the Plan Commission shall consider the extent to which the proposed project will meet the following standards. Staff has provided observations below each standard based on research and the information provided by the Petitioner as of October 10, 2018. The Petitioner's responses to the Standards for a Special Use are attached.

1. The Special Use will be consistent with the purposes, goals, objectives, and standards of the Comprehensive Plan, any adopted overlay plan, and these regulations. *A Place of Worship with the teen center accessory use is supported by the existing and proposed zoning districts and the Village's Comprehensive Plan.*
2. The Special Use will be consistent with the community character of the immediate vicinity of the parcel proposed for development. *A Place of Worship is an established land use on this 35 acre parcel which easily supports this expansion.*
3. The design of the proposed use will minimize adverse effects, including visual impacts on adjacent properties. *The proposed elevations match the existing building's architectural character, materials, and colors. Additionally, foundation landscaping will be provided.*
4. The proposed use will not have an adverse effect on the value of the adjacent property. *Staff does not have an expert opinion on this standard.*
5. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service. *All of the above services are already available to the church facility where applicable.*
6. The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development. *Places of Worship do not require park land dedication. The proposed 85% pervious cover on the site more than supplies the required amount of open space.*
7. The development will not adversely affect a known archaeological, historical, or cultural resource. *There is no known adverse effect on an archaeological, historical, or cultural resource.*
8. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village. *The petitioner must meet all Village required conditions.*

## Land Development Code Modifications

No Land Development Code modifications are required for this petition.

## BUDGET IMPACT:

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## REQUESTED ACTION:

“Regarding Case Number 2018-0742 also known as Ashburn Baptist Teen Addition, I move to accept and make Findings of Fact for a Rezoning and Special Use as discussed at this Plan Commission meeting and within this Staff Report dated March 5, 2019.”

And

“I move to recommend to the Village Board of Trustees approval of a **Rezoning** (Map Amendment) for Ashburn Baptist - Teen Addition for 15401 Wolf Road to be rezoned from the existing RSB Residential Supporting Business District to the E-1 Estate Residential Zoning District.

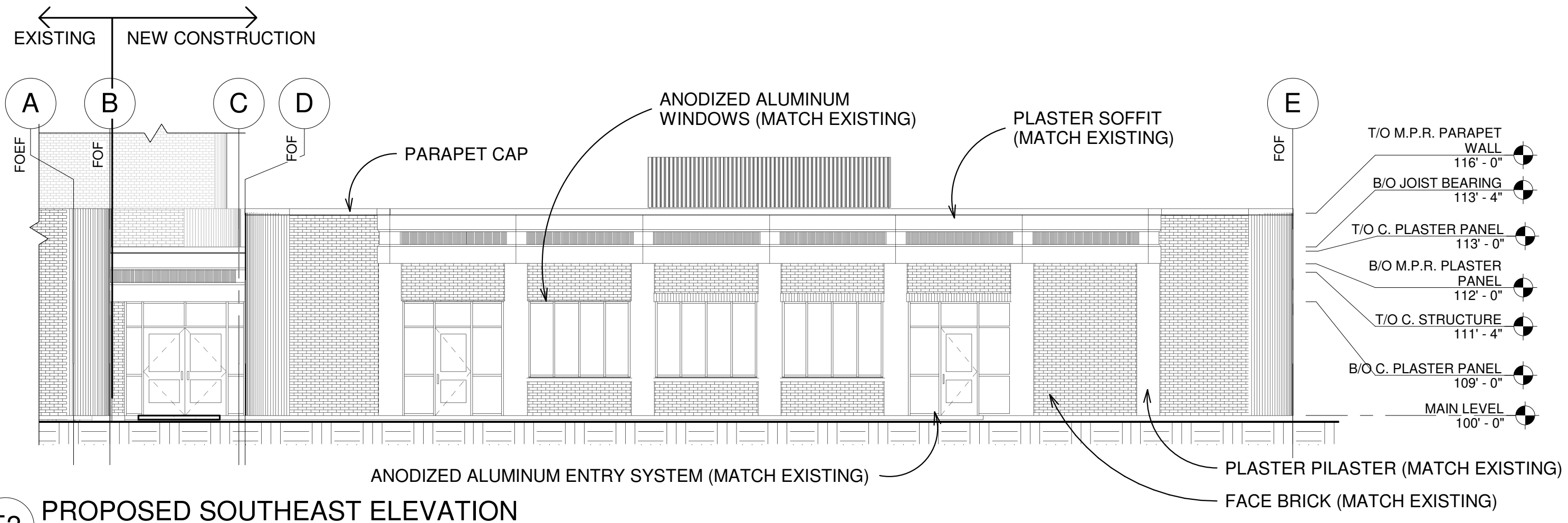
And

“I move to recommend to the Village Board of Trustees approval to **Amend a Special Use Permit** for a place of worship to allow construction and operation of a 4,770 square foot teen recreation building addition.

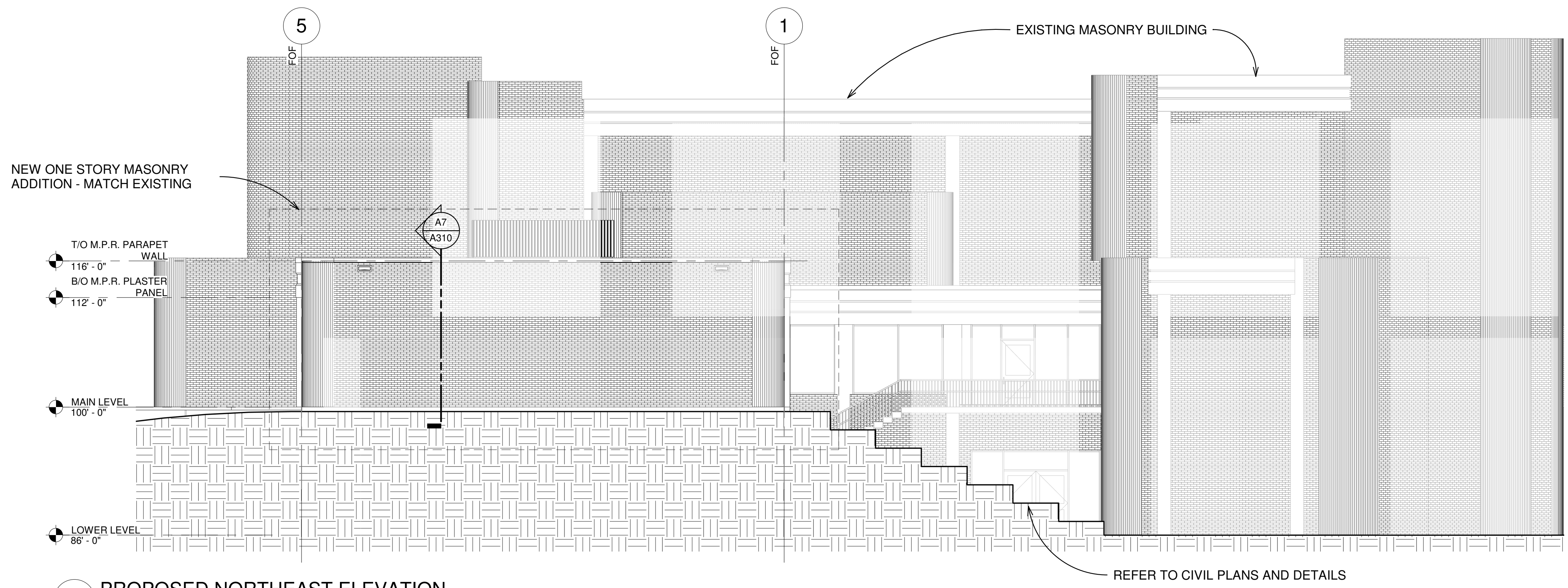
And

“I move to recommend to the Village Board of Trustees approval of the overall **Site Plan** titled “Preliminary Site Plan”, by Carlson Architecture, project 18007, sheet number SD101, dated 10.19.2018; and on the site plan titled ‘Preliminary Engineering Plan’ by Carlson Architecture, project 18007, sheet number SD101, revised 1.14.19; and ‘Landscape Plan’ by Clarence Davis and Company, project # 19.1296.FV-sb, revised 1.23.19; and as shown on rooftop screening isometric titled “12-0049-4159” by CDI Crystal Distribution, page 1, dated 06.05.2018; and titled “**Elevations**”, by Carlson Architecture, project 18007, sheet number A201, dated 10.19.2018, updated 01.14.19; and as shown on colored Elevations titled “Ashburn Baptist Church” by Carlson Architecture, dated Oct 19, 2018 with the following conditions:

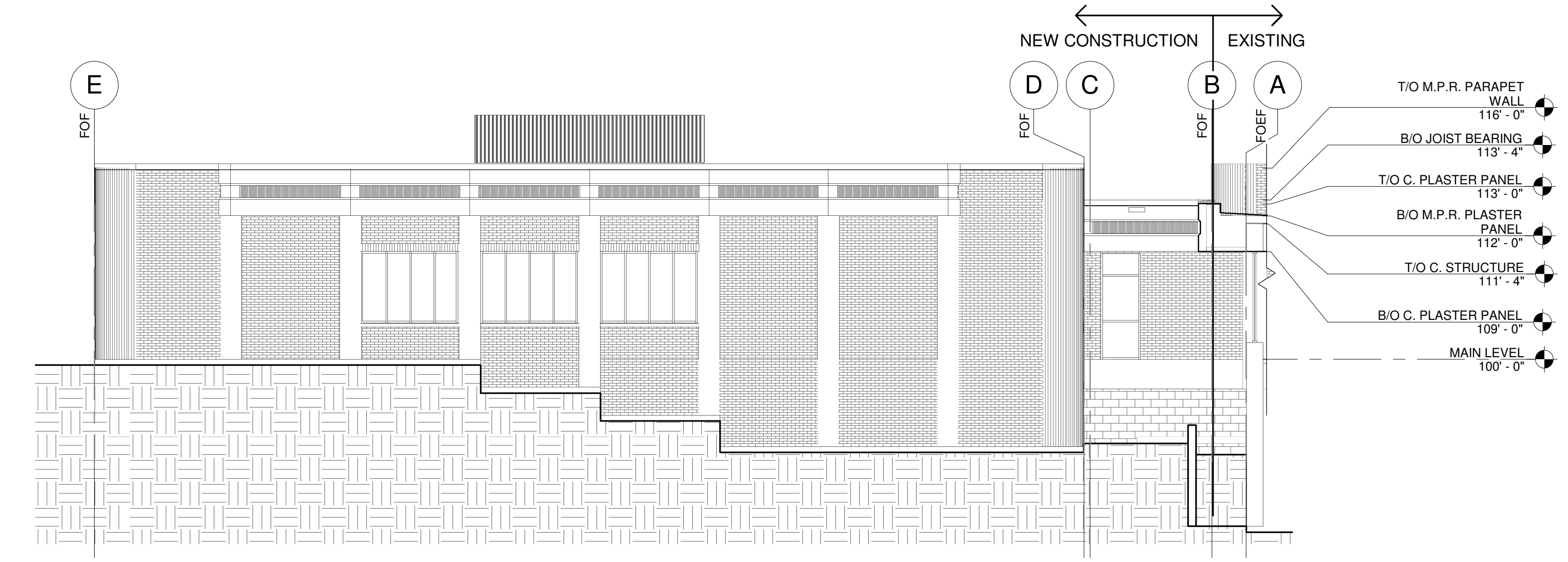
1. Rooftop screening must match the proposed brick and trim color as closely as possible.
  2. A Final Landscape Plan must be submitted for review and approval subject to the following condition:
    - a. Add at least 11 additional shrubs plus perennials along the northwest addition façade in the tiered foundation beds to meet Code.
  3. Any new Signage will require separate Sign Permit approvals.
  4. No new retaining wall shall exceed 3' in height.
  5. Screen all new rooftop mechanicals from view.
  6. Meet all final engineering and Building Division requirements.
-



**E2** PROPOSED SOUTHEAST ELEVATION  
1/8" = 1'-0"



**B1** PROPOSED NORTHEAST ELEVATION  
1/8" = 1'-0"



**A2** PROPOSED NORTHWEST ELEVATION  
1/8" = 1'-0"

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**ASHBURN BAPTIST CHURCH**  
MULTIPURPOSE ROOM ADDITION  
15401 WOLF ROAD, ORLAND PARK, IL 60467

PROJECT NUMBER:  
**18007**

NO.	REVISION REMARKS	DATE

DATE:  
**10.19.2018**

**ELEVATIONS**

SHEET NUMBER:  
**A201**

# 153RD ST

# 154TH ST

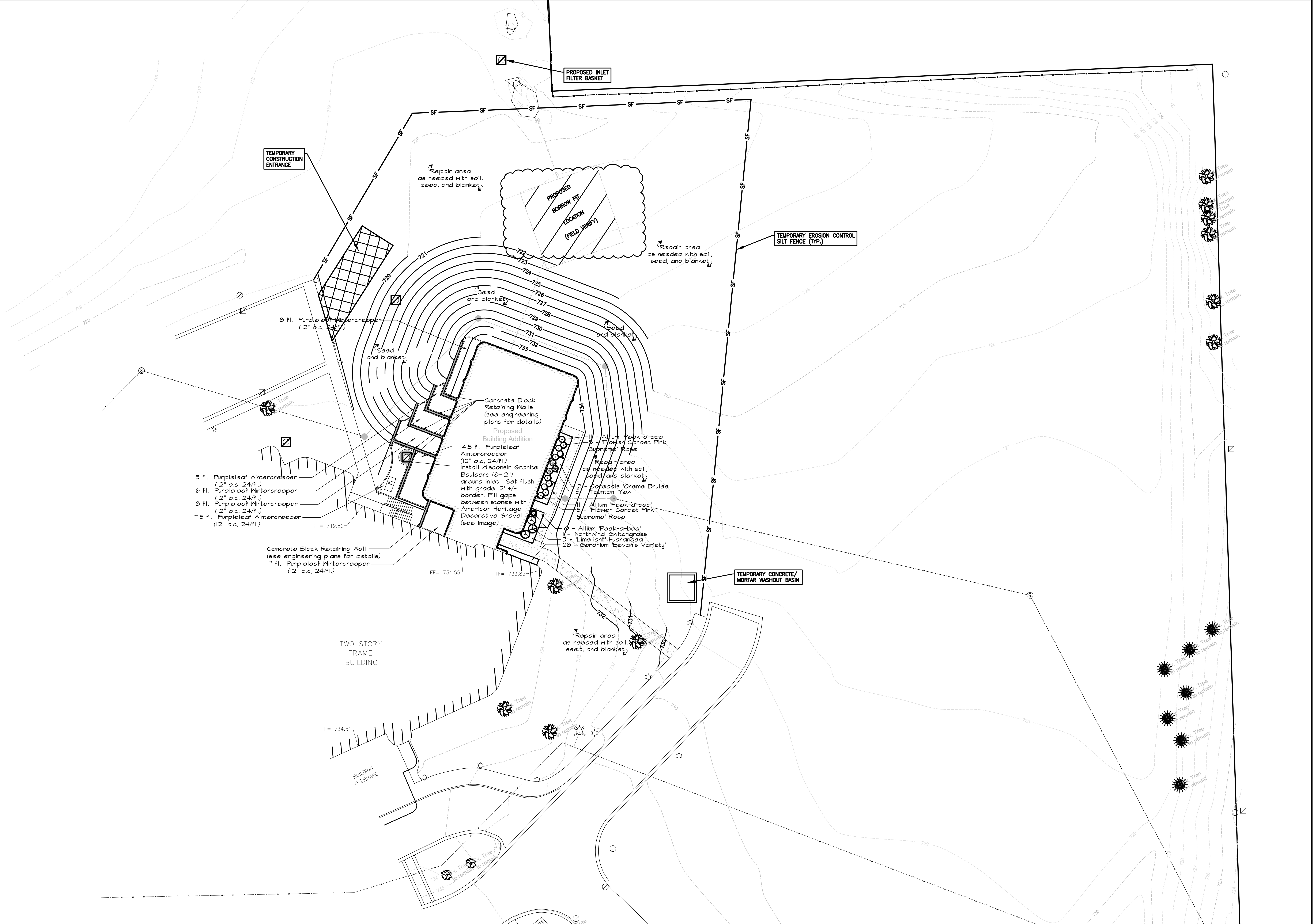
# JILLIAN RD

# CAROLYN C



1 inch = 147 feet





CLARENCE DAVIDS & COMPANY  
 23900 W. 127th Street - Plainfield, IL 60585  
 (815) 439 - 1177 office (815) 439 - 2291 fax  
 clarence@clarence.com

**Asburn Baptist Church - Teen Addition**  
 15401 Wolf Road  
 Orland Park, IL  
**Landscape Plan**

Proj. #: 19.1296.FV-sb	Date: 1/22/19
Sheet: 1 of 2	Revised: in 1/23/19
Drawn By: SB	
Account Rep: AW	

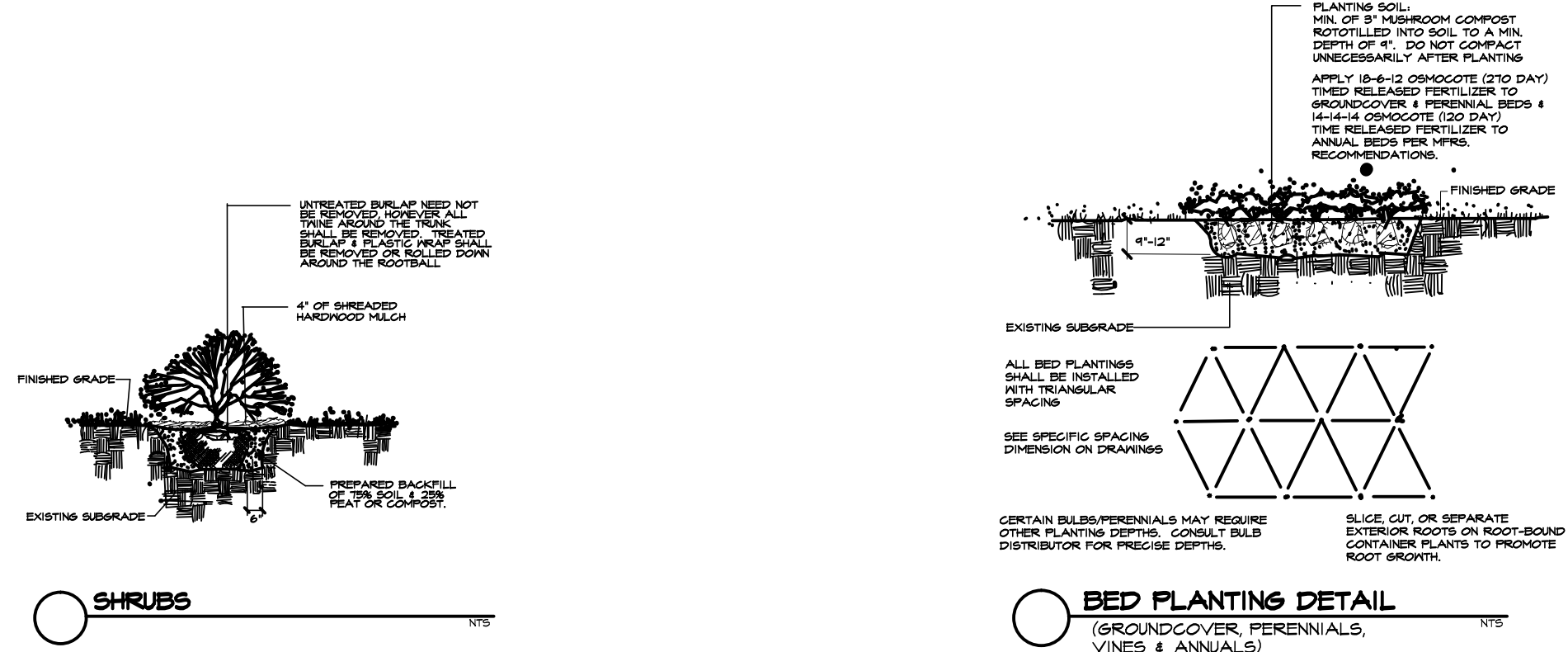
Scale: 1" = 20'-0"

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## Plant Schedule

Scientific Name	Common Name	Quantity	Size	Comments
<b>Shrubs</b>				
Hydrangea paniculata 'Limelight'	'Limelight' Hydrangea	3	5 gal. (24")	
Rosa var. 'NOA168098F'	'Flower Carpet Pink Supreme Rose'	10	3 gal.	
Syringa pubescens subsp. patula 'Miss Kim'	'Miss Kim' Lilac	6	5 gal. (24")	
Taxus x media 'Tauntonii'	'Tauntoni' Yew	3	18" B+B	
<b>Perennials and Grasses</b>				
Allium lusitanicum 'Peek-a-boo'	Allium 'Peek-a-boo'	32	1 gal.	
Coreopsis 'Crème Brûlée'	Coreopsis 'Crème Brûlée'	12	1 gal.	
Geranium macrorrhizum 'Bevan's Variety'	Geranium 'Bevan's Variety'	28	1 gal.	
Panicum virgatum 'Northwind'	'Northwind' Switchgrass	1	1 gal.	
<b>Groundcover</b>				
Euonymus fortunei var. 'Coloratus'	Purpleleaf Wintercreeper	56	24"/fl.	planted 12" o.c.

## Planting Details



## Concept Image of Drainage Inlet Treatment



## Plant Notes

- The contractor shall provide and install all plant materials in quantities sufficient to complete the planting shown on the drawing, unless noted otherwise. All plants shall comply with the requirements of the current American Standard for Nursery Stock, published by the American Association of Nurserymen. Plants shall meet size, genus, species, and variety. Plants shall be in good health, free of disease, insects and defects. No "Park Grade" material shall be accepted. Plants may be substituted upon the approval of the Landscape Architect or the governing municipality prior to installation.
  - All plants shall be watered during the first 24-hour period after installation. Contractor is responsible for watering sod and seed areas until first mowing. A schedule must be agreed upon with the owner, before sod is installed, of whom, when and how sod is to be properly watered. The contractor is responsible for site visits to ensure the proper watering is being done for establishment and health of sod.
  - Plants shall be balled and burlapped or container grown as specified. No root bound material shall be accepted and all wrapping material made of synthetics or plastics shall be removed at the time of planting. It is the contractor's option to roll back burlap from the top of the ball.
  - All shrub beds and tree rings shall receive 4" depth of shredded hardwood mulch. All new tree rings shall be 5' in diameter. All perennials shall receive 2" depth of hardwood mulch.
  - All plants shall be set plumb. It is the contractor's option to stake deciduous tree, but it is also the contractor's responsibility to ensure plants remain plumb until the end of the guarantee period. All deciduous trees shall be wrapped to prevent winter damage, which shall be removed after the first winter by the installing contractor. All evergreen trees must be staked.
  - Prune, thin out, and shape new plants in accordance with standard horticultural practices to retain their natural character. Do not cut tree leader, but be sure to remove any injured, damaged, dead, or crossed branches from the plant at the time of installation. All plant material shall be planted to finished grade equivalent to the plant's original grade before digging.
  - All ground cover and flowerbeds shall receive a 6" depth of organic compost, which shall be rototilled into the existing topsoil utilizing two lifts. Trees and shrubs shall be back filled with good existing topsoil.
  - The contractor shall locate the existence of all underground utilities prior to starting. The contractor must also keep the pavement and work area in a neat and orderly condition throughout the construction process.
  - Owner shall provide contractor with finish grade from the approved grading plan to a tenth of an inch with sufficient quality topsoil. If imported topsoil is required it shall be done at the owners expense. The general contractor should remove all building construction debris. The landscape contractor should be responsible for landscape debris removal.
  - Seed turf areas shall extend to encompass all disturbed areas as a result of the proposed construction.
  - All edging to be a spaded natural edge, no steel or plastic edging shall be used unless otherwise noted.
  - Information contained in "Plan Notes" take precedence over other information.
  - All sizes of plant material listed within the Plant Requirements and Schedule shall be the height at the time of installation.
- NOTE: ALL TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 10' HORIZONTALLY FROM UTILITY STRUCTURES

## Requirements

### SECTION 6-305. LANDSCAPE AND TREE PRESERVATION.

- Foundation and Interior Landscape.
  - Foundation Landscaping.
    - General. Foundation landscape areas shall be provided to enhance architectural features, integrate a building(s) with the site and add visual interest to large expanses of building walls.
    - Requirements.
      - A minimum seven (7) foot wide foundation landscape area shall be provided along fifty percent (50%) of all building facades not fronting a public street, except where building access walkways/driveways or emergency service connections are necessary. (Length of addition - 276 If = 138 If of foundation landscape required, 201.62 If provided)
      - Foundation planting beds shall consist of a combination of trees, shrubs, ornamental grasses, perennials and groundcovers. The majority of required foundation trees, shrubs and ornamental grasses shall provide year-round visual interest. (a combination of shrubs, ornamental grasses, perennials and groundcovers provided)

CLARENCE DAVIDS & COMPANY  
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clarencedavids.com

**Asburn Baptist Church - Teen Addition**  
15401 Wolf Road  
Orland Park, IL

**Details**

Proj. #: 19.1296.FV-sb Date: 1/22/19  
Sheet: 2 of 2 Revised: in 1/23/19  
Drawn By: SB  
Account Rep: AW

Scale: 1" = 10'-0"

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153RD ST

Doctor East

Ashburn Court

CAROLYN CT

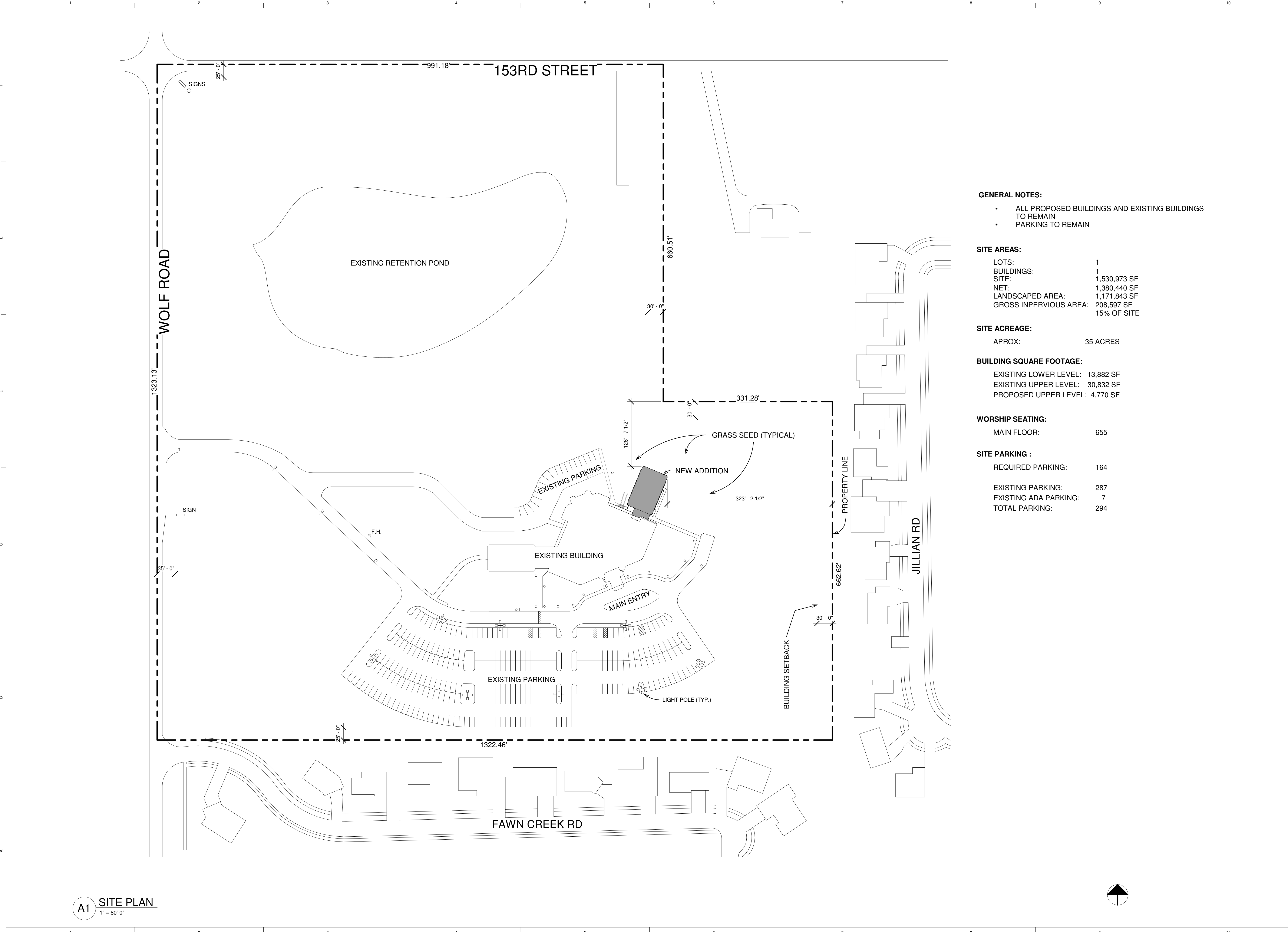
Ashburn Sound

Fawn Creek  
FAWN CREEK LN

ROYAL GLEN DR

DOVER CT

1 inch = 200 feet



- GENERAL NOTES:**
- ALL PROPOSED BUILDINGS AND EXISTING BUILDINGS TO REMAIN
  - PARKING TO REMAIN

**SITE AREAS:**

LOTS: 1  
 BUILDINGS: 1  
 SITE: 1,530,973 SF  
 NET: 1,380,440 SF  
 LANDSCAPED AREA: 1,171,843 SF  
 GROSS IMPERVIOUS AREA: 208,597 SF  
 15% OF SITE

**SITE ACREAGE:**

APROX: 35 ACRES

**BUILDING SQUARE FOOTAGE:**

EXISTING LOWER LEVEL: 13,882 SF  
 EXISTING UPPER LEVEL: 30,832 SF  
 PROPOSED UPPER LEVEL: 4,770 SF

**WORSHIP SEATING:**

MAIN FLOOR: 655

**SITE PARKING :**

REQUIRED PARKING: 164  
 EXISTING PARKING: 287  
 EXISTING ADA PARKING: 7  
 TOTAL PARKING: 294

**A1 SITE PLAN**  
 1" = 80'-0"



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**ASHBURN BAPTIST CHURCH**  
 MULTIPURPOSE ROOM ADDITION  
 15401 WOLF ROAD, ORLAND PARK, IL 60467

PROJECT NUMBER:  
**18007**

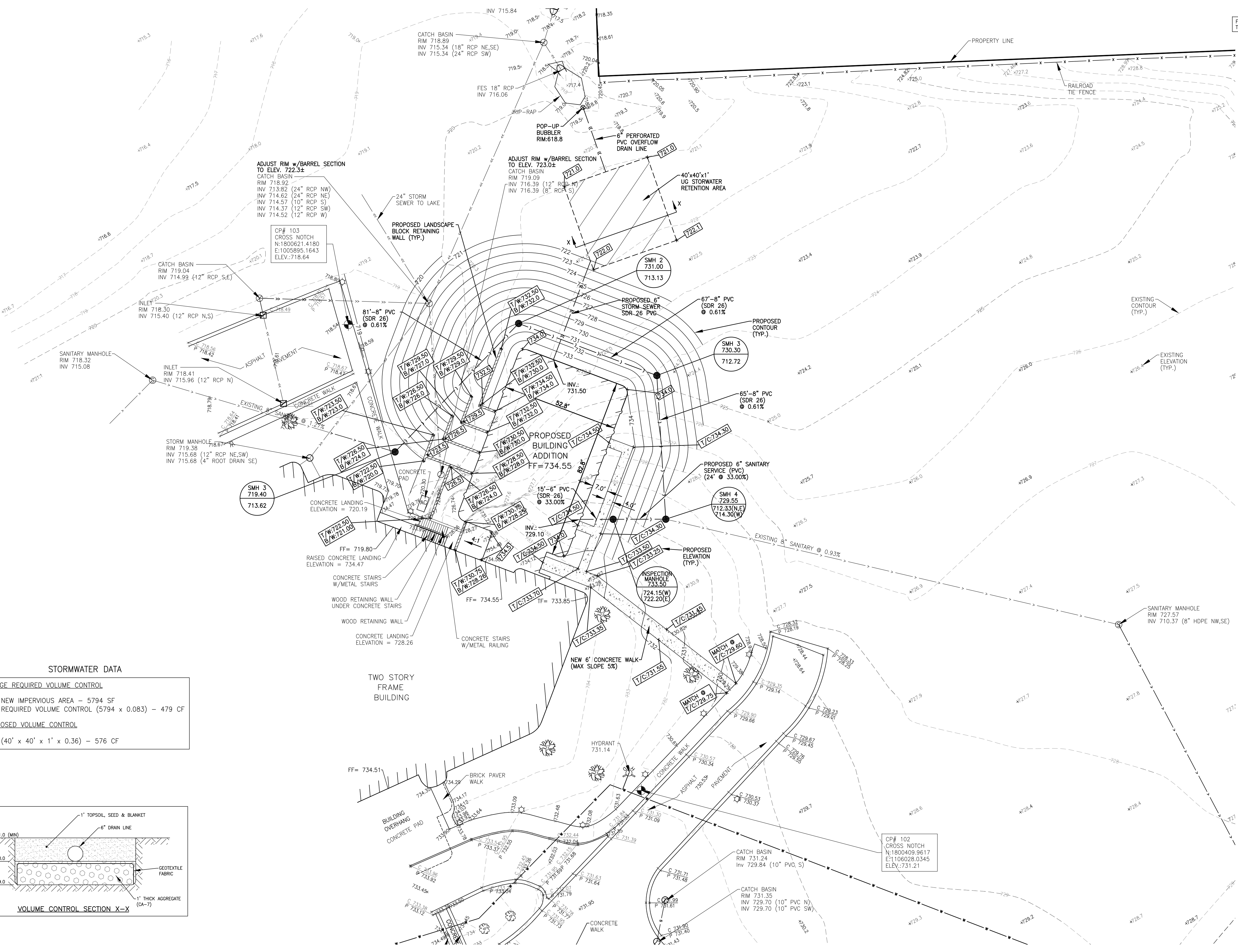
NO.	REVISION REMARKS	DATE

DATE:  
**10.19.2018**

**PRELIMINARY SITE PLAN**

SHEET NUMBER:  
**SD101**

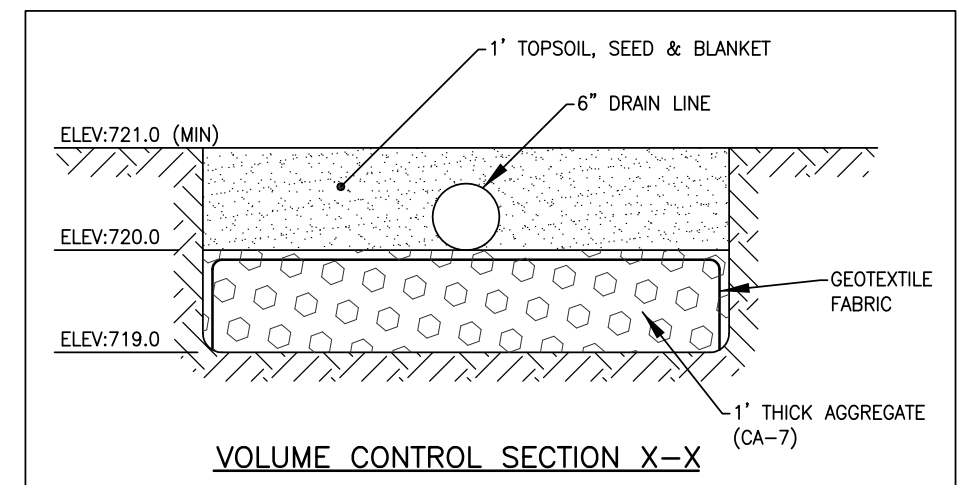




FF - FINISHED FLOOR  
TF - TOP OF FOUNDATION

**STORMWATER DATA**

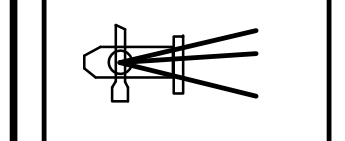
<b>VILLAGE REQUIRED VOLUME CONTROL</b>	
NEW IMPERVIOUS AREA - 5794 SF	REQUIRED VOLUME CONTROL (5794 x 0.083) - 479 CF
<b>PROPOSED VOLUME CONTROL</b>	
(40' x 40' x 1' x 0.36) - 576 CF	



REV. BY	REVISIONS
T.G. <td>ISSUED FOR REVIEW</td>	ISSUED FOR REVIEW
T.G. <td>VILLAGE COMMENTS</td>	VILLAGE COMMENTS

DATE	DATE
10/18/18	1/14/19

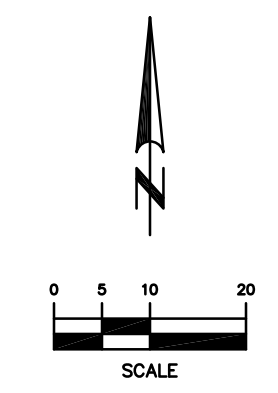
**LANDMARK**  
ENGINEERING LLC  
DESIGN FIRM REGISTRATION NO. 184-005577  
7808 WEST 103RD STREET  
PALOS HILLS, ILLINOIS 60465-1629  
Phone: (708) 599-5737  
Fax: (708) 599-2281



**ASHBURN BAPTIST CHURCH**  
**15401 WOLF ROAD, ORLAND PARK, IL**  
**PRELIMINARY ENGINEERING PLAN**

DRAWN BY: T.G.  
DESIGNED BY: B.H.  
CHECKED BY: M.L.

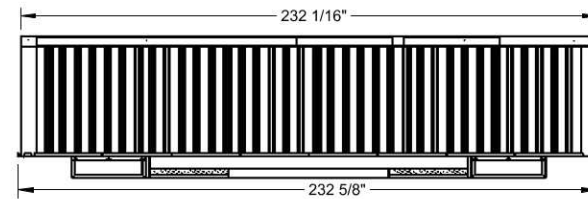
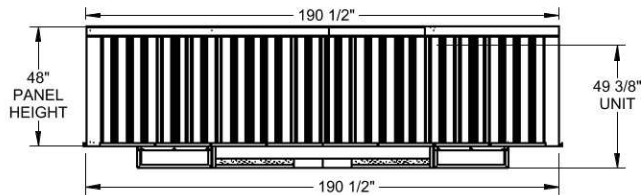
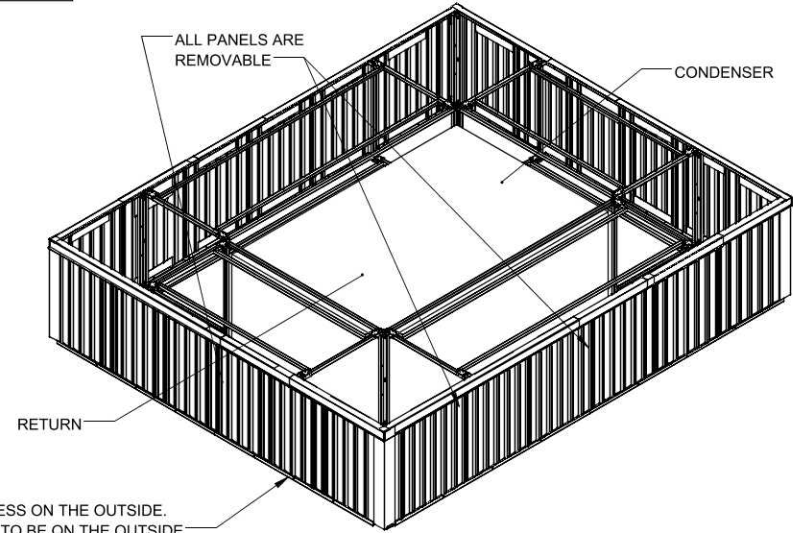
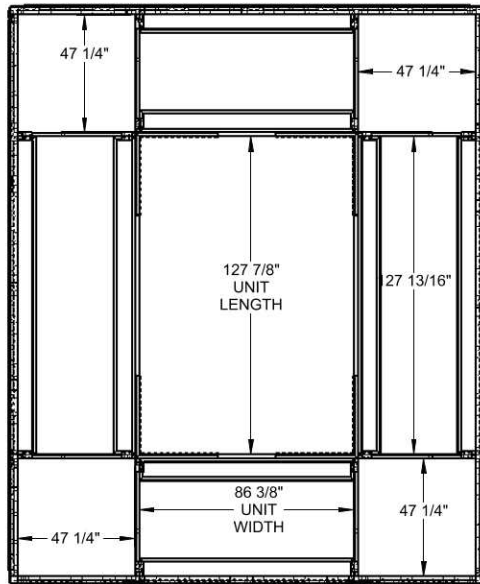
**SHEET**  
**C2.0**  
18-10-031



DIMENSIONED AND TOLERANCED PER ANSI Y14.5M-1982

Attn: \_\_\_\_\_  
 Tag: \_\_\_\_\_  
 Approval: \_\_\_\_\_

REVISIONS				
REV.	ECO#	DESCRIPTION	DATE	APPROVED
1		INITIAL DRAWING	12/27/2016	DES



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	DIMENSIONS ARE AS FOLLOWS: 1.00 in [25.40 mm]		
*VERIFY EXISTING CURB OD *VERIFY SUPPLY AND RETURN OPENINGS *NOTE ANY CHANGES *CALL WITH ANY QUESTIONS *FAX BACK IF DRAWING IS OK AS IS		Contact us @ www.cdicurbs.com or 1-888-234-7001	APPROXIMATE CURB WEIGHT (LBS.) 1238.53
SCALE: 1:50		SHEET: 1 OF 24	ECO #: REV: 1

October 10, 2018

Village of Orland Park  
15401 Wolf Road  
Orland Park, IL 60467

**Re: Special Use Standards response - Ashburn Baptist Church**

To whom it may concern,

The following is a response to the Special Use Standards:

- 1 – Our request for an amendment to our special use is consistent with the purposes, goals and objectives and standards of the comprehensive plan, and adopted overlay plan and these regulations. The proposed addition is to support church functions already taking place on this land for 30 plus years.
- 2 – The proposed addition will be consistent in keeping the character of the existing building and surrounding community.
- 3 – The design of the proposed addition will minimize adverse effects and visual impacts on adjacent properties by matching the style, color and materials of the existing building.
- 4 – The proposed addition will not have an adverse effect on the value of the adjacent properties because the proposed addition is not near to the adjacent property line and does not change the use of the existing building.
- 5 – The public facilities and services, will be capable of serving the proposed addition at an adequate level of service. Improvements are already in place.
- 6 – The proposed improvements provide adequate legal provision that guarantee the provision and development of any open spaces and other improvements associated with the proposed addition.
- 7 – No known archaeological, historical or cultural resources will be affected.
- 8 – The proposed addition will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

Thank you,

TODD D. CARLSON

Todd D. Carlson - President  
Carlson Architecture, Ltd.

October 15, 2018

Village of Orland Park  
15401 Wolf Road  
Orland Park, IL 60467

**Re: Re-Zoning response - Ashburn Baptist Church**

To whom it may concern,

The following is a response to the Rezoning Evaluation Factors:

- 1 - The nearby properties are zoned for R-3 Residential which will not change.
- 2 - The property values of the nearby properties will not diminish because there will be no change to the use of the existing site and the use of the existing building will not change.
- 3 - N/A
- 4 - Rezoning at the request of the Village of Orland Park.
- 5 - Rezoning at the request of the Village of Orland Park.
- 6 - N/A
- 7 - Rezoning at the request of the Village of Orland Park.
- 8 - Use of existing building will not change and the rezoning is being done at the request of the Village of Orland Park.

Thank you,

*Todd D. Carlson*

Todd D. Carlson - President  
Carlson Architecture, Ltd.



# VILLAGE OF ORLAND PARK

14700 Ravinia Avenue  
Orland Park, IL 60462  
www.orlandpark.org

## Department Requested Action

File Number: 2018-0742

Agenda Date:

Version: 0

Status: IN COMMITTEE  
/COMMISSION

In Control: Plan Commission

File Type: MOTION

Agenda Number:

### Title/Name/Summary

Ashburn Baptist - Teen Addition - Development Petition for Rezoning, Site Plan, Elevations, Landscape Plan, Special Use Permit

### History

#### Project

Ashburn Baptist - Teen Addition - 15401 Wolf Road, Orland Park, IL 60467

### Case Number

2018-0742

### Petitioner

Ashburn Baptist Church

Todd E. Carlson, contact  
334 E. Colfax  
Palatine, IL 60067

### Purpose

The Petitioner seeks approval to construct and operate a 4,770 square foot teen center building addition to the existing Ashburn Baptist Church building.

*Requested Actions:* Rezoning, Site Plan, Elevations, Landscape Plan, and Special Use Permit Amendment

### Quick Facts

**Address:** 15401 Wolf Road

**P.I.N.:** 27-17-102-003-0000

**Land Area:** 35 acres

**Comprehensive Plan Planning District:** Centennial Planning District,

**Comprehensive Plan Land Use Designation:** Community/ institutional land use

**Existing Zoning:** RSB Residential and Supporting Business District

**Proposed Zoning:** E-1 Estate Residential Zoning District

**Existing Land Use:** Place of Worship

**Proposed Land Use:** Place of Worship

### **Surrounding Area:**

North: (across 153rd Street) undeveloped but zoned for R-3 single family residential;

plus one Estate Residential single family lot with home

South: R-3 Single family residential (Fawn Creek)

East: R-3 Single family residential (Ashburn Point)

West: (across Wolf Road) undeveloped, zoned for R-3 single family residential (Doctor Marsh)

### **Bulk Requirements**

Lot Size: 35 acres provided/ 1 acre minimum required

Lot Coverage: 15% provided / Maximum 70% limit

Building Setbacks: 125' provided/ 50' minimum front and side required

Building Height: 35' to mean height of roof/ addition does not increase height

### **Preliminary Approvals**

**Engineering:** Preliminary Engineering consent has been given for the project, subject to conditions.

**Landscape:** Preliminary Landscape Plan approval has been given for the project, subject to conditions.

### **Project Description**

The petitioner proposes to construct an approximately 4,770 square foot addition abutting the northeast corner of the existing 45,000 square foot Ashburn Baptist Church building. The one-story building addition will match the existing architectural style, color and materials of the existing church, and will be set back a minimum of 125' from nearby residential parcels. The existing Ashburn Baptist Church Special Use Permit for a Place of Worship (Ordinances 1646 and 760) will be amended to accommodate this change. No Code modifications are proposed for this petition.

According to the petitioner: "The building addition will be used by teens on Sunday and Wednesday, as well as other activities, and the purpose is religious instruction and training and related activities. Since it is youth who are using the building who are already coming in cars driven by their parents, no additional parking will be needed." Currently the church complex exceeds Code requirements for parking, even with the new addition.

### **History & Context**

Ashburn Baptist Church is an approximately 655 seat place of worship located on 35 acres at 153rd Street and Wolf Road, and was built over 30 years ago. In 1977 a special use permit for a planned development was approved for Ashburn Baptist Church that included age restricted senior housing, a place of worship, a school, a recreation building, a parking lot, and recreational facilities. It was rezoned to the R-6 Zoning District, presumably to accommodate the originally proposed multi-family housing. However the special use permit was amended in 1987 to include only a church, school, and recreation facilities and a parking lot, and the property remained in the R-6 Residential Zoning District, a zoning district that no longer exists in the current Land Development Code. The RSB Zoning District was created in the late 1980's, but is currently applicable to a very limited number of parcels.

## **Project Analysis**

### **Comprehensive Plan**

The Village's Comprehensive Plan identifies the subject site as within the Centennial Planning District, with a designation for community/institutional uses, which include places of worship. The proposed teen center will be an addition to the existing church building, and the teen center will serve as a church-related facility that caters to a specific congregant age group and therefore conforms to the Village's Comprehensive Plan and Land Development Code.

### **Rezoning (Map Amendment)**

The subject site is currently zoned RSB Residential and Supporting Business District. This district was created in the late 1980's as a zoning district that accommodates "Residential and non-residential uses meeting the day to day convenience shopping and service needs of persons residing in the district and adjacent residential district areas. The district is intended to provide uses that are on a more intimate, pedestrian-oriented scale than those uses located in the BIZ Business District." The proposed Ashburn Baptist Church does not provide convenience shopping for the surrounding area. Most places of worship are located in the E-1 Estate Residential Zoning Districts, which allow primarily large lot residential uses, but also allow places of worship through a special use permit. Per staff request, Ashburn Baptist Church has agreed to rezone their property to the E-1 Estate Residential Zoning District. The petitioner has supplied Rezoning Standard responses.

### **LaSalle Factors**

Per Section 5-108 E.3a of the Land Development Code, the Plan Commission shall consider the following factors when reviewing an application for rezoning. The petitioner has provided responses to standards as an attachment. Additionally, each factor below is followed by staff observations.

1. The existing uses and zoning of nearby property: *Nearby properties are single family uses, the proposed low density Estate Residential zoning with a place of worship use is compatible with those uses.*
2. The extent to which property values are diminished by a particular zoning classification or restriction: *Staff does not have an expert opinion on this standard.*
3. The extent to which the destruction of the property value of a petitioning property owner promotes the health, safety, morals, or general welfare of the public: *Staff does not have an expert opinion on this standard.*
4. The relative gain to the public as opposed to the hardship imposed on a petitioning property owner: *The Village has requested that the church rezone to the E-1 Zoning District to align with current zoning practices. The E-1 Zoning District typically includes lower impact uses than potential development in the RSB Mixed Use Zoning District. The proposed rezoning will have no impact on the current and proposed church operations.*

5. The suitability of the subject property for its zoned purposes. *The property has an abundance of acreage and can easily accommodate the teen addition within Code limits, and also provides at least 125' of setback from neighboring homes.*
6. The length of time the property has been vacant as zoned, considered in the context of land development in the area. *The property has operated as a place of worship in the RSB Zoning District for almost 30 years.*
7. The Comprehensive Plan designation and the current applicability of that designation. *The Village's Comprehensive Plan supports civic and institutional uses in this location. Places of worship are considered a type of civic and institutional use.*
8. The evidence or lack of evidence, of community need for the use proposed. *The proposed teen center is intended to meet the needs of an age group within the church's congregation, and to attract other teens to the church, who are often community members.*

#### **Site Plan and Elevations**

The proposed teen center addition will be attached to the existing church near the northeast corner of the church building. The addition has very low visibility from the public streets and will be set back a minimum of 125' from neighboring residential properties. The site topography is rolling, and the existing church building is set into the hillside, with a lower main entry door, and an upper level where the teen addition will be constructed. The teen addition is 16' in height, the existing church sanctuary portions of the upper level soar well above the proposed teen center height. The grade around the building addition will be sloped down to meet the lower grade. The east elevation of the addition will meet the existing grade and will include access doors and a sidewalk. The one-story building addition will match the existing architectural style, color and materials of the existing place of worship, including the curved corners of the existing building.

#### **Mechanicals**

Rooftop mechanicals will be added to the teen addition. The petitioner proposes a 48" tall metal panel box that matches the building color, to screen the equipment. The proposed 'roof top curb adapter' is specifically designed for the mounting and screening of HVAC rooftop equipment.

#### **Lighting**

Soffit lighting will be added at the southeast entrance to the building addition, and emergency lighting will be added at the two other doors. No other new lighting is proposed.

#### **Signage**

No new signs are proposed under this petition, and according to the petitioner, none are anticipated. New signage requires a separate permit.



### **Mobility and Parking**

Vehicular circulation patterns to the church have been established for many years. The two church parking lots are accessed from a curb cut on Wolf Road. No significant change in the traffic patterns are anticipated since most teenagers will arrive with parents who are attending other services. There are 294 parking spaces in the existing parking lot; the Code only requires 164 parking spaces for a church of this size. There is no specific Code requirement for teen center parking, however if the teen center parking was calculated as if it were an independent community center, the teen addition would only require an additional 16 spaces, which could be easily accommodated on the existing lots.

### **Engineering**

The petition has preliminary engineering consent to move forward to Plan Commission. Site disturbance from the new construction is limited; however a small underground storm water detention area will be constructed north of the addition to accommodate volume control for the proposed site disturbance, per MWRD requirements. According to the petitioner, no proposed retaining wall will exceed 3' in height per Code. Any retaining wall that exceeds 3' requires a Code modification and review by Village Engineers.

### **Landscape Plan**

A preliminary landscape plan has been submitted, showing proposed shrubs and perennials along the southeastern elevation. However, in this situation, the Code requires a 7' wide foundation planting along 50% of the building. The perimeter of the building is 219 linear feet, therefore **110 linear feet** of foundation plantings is required, while only **60 feet** of foundation plantings have been provided. The **additional 50 linear feet** must include a combination of trees, shrubs, and perennial ground covers, including at least 11 shrubs. It is recommended these shrubs be placed on the northwest side of the addition in the tiered beds.

### **Exaction Fees**

Any required exaction fees will be established at the time of Building Permits.

### **Special Use Permit**

The proposed land use is classified as a Place of Worship which is defined in Section 2-102 of the Land Development Code as a place of worship, synagogue, temple, mosque or other place of religious worship, including any accessory use or structure, such as a school, day care center, or dwelling that is located on the same lot. A Special Use Permit is required for a Place of Worship in the proposed E-1 Estate Residential Zoning District according to Section 6-201 of the Land Development Code. Per Section 5-105.E. of the Land Development Code, the Plan Commission shall consider the extent to which the proposed project will meet the following standards. Staff has provided observations below each standard based on research and the information provided by the Petitioner as of October 10, 2018. The Petitioner's responses to the Standards for a Special Use are attached.

1. The Special Use will be consistent with the purposes, goals, objectives, and standards

of the Comprehensive Plan, any adopted overlay plan, and these regulations. *A Place of Worship with the teen center accessory use is supported by the existing and proposed zoning districts and the Village's Comprehensive Plan.*

2. The Special Use will be consistent with the community character of the immediate vicinity of the parcel proposed for development. *A Place of Worship is an established land use on this 35 acre parcel which easily supports this expansion.*

3. The design of the proposed use will minimize adverse effects, including visual impacts on adjacent properties. *The proposed elevations match the existing building's architectural character, materials, and colors. Additionally, foundation landscaping will be provided.*

4. The proposed use will not have an adverse effect on the value of the adjacent property. *Staff does not have an expert opinion on this standard.*

5. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service. *All of the above services are already available to the church facility where applicable.*

6. The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development. *Places of Worship do not require park land dedication. The proposed 85% pervious cover on the site more than supplies the required amount of open space.*

7. The development will not adversely affect a known archaeological, historical, or cultural resource. *There is no known adverse effect on an archaeological, historical, or cultural resource.*

8. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village. *The petitioner must meet all Village required conditions.*

#### **Land Development Code Modifications**

No Land Development Code modifications are required for this petition.

#### **Recommended Action/Motion**

"Regarding Case Number 2018-0742 also known as Ashburn Baptist Teen Addition, I move to accept and make Findings of Fact for a Rezoning and Special Use as discussed at this Plan Commission meeting and within this Staff Report dated March 5, 2019."

And

"I move to recommend to the Village Board of Trustees approval of a **Rezoning** (Map Amendment) for Ashburn Baptist - Teen Addition for 15401 Wolf Road to be rezoned from the existing RSB Residential Supporting Business District to the E-1 Estate Residential Zoning District.

And

"I move to recommend to the Village Board of Trustees approval to **Amend a Special Use Permit** for a place of worship to allow construction and operation of a 4,770 square foot teen recreation building addition.

And

"I move to recommend to the Village Board of Trustees approval of the overall **Site Plan** titled "Preliminary Site Plan", by Carlson Architecture, project 18007, sheet number SD101, dated 10.19.2018; and on the site plan titled 'Preliminary Engineering Plan" by Carlson Architecture, project 18007, sheet number SD101, revised 1.14.19; and 'Landscape Plan' by Clarence Davis and Company, project # 19.1296.FV-sb, revised 1.23.19; and as shown on rooftop screening isometric titled "12-0049-4159" by CDI Crystal Distribution, page 1, dated 06.05.2018; and titled "**Elevations**", by Carlson Architecture, project 18007, sheet number A201, dated 10.19.2018, updated 01.14.19; and as shown on colored Elevations titled "Ashburn Baptist Church" by Carlson Architecture, dated Oct 19, 2018 with the following conditions:

1. Rooftop screening must match the proposed brick and trim color as closely as possible.
2. A Final Landscape Plan must be submitted for review and approval subject to the following condition:
  - a. Add at least 11 additional shrubs plus perennials along the northwest addition façade in the tiered foundation beds to meet Code.
3. Any new Signage will require separate Sign Permit approvals.
4. No new retaining wall shall exceed 3' in height.
5. Screen all new rooftop mechanicals from view.
6. Meet all final engineering and Building Division requirements.

## **REQUEST FOR ACTION REPORT**

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File Number: **2018-0644**  
Orig. Department: **Development Services Department**  
File Name: **Voda Car Wash - Development Petition for Site Plan, Elevations, Landscape Plan, Special Use Permit with Modifications**

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### **BACKGROUND:**

#### **QUICKFACTS**

##### **Project**

Voda Car Wash - 7648 W. 159<sup>th</sup> Street  
2018-0644

##### **Petitioner**

Drago Glavac

##### **Purpose**

The petitioner seeks approval to construct a 4,983 square foot car wash building on a 1.36 acre parcel located at 7648 W. 159<sup>th</sup> Street.

**Requested Actions:** Site Plan, Elevations, Landscape Plan, and Special Use Permit with Modifications

**Address:** 7646-7648 W. 159<sup>th</sup> Street

**P.I.N.:** 27-13-308-062-0000

**Parcel Size:** 1.36 acres

**Comprehensive Plan Planning District & Designation:** 159<sup>th</sup> and Harlem Planning District with Community Commercial Designation

**Existing Zoning:** BIZ General Business District

**Existing Land Use:** Vacant (Former garden center /greenhouse)

**Proposed Land Use:** Car wash

##### **Surrounding Land Uses & Zoning:**

North: R-4 Residential District - Townhomes in the Veritas East subdivision

South: Tinley Park - Commercial Retail, Offices (across 159<sup>th</sup> Street)

East: BIZ General Business District - Offices, Gas Station

West: Unincorporated Cook County - Vacant Land (across 77<sup>th</sup> Avenue)

**Preliminary Approvals:** Preliminary engineering and landscape plan approvals have been granted for this project to move forward to the Plan Commission.

#### **BACKGROUND**

The site was formerly used as a garden center and plant nursery. On March 24, 2003, the Village

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Board approved a Special Use Permit for the Planned Development for Every Bloomin' Thing by Ordinance No. 3739 (Legistar File ID # 2002-0648) to allow for the consolidation of two lots into one lot, multiple buildings located on the proposed combined lot, and a modification to permit additional parking spaces above Land Development Code requirements. An Amendment to the Special Use Permit was approved on April 20, 2009 by Ordinance No. 4478 (Legistar File ID# 2008-0094) to allow for an amended site plan and modification to reduce the front and side setback requirements from 15 feet to 8 feet along 77<sup>th</sup> Avenue and from 25 feet to 5 feet along 159<sup>th</sup> Street to accommodate an agricultural canopy for the display of landscaping plant materials.

The site has not been used as a garden center for several years and is vacant. There are three (3) existing buildings currently located on the property.

### **PROJECT DESCRIPTION**

The petitioner is proposing to construct a 4,983 square foot car wash building on a 1.36 acre parcel located at 7648 W. 159<sup>th</sup> Street, at the northeast corner of 159<sup>th</sup> Street and 77<sup>th</sup> Avenue. The proposed site plan consists of thirty-two (32) parking spaces, drive-through lanes, a pay station canopy, vacuum station canopies, and landscape enhancements. The project will also include a new consolidated access drive from 159<sup>th</sup> Street and improvements to 77<sup>th</sup> Avenue.

Car washes, both with automatic and self-service operations, are classified as motor vehicle services, which require approval of a Special Use Permit in the BIZ General Business District. The petitioner requests approval of a Special Use Permit to allow for motor vehicles services in the BIZ General Business District with the following modifications listed below:

1. Locate a drive-through lane, a parking lot, vacuum station canopies, and a vacuum equipment enclosure in the setback area between the building façade and the street (Section 6-207.F.4; Section 6-306.E)
2. Increase the number of parking spaces from three (3) to thirty-two (32) spaces (Section 6-306.B)
3. Allow for the lot to have driveway access to 159<sup>th</sup> Street, an arterial street, and no driveway access at this time to 77<sup>th</sup> Avenue, a local street (Section 6-406.B.10)
4. Remove the requirement for a sidewalk along 77<sup>th</sup> Avenue (Section 6-406.A.2)

With the exception of the requested modifications, the project conforms to the Village's Comprehensive Plan, Land Development Codes and policies for this area.

### **SITE PLAN**

The site plan consists of a 4,983 square foot car wash building, a parking lot with two (2) vacuum station canopies and employee parking, a cross access drive connecting to the adjacent property to the east, and new landscaped areas. The proposed drive-through lanes will extend around the north, east, and west sides of the building. The site will be accessible from a new consolidated curb cut off of 159<sup>th</sup> Street. No access is proposed to 77<sup>th</sup> Avenue at this time. Stormwater detention for the new development will be accommodated underground.

### **MOBILITY**

#### **Vehicular/Traffic**

The site is currently accessed from two curb cuts along 159<sup>th</sup> Street, a major arterial street under IDOT jurisdiction, and from 77<sup>th</sup> Avenue, a Village local street. The two existing driveways along 159<sup>th</sup> Street will be removed and replaced with a full access curb cut on the east portion of the site. The proposed changes impacting access along 159<sup>th</sup> Street are subject to IDOT approval. Improvements to 77<sup>th</sup> Avenue will entail the construction of a new curb and gutter on the east side of the street, curb apron at the 159<sup>th</sup> Street intersection, and pavement in the right-of-way up to the west property line. These improvements are intended to provide a clear boundary along the property line and improve drainage flow to the existing system.

No access will be provided from 77<sup>th</sup> Avenue, which ties into 159<sup>th</sup> Street. A modification is required

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to allow for access only from 159<sup>th</sup> Street. Per Section 6-406.B.10, for lots fronting both a local street and an arterial street, no driveways shall be installed along the property line of the lot which fronts the arterial street. Staff supports this modification as the subject property currently has access via 159<sup>th</sup> Street. The majority of adjacent properties also have access to 159<sup>th</sup> Street.

Additionally, 77<sup>th</sup> Avenue does not currently meet the Village standard width and roadway requirements. 77<sup>th</sup> Avenue is currently a 33 foot wide dedicated Village right-of-way with pavement ranging from about 16 feet to 22 feet wide. Per the code, local streets are required to have a minimum right-of-way width of 60 feet and a paved width of 24 feet to 30 feet. At this time, 77<sup>th</sup> Avenue will not be able to handle traffic entering the car wash site and could create a potentially unsafe access point to the site. The unincorporated vacant lot to the west currently limits the ability to widen or improve the roadway at this time. However, access to 77<sup>th</sup> Avenue may be granted in the future upon improvement to 77<sup>th</sup> Avenue. Limiting vehicle access from 77<sup>th</sup> Avenue will also reduce any traffic or impacts to the residential property to the northwest.

### **Cross-Access**

An existing cross access drive connecting the site to the property to the east will be removed and a new drive will be installed further to the south. A new easement extending from the east property line through the parking lot up to the west property line to 77<sup>th</sup> Avenue and to the south property line up to 159<sup>th</sup> Street will be established. The petitioner will be required to submit a plat during final engineering vacating the former easement and establishing a new access easement.

### **Drive-through Lanes**

Two (2) drive-through entrance lanes, a car wash exit lane, and a vehicle loading area are proposed on the east side of the building. The vehicle loading area proposed to the east of the two-lane entrance drive-through will allow for a maximum of two (2) vehicles to load prior to entering the car wash drive-through lanes. Three (3) drive-through lanes and a car wash payment canopy are proposed to the north of the building. A single drive-through lane with an emergency exit lane is proposed to the west of the building.

Per Section 6-207.F.4, drive-through facilities are not allowed within the setback area between the building facade and the street unless approved via a modification to a Special Use Permit. In order to qualify for a Special Use Modification, the drive through facility must meet all of the conditions stated in Section 6-207.F.4.

A modification is requested to allow for the single drive-through lane and emergency exit lane between the building and 77<sup>th</sup> Avenue. As proposed, the drive-through lane meets the conditions of Section 6-207.F.4 in terms of the design, maximum width and minimum turning radius, 10 foot setback from all property lines, use of decorative pavement or pervious pavers, and screening and landscaping requirements. The one-lane drive through between the building and 77<sup>th</sup> Avenue will be constructed of heated concrete stamped with decorative brick to match the brick color on the building. The emergency exit lane will be constructed of Unilock Eco-Optiloc pervious pavers, as shown on the specification sheet submitted by the petitioner.

### **Parking**

Required: Three (3) spaces, including one (1) accessible space

Provided: Thirty-two (32) spaces, including two (2) accessible spaces

Per Section 6-306.B, car washes are required to provide three (3) stacking spaces per drive-through lane plus one (1) parking space per employee. In this case, three (3) parking spaces are required for the three (3) proposed employees and a total of nine (9) stacking spaces are required for the three (3) drive-through lanes. As shown on the submitted site plan, a total of thirty-two (32) parking spaces are proposed, which includes four (4) standard parking spaces, twenty-six (26) standard spaces served by vacuum stations, and two (2) accessible spaces that are also served by vacuums. In total,

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twenty-eight (28) of the parking spaces will be served by vacuums.

Any request exceeding a twenty percent (20%) increase in the total number of parking spaces permitted on the lot must be approved through a variance / modification to the Special Use Permit. The petitioner has requested a modification to Section 6-306.B. to allow for additional parking spaces associated with the vacuum stations.

The petitioner has also requested a modification to Section 6-207.F.4 to locate a parking lot, as well as the vacuum station canopies and equipment, between the building and the street. The parking lot, which contains the vehicle vacuum canopies and equipment, has been intentionally located away from the adjacent residential properties to the north.

Three (3) bicycle parking spaces are proposed adjacent to the sidewalk at the southeast corner of the building, which meets code requirements per Section 6-306.H.

### **Pedestrian Access**

To accommodate the proposed changes to vehicle access, the petitioner will complete improvements and repairs to the existing public sidewalk along 159<sup>th</sup> Street. Along 159<sup>th</sup> Street, an existing sidewalk section will be removed to accommodate the new access drive and new sidewalk sections, ramps, and a crosswalk will be installed. Within the interior of the site, a new five (5) foot wide sidewalk will be constructed extending from 159<sup>th</sup> Street to the building entrances. Decorative stamped concrete with a brick pattern is proposed where the sidewalk cuts through the parking lot to create a defined pedestrian route.

Per Section 6-406.A.2, sidewalks are required on both sides of all roadways in the Village. A minimum five (5) foot wide sidewalk shall delineate the parkway right-of-way, with an eight (8) foot planting strip between the sidewalk and the roadway's back of curb. The landscape parkway width may be reduced if it meets the code requirements provided in Section 6-305.D.2.

A modification is requested to remove the sidewalk requirement along 77<sup>th</sup> Avenue. Staff supports this modification given that 77<sup>th</sup> Avenue does not currently meet the Village standard width and roadway requirements, the unincorporated vacant lot to the west limits the ability to widen or improve the roadway at this time, and the existing properties to the north and right-of-way boundaries prohibit a future sidewalk extension to the north. The proposed landscape plan meets the parkway landscape zone and drive-through screening requirements. As noted above, the petitioner is also proposing incremental improvements to 77<sup>th</sup> Avenue.

### **BUILDING ELEVATIONS**

The proposed one-story building will be constructed of brown brick, limestone veneer, and an EIFS cornice. The east and west ends of the building will each be accentuated by an accent tower that features a limestone veneer base with large arched windows and matching arched garage doors, topped with a white stucco accent area with four (4) windows on each elevation and a black gabled metal roof. The proposed building height to the top of the parapet wall is 19 feet 6 inches. The overall height to the top of the peak of the tower roof is 33 feet 11 inches.

The central portion of the building has a flat roof and a four (4) foot tall parapet wall, which shall fully screen any proposed mechanical equipment to meet code requirements listed in Section 3-608.J of the Land Development Code. The central portion of the building is composed of brick with limestone accent columns between the windows and a limestone wainscot. The proposed building materials and color scheme are included on the elevations and renderings submitted by the petitioner.

The interior of the car wash building will include a wash tunnel, an office, vending machines and bathrooms for customers, and equipment and mechanical rooms.

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Additional information on the proposed elevations of the proposed payment canopy, vacuum station canopies, vacuum equipment enclosure, and garbage enclosure are included in the Accessory Structure section below.

### **LANDSCAPE PLAN**

The preliminary landscape plan has been approved by the Village's landscape consultant, Hey & Associates. The petitioner must submit a final landscape for separate review in conjunction with final engineering. All conditions included in the most recent comment letter must be addressed during final landscape plan review. It is imperative that the landscape design professional and project engineer coordinate their work to provide grading required for landscape compliance.

The landscaping requirements for Landscape Parkways, Landscape Corridors, Landscape Bufferyards, and Foundation and Interior Landscape, and Parking Lot Area Landscape have been met and will be confirmed during final landscape plan review. Stormwater Management Area Landscape and Signage Landscape requirements must be revised to meet the requirements of Section 6-305.D. A revised tree survey and a tree mitigation plan meeting the requirements of Section 6-305.F must be submitted with the final landscape plan.

The petitioner is proposing landscaping above code requirements as an incremental improvement to offset the proposed modifications and to provide a buffer between the existing single-family attached residential lots to the north. Within the north bufferyard, additional landscaping is proposed that substantially exceeds the Type 3 Landscape Bufferyard code requirements per Section 6-305.D.4. A twenty-seven (27) foot wide landscape bufferyard is proposed exceeding the ten (10) foot wide code requirement. Additional evergreen and ornamental trees beyond code requirements will be planted and an existing six (6) foot tall wood privacy fence along the north property line will help provide a visual and noise buffer between the residential properties to the north. The landscape area will also include a mix of shade trees, shrubs, perennials, grasses, and a small bioswale planted with native plantings. A monitoring and management (M&M) plan will be required for the bioswale at the time of final review.

Additionally, the petitioner is proposing additional landscaping along 159<sup>th</sup> Street to offset the requested modification to Section 6-207.F.4 to allow for a parking lot, drive-through lane, vacuum station canopies, and a vacuum equipment enclosure between the building and the street. The landscaping is intended to screen these elements from view and offset visual impacts from the street. In order to qualify for a Special Use modification to located the drive-through lane between the building and 77<sup>th</sup> Avenue, the drive through facility must meet all of the conditions stated in Section 6-207.F.4. One of these conditions is to screen drive-through with a combination of masonry walls and/or decorative landscaping in order to provide a solid buffer at a minimum height of 36 inches. In this case, the petitioner has provided landscape screening between the proposed drive-through lane and 77<sup>th</sup> Avenue to meet the code requirements. Additional landscaping above code requirements is also proposed along 159<sup>th</sup> Street to screen the parking lot, vacuum station canopy, and vacuum equipment enclosure.

### **DETAILED PLANNING DISCUSSION**

#### **Preliminary Engineering**

Preliminary engineering approval has been granted for this project by the Village's engineering consultant, Christopher B. Burke Engineering Ltd. (CBBEL). Final engineering submittal must address all previous review letter comments as well as any future engineering comments.

Detention/Retention - All required detention is proposed underground in a vault system. A bioswale is proposed in the rear landscape buffer to pre-treat runoff prior to entering the storm sewer system.

Traffic Study - The petitioner has submitted a traffic study for this project, which is required for all proposed developments with drive-through facilities under Section 6-405. According to the traffic

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study, the proposed access drive will be adequate in accommodating the traffic projected to be generated by the car wash, the site layout will provide adequate stacking, and the adjacent intersections will continue operating at acceptable levels of service under future conditions. The proposed changes to the site and the traffic study must be submitted to and approved by IDOT.

Lighting - A photometric plan will be reviewed during final engineering and shall meet the requirements of Section 6-315. In this case, Lighting Class 2 would be required for the project. Where non-residential is proposed adjacent to residential, 0 foot candles are allowed at the property line and a maximum light level of 15 foot candles is allowed within the interior of the site.

### **Comprehensive Plan**

According to the Village's Comprehensive Plan, the subject property is located in the 159<sup>th</sup> and Harlem Planning District and is designated as Community Commercial, which serves "the nearby community and passing motorists with area-wide services in a primarily single use or horizontal mixed-use environment." This designation includes a wide variety of uses, such as automobile dealerships, retail centers, restaurants, offices, and other services. The proposed car wash is an appropriate land use within this designation.

### **Land Use/Compatibility**

The proposed car wash is compatible with the BIZ General Business District, the surrounding existing uses along 159<sup>th</sup> Street, and the Comprehensive Plan designation for this area. The surrounding area is comprised of a mix of established commercial uses along 159<sup>th</sup> Street, which includes offices, retail, restaurants, and motor vehicle services, such as a gas stations, car repair shops, and car dealerships. Townhomes in the Veritas East subdivision are located directly to the north of the site. The property to the west of the site across 77<sup>th</sup> Avenue is currently vacant and located in unincorporated Cook County. Two single-family homes to the north of the vacant lot on the west side of 77<sup>th</sup> Avenue are also unincorporated. The commercial uses to the south of 159<sup>th</sup> Street are located in Tinley Park.

### **Special Use Permit**

#### Previous Approvals

Two special use permits were previously approved for the site. On March 24, 2003, the Village Board approved a Special Use Permit for the Planned Development for Every Bloomin' Thing by Ordinance No. 3739 to allow for the consolidation of the two existing lots into one lot, to allow for multiple buildings on the proposed combined lot, and to allow for a modification to permit additional parking spaces above Land Development Code requirements. An Amendment to the Special Use Permit was approved on April 20, 2009 by Ordinance No. 4478 for an amended site plan and modification to the front and side setback requirements. The modification allowed for side and front setback reductions to be reduced from 15 feet to 8 feet along 77<sup>th</sup> Avenue and from 25 feet to 5 feet along 159<sup>th</sup> Street to accommodate an agricultural canopy for display of landscaping plant materials.

With the proposed changes to the site design and land use, staff recommends that the previous ordinances are repealed and replaced with a new Special Use Permit.

#### Proposed Special Use Permit

Car washes, both with automatic and self-service operations, are classified as motor vehicle services, which require approval of a Special Use Permit in the BIZ General Business District per Section 6-207.C.12 of the Land Development Code. Per Section 5-105.E. of the Land Development Code, the Plan Commission shall consider the extent to which the proposed project will meet the eight Special Use Standards listed in the Code. The petitioner has provided responses to the Special Use Standards, which are attached for review.

### **Modifications**

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As part of the Special Use Permit, the petitioner is requesting four (4) modifications to the Land Development Code, which are discussed in the responses to the Special Use Standards submitted by the petitioner. The requested modifications are listed below:

1) Locate a drive-through lane, a parking lot, vacuum station canopies, and a vacuum equipment enclosure in the setback area between the building façade and the street (Section 6-207.F.4; Section 6-306.E)

The petitioner has requested that the parking lot, vacuum station canopies, and vacuum equipment enclosure be located between the building and 159<sup>th</sup> Street to offset potential noise and impacts to the adjacent residential properties to the north of the site. Additional plant material is proposed in the landscape area to the south along 159<sup>th</sup> street to offset the impact of the proposed modification and visual impacts from the street.

A single drive-through lane is proposed between the building and 77<sup>th</sup> Avenue to accommodate site circulation and allow for vehicles to enter the car wash building. The project is required to meet all of the conditions listed in Section 6-207.F.4 in order to qualify for a modification to allow for a drive-through lane between the building and the street. As proposed, all of the drive-through standards and conditions are met.

2) Increase the number of parking spaces from three (3) to thirty-two (32) spaces (Section 6-306.B)

The Land Development Code requires one (1) parking space per employee for car wash uses. For this project, three (3) parking spaces are required to serve the three (3) employees. A total of thirty-two (32) parking spaces are proposed, which includes four (4) standard parking spaces, twenty (26) standard spaces served by vacuums, and two (2) accessible spaces served by vacuums. Any request exceeding a twenty percent (20%) increase in the total number of parking spaces permitted on the lot must be approved through a modification to the Special Use Permit. The request for additional parking will accommodate the vacuum canopies and equipment, which are an integral to the operations of car wash facilities, but are not adequately addressed by the Land Development Code.

3) Allow for the lot to have driveway access to 159<sup>th</sup> Street, an arterial street, and no driveway access at this time to 77<sup>th</sup> Avenue, a local street (Section 6-406.B.10)

Per Section 6-406.B.10, for lots fronting both a local street and an arterial street, no driveways shall be installed along the property line of the lot which fronts the arterial street.

As proposed, the two existing driveways off of 159<sup>th</sup> Street will be consolidated into a single access point, with no access provided from 77<sup>th</sup> Avenue. A modification is required to allow for access only from 159<sup>th</sup> Street. The modification will allow for the site to continue having access via 159<sup>th</sup> Street. Because 77<sup>th</sup> Avenue does not meet the Village standard width and roadway requirements, the street may not be able to handle traffic entering the car wash site. The unincorporated vacant lot to the west currently limits the ability to widen or improve the roadway at this time. However, access to 77<sup>th</sup> Avenue may be granted in the future upon the improvement of 77<sup>th</sup> Avenue. As part of the project, the petitioner is proposing improvements to the curb, pavement, and storm water drainage along 77<sup>th</sup> Avenue.

4) Remove the requirement for a sidewalk along 77<sup>th</sup> Avenue (Section 6-406.A.2)

Per Section 6-406.A.2, sidewalks are required on both sides of all roadways in the Village. A minimum five (5) foot wide sidewalk shall delineate the parkway right-of-way, with an eight (8) foot planting strip between the sidewalk and the roadway's back of curb. The landscape parkway width may be reduced if it meets the code requirements provided in Section 6-305.D.2. A modification is requested to remove the sidewalk requirement along 77<sup>th</sup> Avenue. A sidewalk extension to the north is restricted because 77<sup>th</sup> Avenue does not currently meet the Village standard width and roadway requirements, the unincorporated vacant lot to the west limits the ability to widen or improve the roadway at this time, and the existing properties to the north and right-of-way boundaries do not provide an adequate connection. The proposed landscape plan meets the parkway landscape zone

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and drive-through screening requirements. As noted above, the petitioner is also proposing incremental improvements to 77<sup>th</sup> Avenue.

### **Incremental Improvements**

Incremental improvements that exceed Code requirements are proposed to help offset the impacts of the requested modifications. Incremental improvements include:

1. Enhanced landscaping in the north bufferyard to provide an additional buffer between the residential uses to the north
2. Enhanced landscaping and screening of the parking lot, vacuum station canopies, and vacuum equipment along 159<sup>th</sup> Street
3. Enhanced architectural design of the vacuum station canopies visible from 159<sup>th</sup> Street
4. Improvements to 77<sup>th</sup> Avenue

### **Noise Control Requirements**

The proposed car wash, including all vacuum equipment, must abide by all Noise Control Regulations set forth in the Title 6, Chapter 4 of the Village Code.

### **Signage**

A monument sign is proposed at the southwest corner of the site. The conceptual appearance of the monument sign and wall signs are indicated on the submitted building elevations and renderings. Signage is not included as part of this petition. All signs are subject to a separate sign permit review by the Development Services Department and must comply with Section 6-307 of the Land Development Code.

### **Accessory Structures**

Garbage Enclosure - A garbage enclosure is proposed near the customer preparation loading area on the east side of the. As shown on the proposed elevations, Sheet A-3.2, the garbage enclosure will measure 9 feet 8 inches by 5 feet 8 inches, with an overall height of 6 feet 9 inches. It will be constructed of brick walls with a limestone base and brown louvered gates to match the materials and colors used on the building. As proposed, the garbage enclosure meets the requirements of the Land Development Code.

Payment Canopy, Vacuum Canopies, and Vacuum Equipment - A payment canopy is proposed over the three (3) drive-through lanes to the north of the building. Two vacuum station canopies will be located in the parking lot to the south of the building. The payment canopy and the vacuum station canopies feature a similar design in order to create a unified appearance throughout the site. The aluminum columns and curved standing seam metal roofs will be dark brown in color. The base of the columns will be wrapped with brick veneer and limestone to match the building materials and colors.

The pay station canopy measures approximately 36 feet long and 15 feet wide, with an overall height of 12 feet 6 inches and a 10 foot vertical clearance for vehicles. As shown on Sheets A-3.1 and A-3.3, the vacuum station canopies will have a height of 11 feet 6 inches, a width of 7 feet 10 inches wide, and a 9 foot 6 inch vertical clearance for vehicles. The south vacuum canopy will extend over a small enclosure, shown on Sheet A-3.3, which will house the vacuum equipment and tank. The proposed vacuum enclosure measures 5 feet ½ inches by 12 feet 2 ½ inches, with an overall height of 6 feet 9 inches. The vacuum equipment enclosure will be constructed of brick with a stone base to match the building.

### **Mechanicals/Utility Conduits**

All mechanical equipment must be screened, either at grade level with landscaping or hidden behind the roofline. Exterior roof ladders are not permitted and must be located interior to the building. The petitioner has verified that all mechanical equipment will be screened from view. The proposed roof ladder will be accessed from an equipment room inside the building.

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## **Exactions and/or Incentives**

All exaction fees, including but not limited to transportation, parks and schools, are to be paid to the Village per Code requirements.

## **Bulk Requirements**

### Lot Size

Minimum - 10,000 square feet

Proposed - 59,415.84 square feet (1.364 acres)

### Lot Coverage

Maximum - 75%

Proposed - 54.33%

The proposed project will significantly reduce lot coverage. The existing lot coverage is 64.8% and will be reduced to 54.3%.

### Floor Area Ratio (FAR)

Maximum - 1.0

Proposed - 0.08

### Setbacks

Front Setback (159<sup>th</sup> Street - South Yard):

Required - 25 feet

Proposed - 95.17 feet (building); 22 feet (canopy)

Side Setback (77<sup>th</sup> Avenue - West Yard):

Required - 25 feet

Proposed - 56.92 feet

Side Setback (East Interior Yard):

Required - 15 feet

Proposed - 89 feet

Rear Setback (North Yard):

Required - 30 feet

Proposed - 68.62 feet (building); 27 feet (canopy)

A twenty-five (25) foot front setback along 159<sup>th</sup> Street is required in the BIZ District. As proposed, the building meets this requirement and will be setback 95.17 feet from the front property line. The south vacuum station canopy will encroach 3 feet into the 25 foot front setback and the north payment canopy will encroach 3 feet into the 30 foot rear setback. Per Section 6-302 of the Land Development Code (Accessory Structures and Uses), canopies are allowed to project not more than three (3) feet into front (including approved existing front setbacks which are less than the required front setback), side and rear setbacks.

The petitioner has also requested a modification to Section 6-207.F.4 to locate a parking lot, as well as the vacuum station canopies and equipment, between the building and the street. The parking lot, which contains vehicle vacuum equipment, has been located away from the adjacent residential properties to the north.

### Building Height

Maximum - 4 stories or 50 feet, whichever is higher

Proposed - 19 feet 6 inches to the top of the parapet wall; 33 feet 11 inches to the top of the tower

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roof peak

Parking and Loading

Required Parking Spaces - 3 parking spaces

Proposed Parking Spaces - 32 parking spaces

Required Stacking Spaces - 9 spaces (3 spaces per drive-through lane)

Proposed Stacking Spaces - 32 spaces

As noted above, the petitioner has requested a modification to Section 6-306.B to allow for an increase to the number of parking spaces from three (3) to thirty-two (32) spaces. The additional parking spaces will be used as vacuum stations, which is integral to the car wash business operations. Any request exceeding a twenty percent (20%) increase in the total number of parking spaces permitted on the lot must be approved through a variance / modification to the Special Use Permit.

This case is now before Plan Commission for consideration.

**BUDGET IMPACT:**

**REQUESTED ACTION:**

Regarding Case Number **2018-0249**, also known as **Voda Car Wash**, I move to accept and make findings of fact as discussed at this Plan Commission meeting and within the Staff Report dated February 28, 2019.

I move to recommend to the Village Board approval of the **Preliminary Site Plan** titled "Geometric Plan", prepared by Terra Consulting Group, Ltd., Sheet C-3, dated September 11, 2018 and last revised January 19, 2019, subject to the following conditions:

1. Meet all building code requirements and final engineering requirements, including required permits from outside agencies.
2. Screen all mechanical equipment either at grade or at rooftop with landscaping or parapets respectively.
3. Submit a sign permit application to the Development Services Department for separate review. Signs are subject to additional review and approval via the sign permitting process and additional restrictions may apply.
4. Provide a cross access easement extending from the cross access drive located on the east property line up to the west property line along 77th Avenue.
5. The photometric plan shall comply with all lighting requirements per Section 6-315.

And

I move to recommend to the Village Board approval of the Elevations titled "New Automated Car Wash Facility - Voda", prepared by Neri Architects, PC, Sheets A-2.1, A-2.3, A-3.1, A-3.2, A-3.3, dated January 18, 2019, subject to the following conditions:

1. Screen all mechanical equipment either at grade level with landscaping or hidden behind the roofline.
-

- 
2. All masonry must be of anchored veneer type masonry with a 2.625" minimum thickness.
  3. Submit a sign permit application to the Development Services Department for separate review. Signs are subject to additional review and approval via the sign permitting process and additional restrictions may apply.
  4. Meet all final engineering and building code requirements.

And

I move to recommend to the Village Board of Trustees approval of the Preliminary Landscape Plan, titled "New Automated Car Wash Facility - Voda", prepared by Neri Architects, PC, Sheet L.1.1, dated January 18, 2019, with the following conditions:

1. Submit a final landscape plan meeting all Village Codes and all required supporting documentation addressing all outstanding landscape items in conjunction with the final engineering submittal.

And

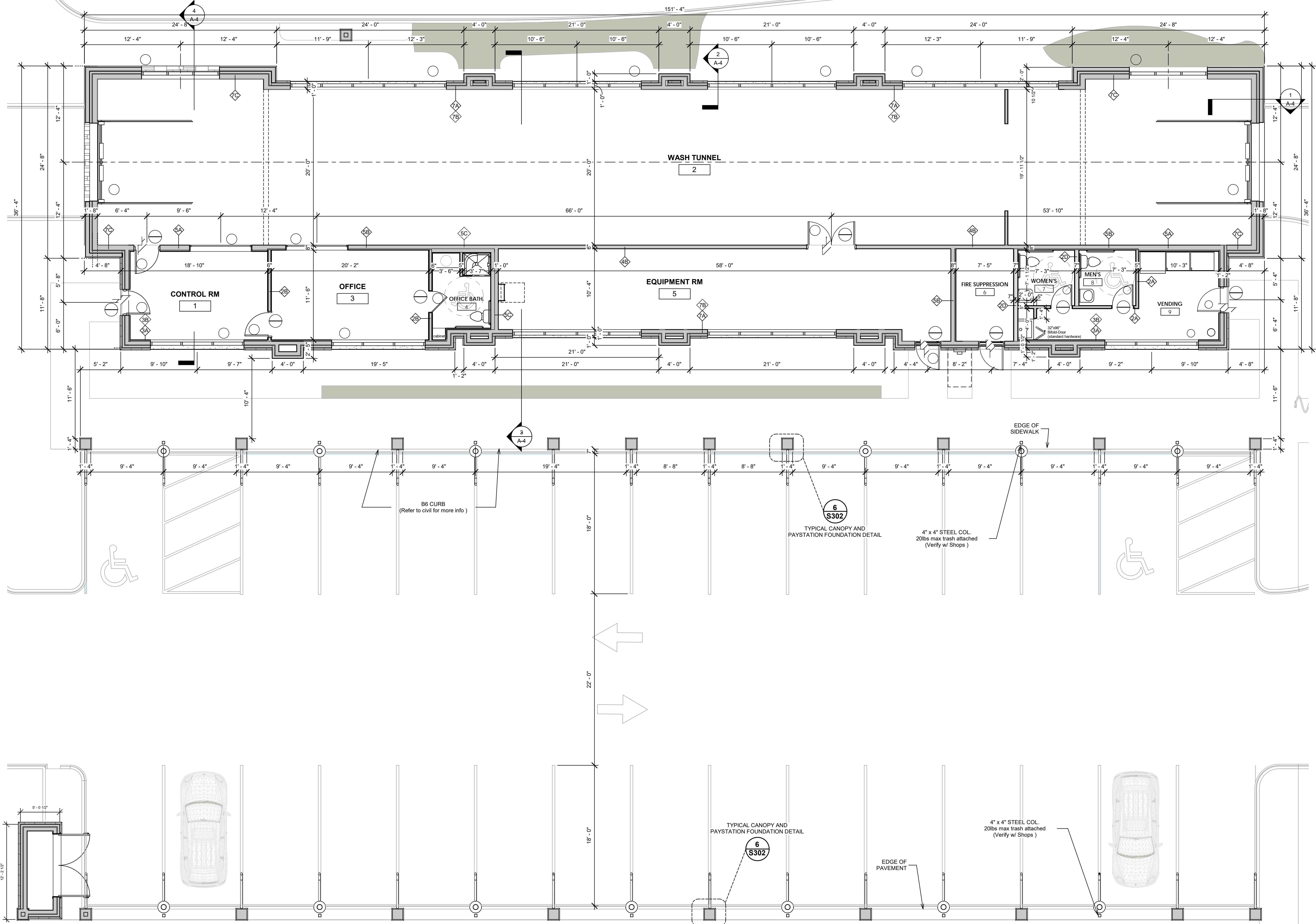
I move to recommend to the Village Board approval of a Special Use Permit for Voda Car Wash to allow for a car wash (motor vehicle services) in the BIZ General Business District, subject to the same conditions as outlined in the Preliminary Site Plan motion and the following conditions:

1. As a condition of authorizing the proposed Special Use Permit for the Subject Property, the former Special Use Permit ordinances, which apply to the previous site and use, shall be repealed. Ordinance No. 3739 (Ordinance Granting a Special Use Permit for a Planned Development for Every Bloomin' Thing) approved March 24, 2003, and Ordinance No. 4478 (Ordinance Granting an Amendment to the Special Use Permit for a Planned Development for Every Bloomin' Thing) approved April 20, 2009 shall be repealed upon approval of the Special Use Permit for Voda Car Wash.
2. Meet all Noise Control Regulations set forth in the Title 6, Chapter 4 of the Village Code.

Modifications to the Special Use Permit include:

1. Locate a drive-through lane, a parking lot, vacuum station canopies, and a vacuum equipment enclosure in the setback area between the building façade and the street (Section 6-207.F.4; Section 6-306.E)
  2. Increase the number of parking spaces from three (3) to thirty-two (32) spaces (Section 6-306.B)
  3. Allow for the lot to have driveway access to 159th Street, an arterial street, and no driveway access at this time to 77th Avenue, a local street (Section 6-406.B.10)
  4. Remove the requirement for a sidewalk along 77th Avenue (Section 6-406.A.2)
-





1/18/2019 11:39:52 AM

1 FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"

PROJECT # 1826  
DATE: 01/18/19

**NEW AUTOMATED CARWASH FACILITY  
"VODA"**

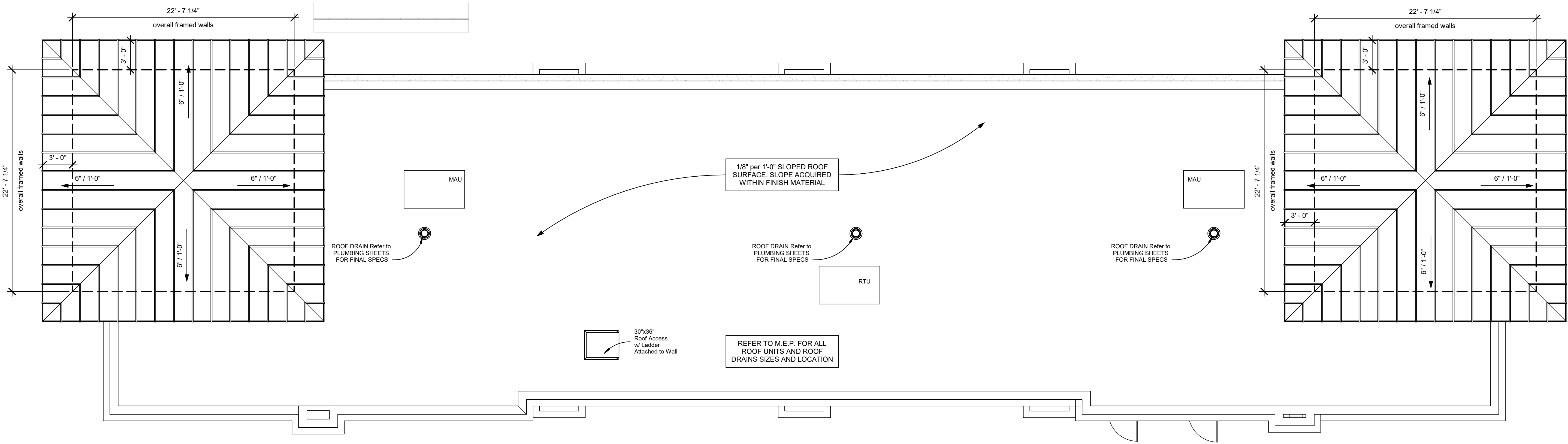
7648 W 159th St  
ORLNAD PARK, IL 60462

NOT FOR CONSTRUCTION - PRELIM REVIEW

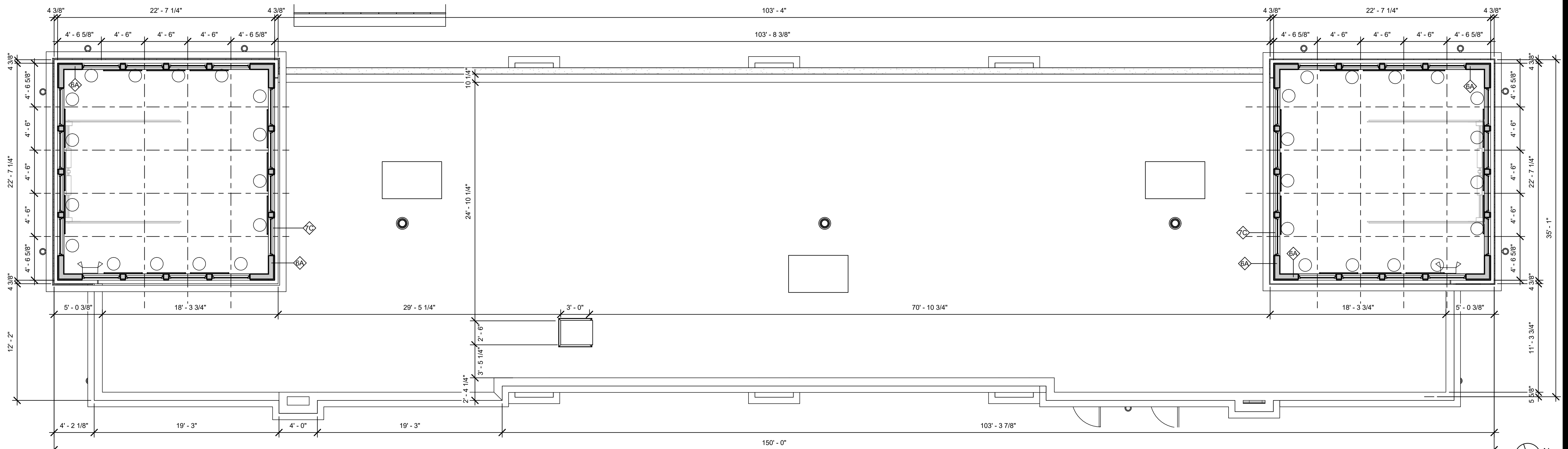
J.J.	ISSUED FOR PERMIT
▲	REVISIONS
DRAWN BY:	MAM / RAM
APPROVED BY:	GCN
SCALE:	AS NOTED
DESCRIPTION:	FLOOR PLAN

SHEET NO. **A-2.1**





1 ROOF PLAN  
SCALE: 3/16" = 1'-0"



2 TOWER PLAN  
SCALE: 3/16" = 1'-0"



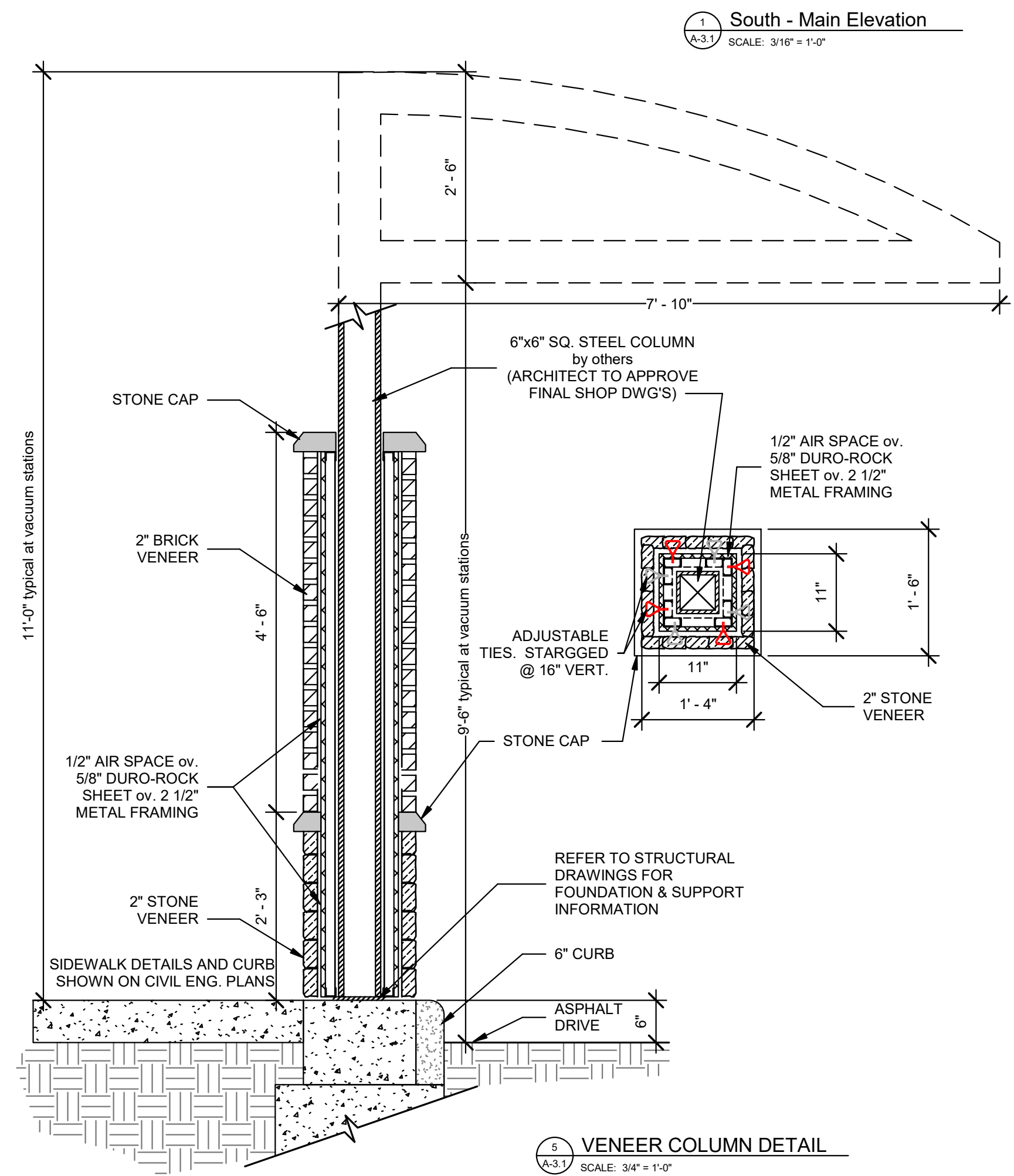
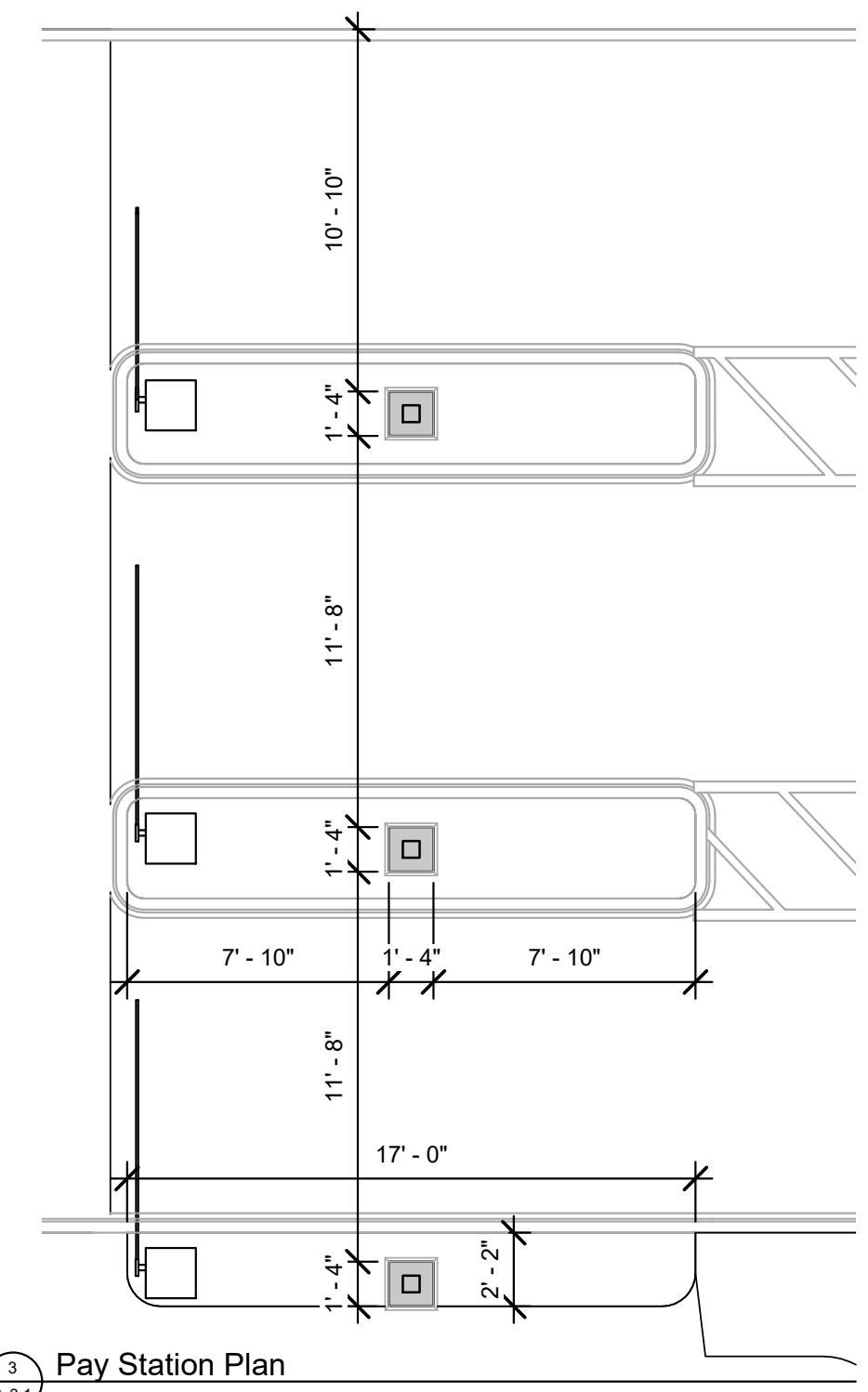
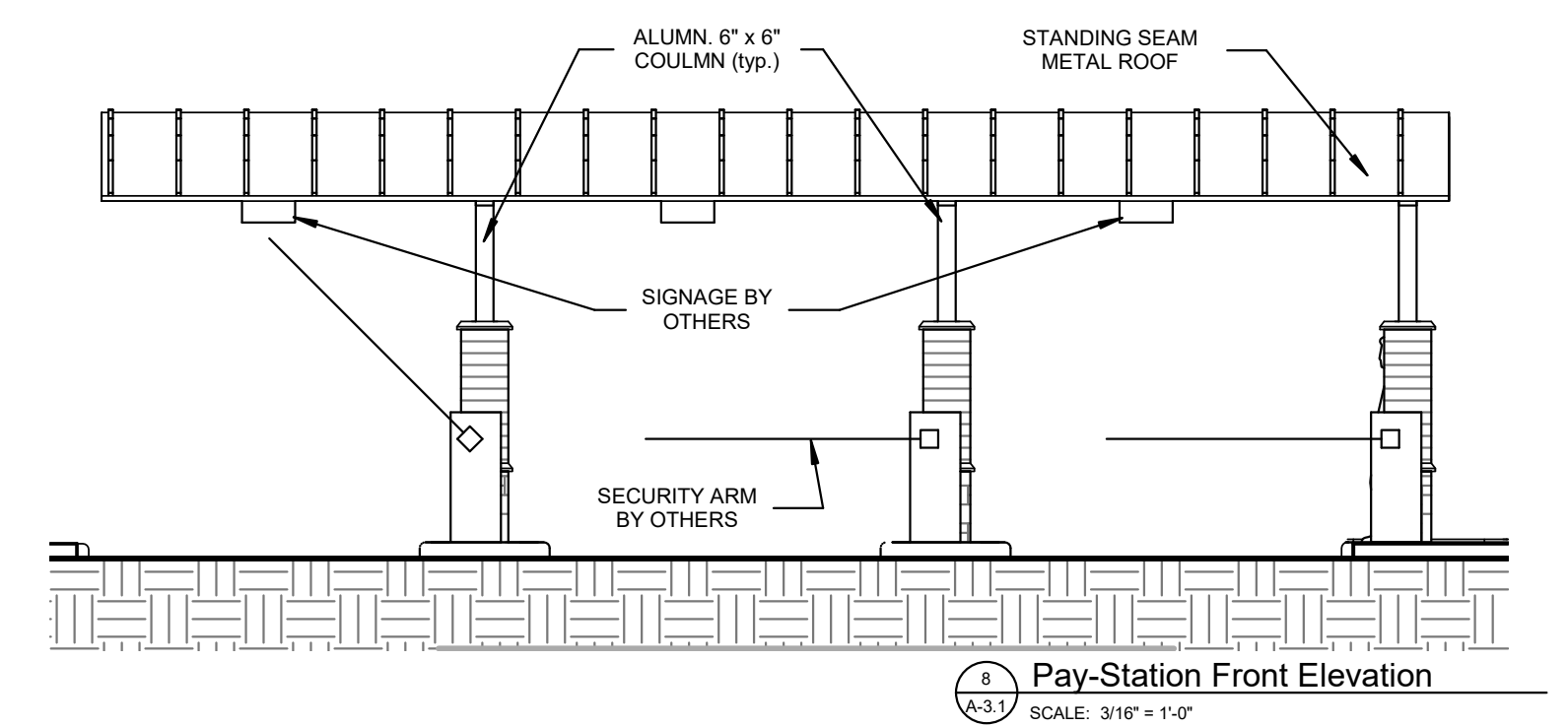
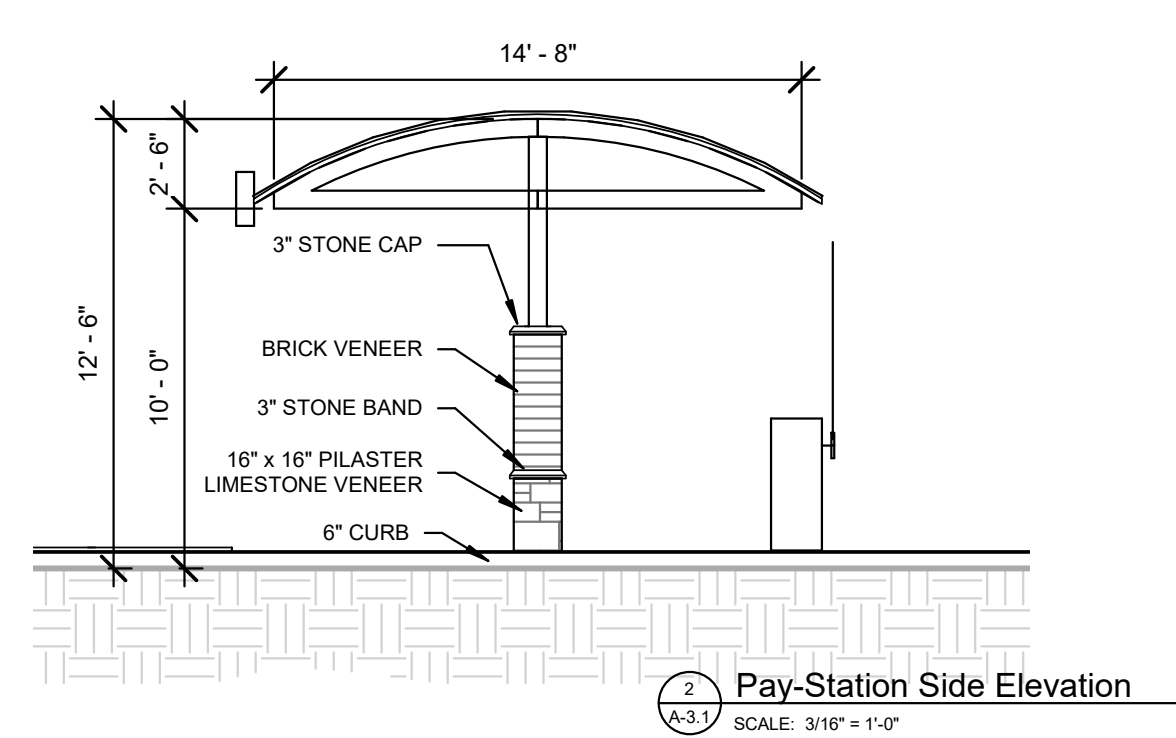
**NEW AUTOMATED CARWASH FACILITY**

**"VODA"**

7648 W 159th St  
ORLNAD PARK, IL 60462

NOT FOR CONSTRUCTION - PRELIM REVIEW

ISSUED FOR PERMIT	J.J.
REVISIONS	
DRAWN BY:	MAM / RAM
APPROVED BY:	GCN
SCALE:	AS NOTED
DESCRIPTION:	ROOF & TOWER PLANS
SHEET NO.	A-2.3



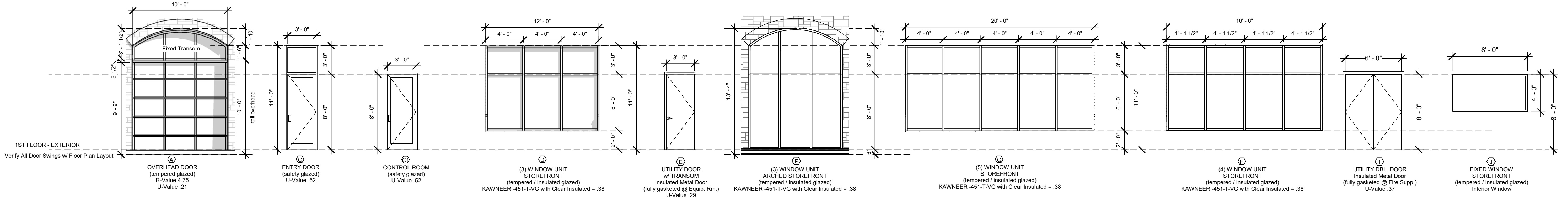
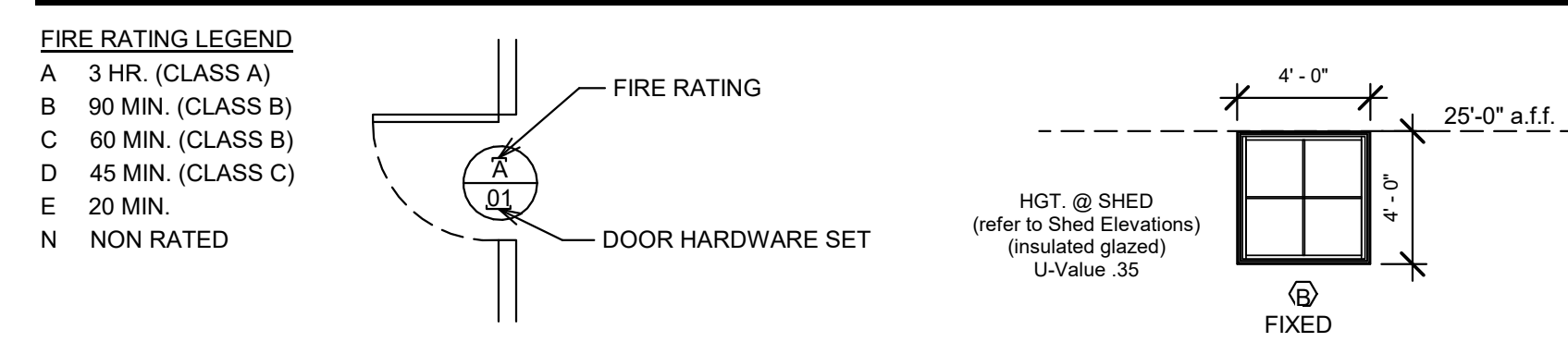
**DOOR DESIGNATION SYMBOL**

1. DOOR HARDWARE TO BE REVIEWED BY ARCHITECT, OWNER AND GENERAL CONTRACTOR BEFORE ORDERING.
2. CONTRACTOR TO USE THE ARCHITECT'S DOOR TYPE PLAN DESIGNATION IN ADDITION TO THE ROOM NUMBER ON ALL SHOP DRAWING SCHEDULE SUBMITTALS.
3. DOOR THICKNESS SHALL BE 1 3/4" TYP. UNO.
4. ALL DOORS LEADING INTO HAZARDOUS ROOMS OR SPACES TO HAVE KNURLED HARDWARE AND FULLY GASKETED.
5. GLAZING AT LABELED DOORS TO BE FIRE-RESISTIVE, PROVIDE SAFETY GLAZING AT ALL NON-RATED DOORS.
6. ALL UNIT ENTRY DOORS TO BE SMOKE / DRAFT CONTROL DOORS.
7. ALL EXTERIOR, OPAQUE, SWINGING DOORS TO HAVE A U-FACTOR ≤ 0.37.
8. ALL EXTERIOR, OPAQUE, NON-SWINGING DOORS TO HAVE AN R FACTOR ≥ 4.75.
9. PROVIDE LEVER OPERATED HARDWARE THROUGHOUT THE BUILDING. NO DOOR KNOBS.

**DOOR HARDWARE SCHEDULE**

SET (#)	HINGES	LOCKSET	KNOB/LEVER	FINISH	CLOSER	STOP	WEATHERSTRIPPING	REMARKS
01	1 1/2 PR. PRIME BUTT	PR. KEYED (OUT)	LEVER	CHROME - SATIN	YES	YES	YES	
02	1 1/2 PR. PRIME BUTT	KEYED (OUT)	LEVER	CHROME - SATIN	NO	WALL	NO	
03	1 1/2 PR. BB BUTT	PASSAGE	LEVER	CHROME - SATIN	NO	WALL	NO	
04	1 1/2 PR. BB BUTT	PRIVACY	LEVER	CHROME - SATIN	NO	WALL	NO	
05	1 1/2 PR. BB BUTT	KEYED (OUT)	KNURLED LEVER	CHROME - SATIN	YES	WALL	YES	
06	1 1/2 PR. BB BUTT	KEYED (OUT)	LEVER w/ PANIC	CHROME - SATIN	YES	WALL	YES	

**DOOR DESIGNATION SYMBOL**



**DOOR & WINDOW SCHEDULE**  
SCALE: 3/16" = 1'-0"

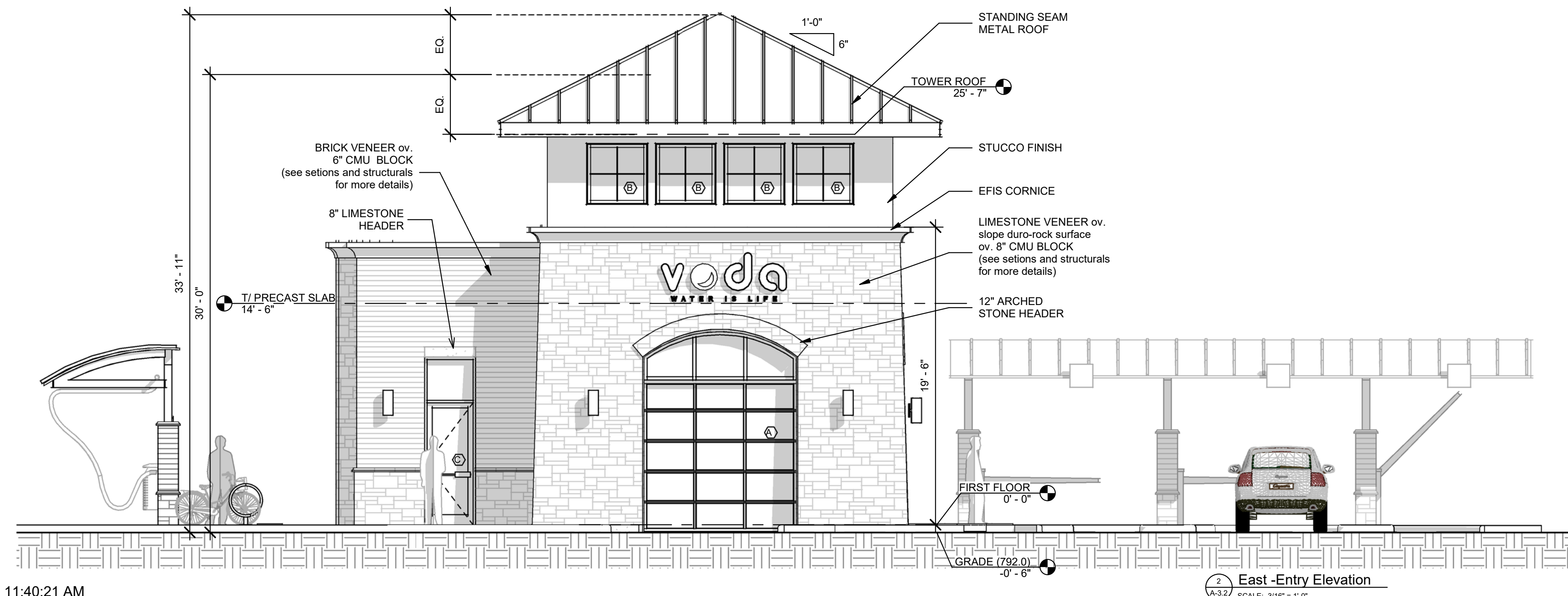
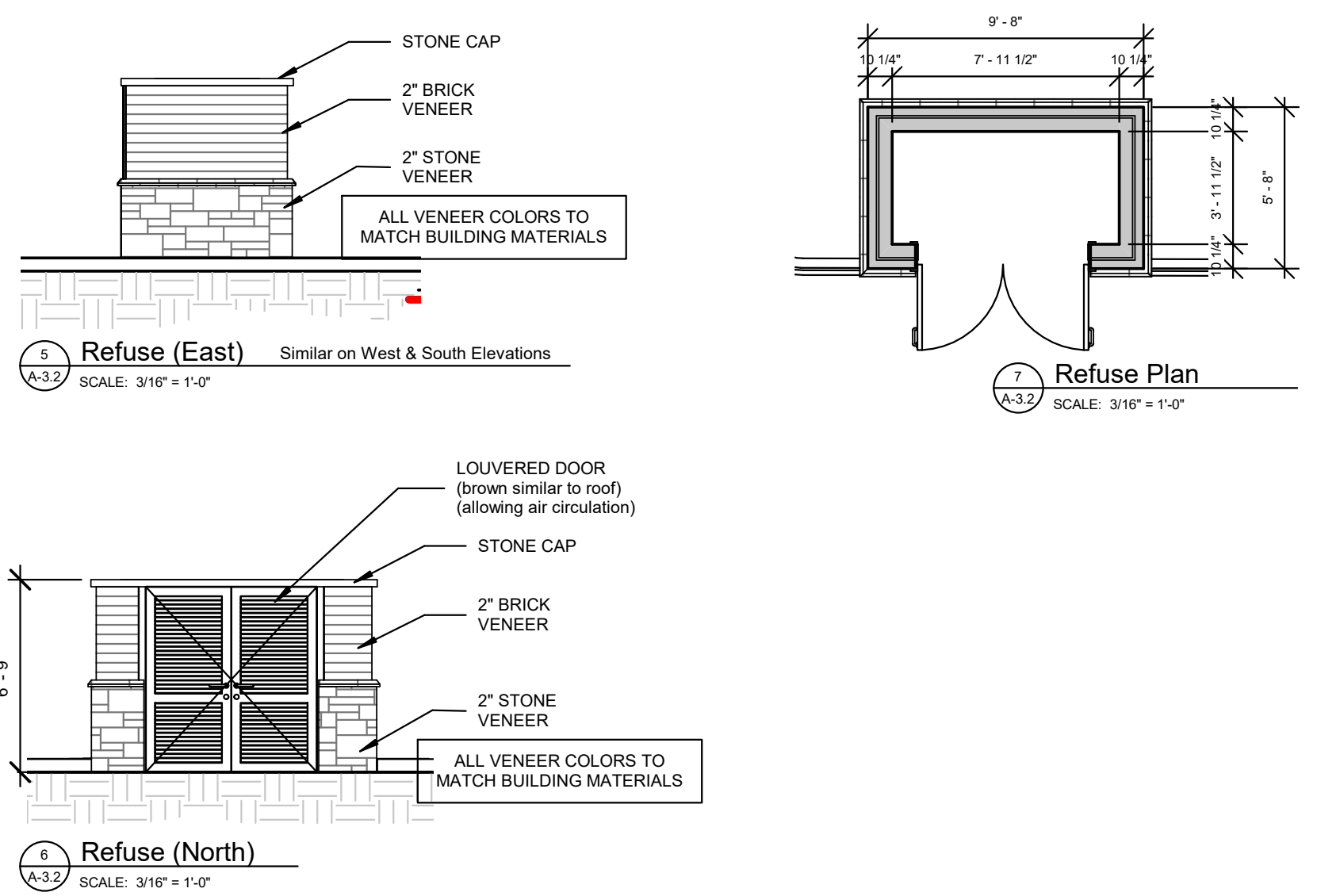
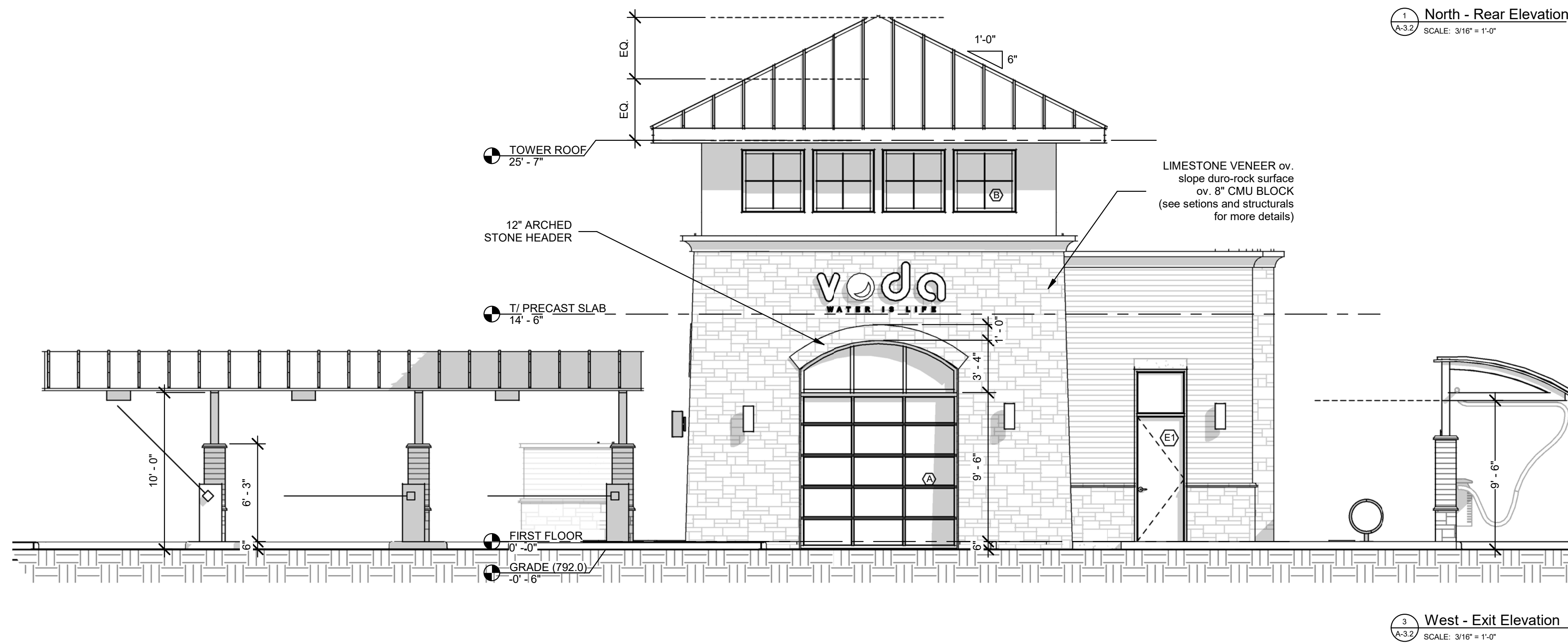
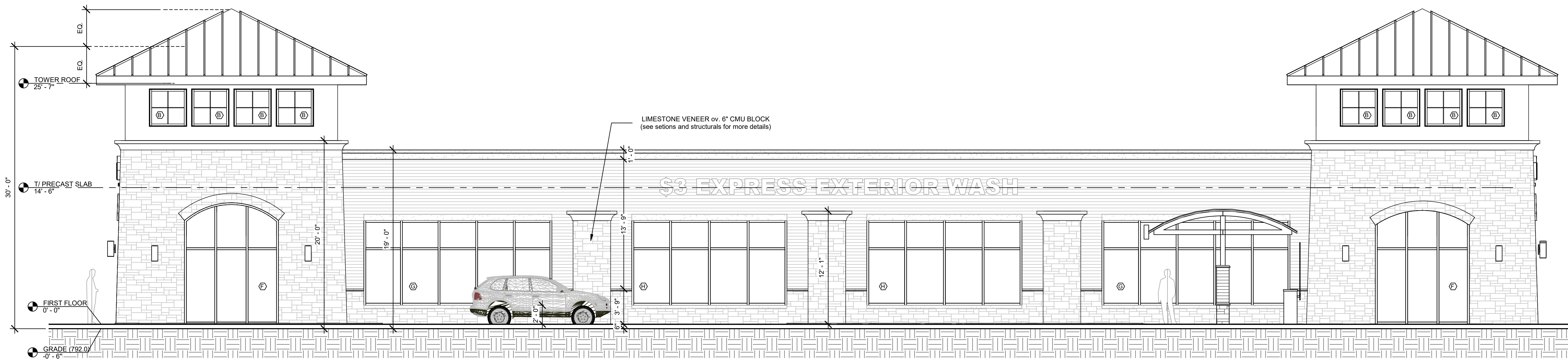
PROJECT # 1826  
DATE: 01/18/19

**NEW AUTOMATED CARWASH FACILITY  
"VODA"**

7648 W 159th St  
ORLNAD PARK, IL 60462

**NOT FOR CONSTRUCTION - PRELIM REVIEW**

J.J.	ISSUED FOR PERMIT
<b>REVISIONS</b>	
▲ DRAWN BY:	MAM / RAM
APPROVED BY:	GCN
SCALE:	AS NOTED
DESCRIPTION:	MAIN ELEVATION & WIN./DR. SCHEDULES
SHEET NO.	A-3.1



PROJECT # 1826  
 DATE: 01/18/19

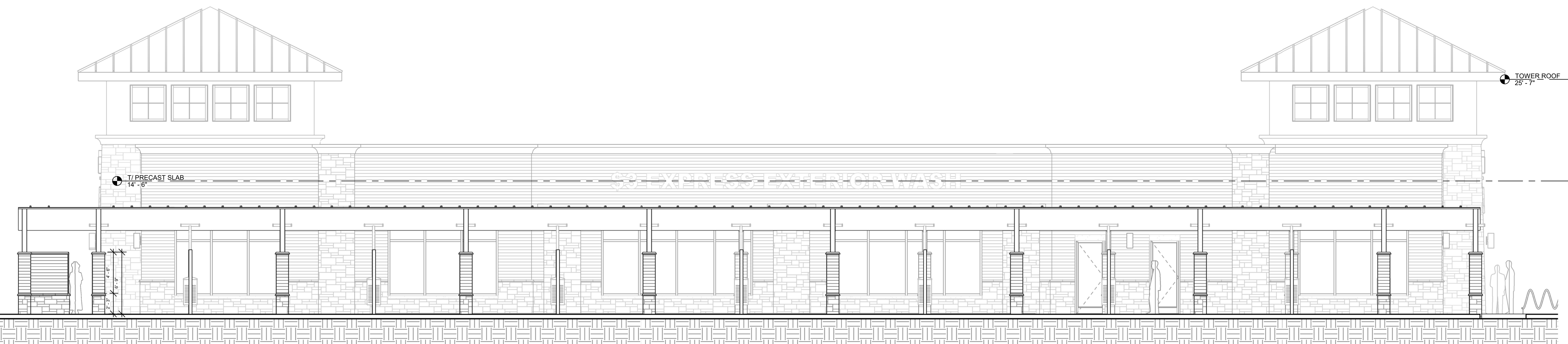
**NEW AUTOMATED CARWASH FACILITY  
 "VODA"**

7648 W 159th St  
 ORLNAD PARK, IL 60462

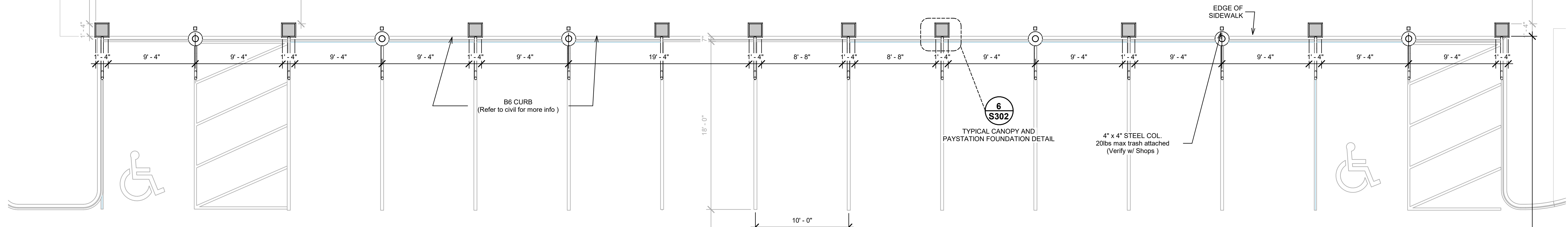
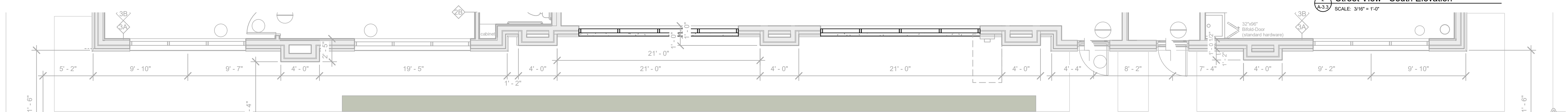
NOT FOR CONSTRUCTION - PRELIM REVIEW

J.J.	ISSUED FOR PERMIT
REVISIONS	
▲	DRAWN BY: MAM / RAM
	APPROVED BY: GCN
	SCALE: AS NOTED
	DESCRIPTION: ELEVATIONS

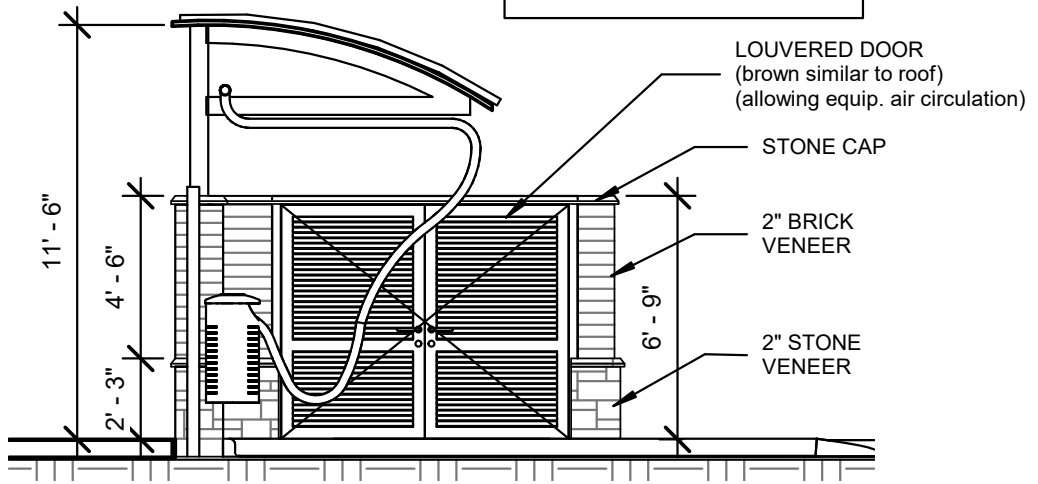
SHEET NO. **A-3.2**



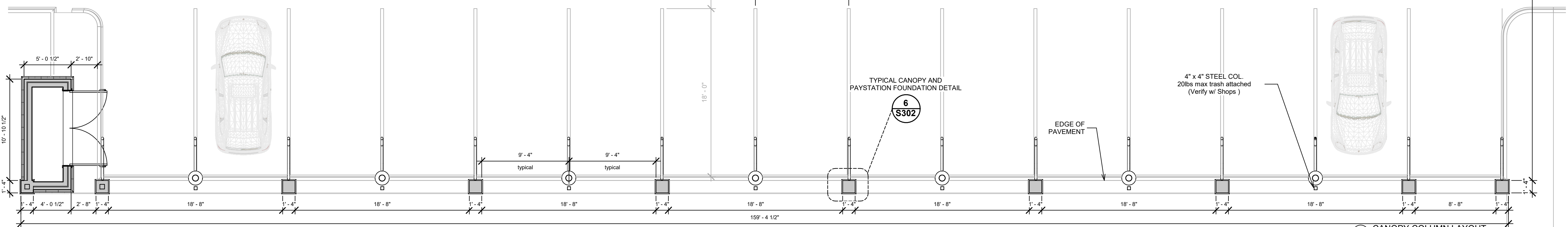
2 Street View - South Elevation  
SCALE: 3/16" = 1'-0"



ALL VENEER COLORS TO MATCH BUILDING MATERIALS



1 Vacuum Equip. Enclosure East Elev.  
SCALE: 3/16" = 1'-0"



3 CANOPY COLUMN LAYOUT  
SCALE: 3/16" = 1'-0"

1/18/2019 11:40:32 AM

**N E R I**  
**ARCHITECTS, PC**  
444 N. NORTHWEST HWY. STE 355  
PARK RIDGE IL 60068  
TEL 847.825.9400

PROJECT # 1826  
DATE: 01/18/19

**NEW AUTOMATED CARWASH FACILITY  
"VODA"**

7648 W 159th St  
ORLNAD PARK, IL 60462

NOT FOR CONSTRUCTION - PRELIM REVIEW

J.J.	ISSUED FOR PERMIT
▲	REVISIONS
DRAWN BY:	MAM / RAM
APPROVED BY:	GCN
SCALE:	AS NOTED
DESCRIPTION:	ELEVATIONS & PLANS - OTHERS

SHEET NO. **A-3.3**

# BELDEN

THE BELDEN BRICK COMPANY

P.O. BOX 20910  
CANTON, OHIO 44701-0910  
(330) 456-0031

ISO 9001: 2008  
Registered Quality Management System



Proposed Brick



Proposed Limestone



Metal Pay Station Canopy and Vacuum Station Canopy Color



Window Trim Color



U.S. Cellular Field Lot L - 265,000 square feet (*Largest in the U.S.*)



Warrenville Road - 1 mile long

Whole Foods Naperville - 150,000 square feet







Unilock Chicago  
301 East Sullivan Road  
Aurora, IL 60505  
(630) 892-9191

# Eco-Optiloc

Manufacturing Specifications

This paver has gained world-wide acceptance as the paver-of-choice for performance, and as an environmental solution for drainage. Only the patented "L" shaped design allows you to achieve a superior lock-up that can withstand even the heaviest of loads residentially and commercially. The innovative design creates small voids between the pavers providing drainage into the sub-base.

Eco-Optiloc® pavers meet the minimum material and physical properties set forth in ASTM C 936. Using Portland Cement Type I with approximately 4% slag cement content and 98% regional sand and aggregate materials, this no-slump concrete is stronger and more durable than pour-in-place concrete. Surface void-space is 12% allowing more than 100 inches per hour of surface infiltration.

Select Available Sizes:



Imperial sizes listed are approximate equivalents of the actual metric dimensions.

Select Available Colors:

- This product is manufactured for each project. All colors and finishes are custom.
- There are more than 20 different colors available and five finish options for this product including:
  - Standard - ten colors (see Hollandstone colors)
  - Premier - three colors (see Holland Premier colors)
  - Brushed - five colors (see IL Campo colors)
  - Exposed aggregate - five colors (see Series 3000 colors)
  - TX Active photocatalytic cement
- Other custom colors options available.

For orders less than 3,000 square feet, call for color availability.

Select Laying Pattern:

- There are no specific laying patterns for this product due to the paver shape.
- This paver can be installed manually or mechanically.
- Eco-Optiloc with integrate seamless with Optiloc.

Mechanical installation footprint is 10.6 square feet per layer.

Product Data:

Shapes & Bundling	Sq Ft/Bdle	Sq Ft/Section	Ln Ft/Bdle (Soldier)	Units/Sq Ft	Units/Bdle
Standard	84.48	-	-	-	168

Technical Information:

### ASTM C 936 Standard Specifications for Solid Concrete Interlocking Paving Units

- Conforms to:
- C140 for Absorption and Compressive Strength
  - C67 for Freeze-thaw Durability
  - C418 for Abrasion Durability

### Unilock standards exceed ASTM C 936 with

- 8,500 p.s.i. min.
- 4% absorption avg.
- 5% absorption max.
- Dimensional Accuracy +/- 3/64"

Test results available upon request

Typical pour-in-place concrete ranges from approximately 2,500 to 5,500 p.s.i. after 28 days.

LEED Information:

### Potential credits for using Eco-Optiloc® include:

- Credit SS 6.1 Stormwater Design: Quantity Control + 1 point
- Credit SS 6.2 Stormwater Design: Quality Control + 1 point
- Credit SS 7.1 Heat Island Effect: Non-roof + 1 point
- Credit MR 4.1 Recycled Content + 1 point
- Credit MR 5.1 Regional Material: 10% + 1 point
- Credit MR 5.2 Regional Material: 20% + 1 point

Opportunities:

### Applications:

- Roads and driveways
- Parking Lots
- Industrial Yards

### Features:

- L-Shape
- ADA compliant with 12mm joint
- Manual or mechanical installation options

Architectural Finishes:

Eco-Optiloc® pavers can be manufactured with face mix surface. Using a special two step process, a face mix paver's top 1/4" to 1/2" has a superior finish that eliminates the appearance of fading.



### Face Mix Benefits include:

- Higher psi
- Lower water absorption
- No color loss
- Cost effective

### Unilock Select Face Mix Pavers:

- Premier – smooth finish
- IL Campo – brushed
- Series 3000 – exposed aggregate
- Umbriano – smooth mottled
- Belpasso – smooth enhanced





1 VIEW LOOKING NORTHEAST  
SCALE: 1/2" = 1'-0"



1 View looking northwest  
SCALE: 1/2" = 1'-0"

1826  
12/14/2018 10:13:32 AM  
AC-14

**N E R I**  
**ARCHITECTS, pc**

444 N. NORTHWEST HWY. STE 355  
PARK RIDGE, IL 60068  
TEL 847.825.9400  
FAX 847.825.9461



1 VIEW LOOKING SOUTHEAST  
SCALE: 1/2" = 1'-0"

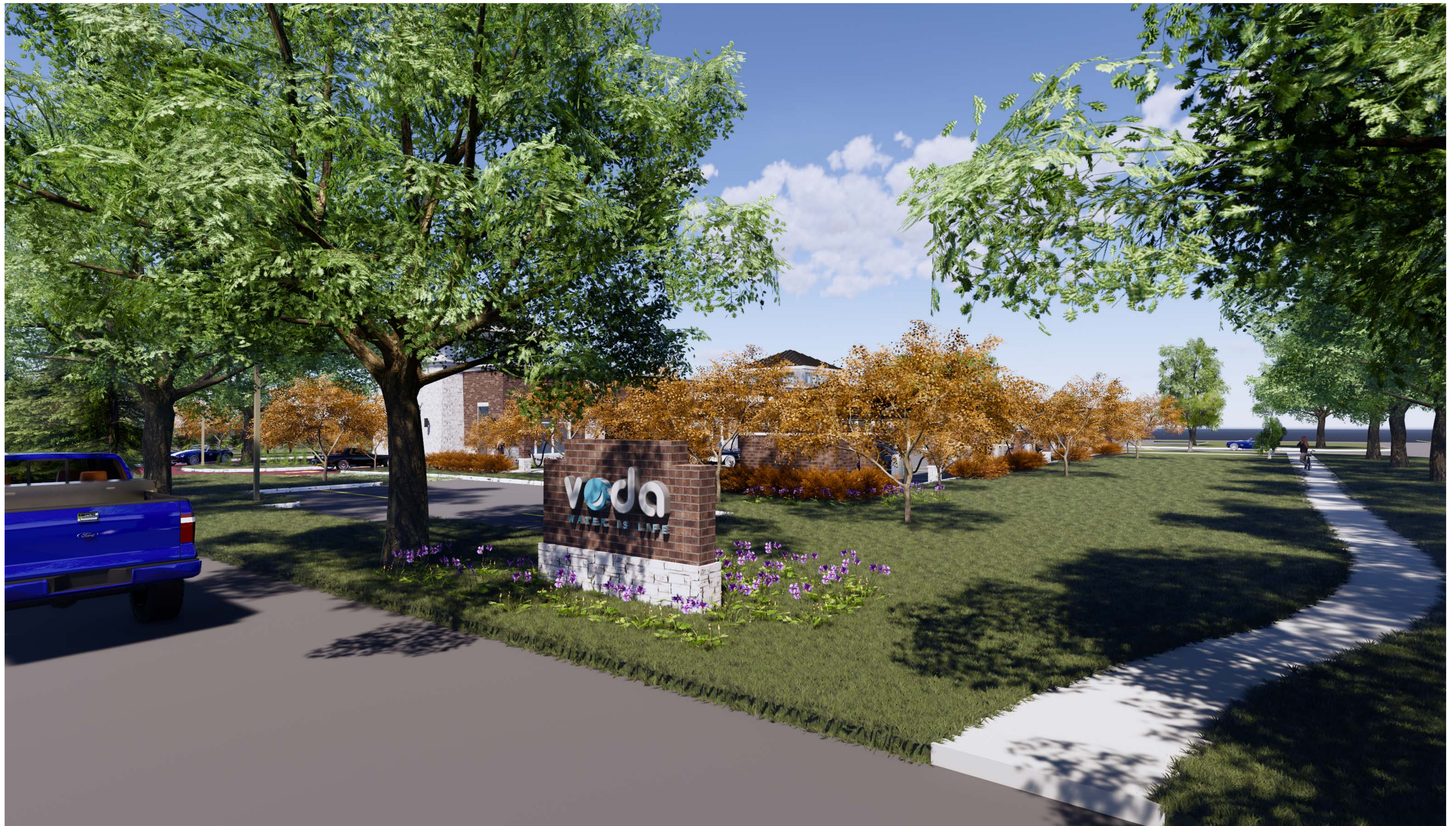
1826  
12/14/2018 10:13:34 AM  
AC-15

**N E R I**  
**ARCHITECTS, pc**

444 N. NORTHWEST HWY. STE 355  
PARK RIDGE, IL 60068  
TEL 847.825.9400  
FAX 847.825.9481



1 View looking southwest  
AC-19 SCALE: 1/2" = 1'-0"







ALAN M JACOB, ATTORNEY  
AMJ Legal Service  
950 N. Milwaukee Avenue  
Suite 329  
Glenview, Illinois 60025  
(847)852-0021  
[alanmjacob@gmail.com](mailto:alanmjacob@gmail.com)

15 January 2019

Village of Orland Park  
14700 S. Ravinia Avenue  
Orland Park, Illinois 60462

**SUBJECT: VODA CAR WASH 7648 159<sup>TH</sup> STREET, ORLAND PARK, ILLINOIS-  
SPECIAL USE PERMIT APPLICATION**

Dear Village of Orland Park:

This correspondence shall be used for the purpose of describing the project of the subject matter above in relation to a Special Use Permit Application.

The Special Use Permit Application is submitted for the allowance of the construction of a new car wash facility to be located at 7648 159<sup>th</sup> Street, Orland Park, Illinois.

The purpose of this application is to propose to construct and thereafter establish a new State-Of-The-Art car wash facility. The facility shall have designated and clear marked lanes of use, staff members throughout the facility (from entry to exit), and a systematic plan executed to allow a steady and smooth flow of service. Clients shall have options to choose specific service to be performed, communicated either electronically, verbally, by writing, or in some other manner thereby creating direction to the client through staff communication to proceed along the facility grounds to obtain the service or services selected.

Pursuant to the standards of the Zoning Ordinance found within the Zoning Code of the Village of Orland Park, the proposed Special Use Permit Application complies with those standards as follows:

1. The special use will be consistent with the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations; *(List factors that demonstrate how your proposal meets this standard.)*

*Goal: To create, sustain, and enhance a quality of life within the Village of Orland Park*

*This project, Voda Wash, shall enhance quality of life by providing a unique service to the residents of Orland Park as well as those who commute through/traverse/pass through the Village. The option to select a service such as Voda Wash gives the community at large additional options in services which, in turn, promotes competition and competitive pricing for such service.*

*Objectives:*

*Preserve the unique character of Orland Park which has grown out of its natural setting and its generally harmonious development.*

*The proposed business creates harmony along the commercial corridor along 159<sup>th</sup> street and preserves the natural setting of the Village without disturbing any trees, forests, preservations, or otherwise encroaches or encumbers historical sites.*

*Reach a balance between the number of families in the community and the space which we have to live in.*

*The use of the space proposed does not impede or reduce the number of families living in the Village. It also would not create an increase or overcrowding of additional families in the Village. It simply provides an additional services to the existing residents.*

*Establish a pattern of land uses which will promote the highest level of health, safety, efficiency, aesthetics, and general welfare for all segments of the village.*

*The proposed plan promotes health, safety, efficiency and most importantly enhances the aesthetics of the corridor along 159<sup>th</sup> street. The proposed building is unique, elegant, and beautiful in design.*

*Develop a circulation system [highways, collector roads, bikeways, and commuter transit] which will provide for the safe and convenient movement of people and goods within Orland Park and other parts of the region.*

*The proposed plan takes into account traffic flow, traffic patterns so as not to disrupt or impede the steady and smooth movement already established along the 159<sup>th</sup> street corridor.*

*Develop and update a capital improvements program and financing programs to support the construction of necessary village improvements.*

*The proposed plan enhances financial gains from a tax base created by a new service within the Village Limits.*

2. The special use will be consistent with the community character of the immediate vicinity of the parcel for development; *(List factors that demonstrate how your proposal meets this standard.)*

Community character is important to the Village of Orland Park. The proposed express

wash neatly fits into the commercial scheme and the adjacent properties without disturbance or risk to any other properties adjacent to it. The proposed building design is unique but not overly different than the current existing structures along the immediate vicinity of the proposed property.

3. The design of the proposed use will minimize adverse effect, including visual impacts on adjacent properties; *(List factors that demonstrate how your proposal meets this standard.)*

*The visual effects will enhance the look to the commercial area, enhance the aesthetics of the commercial area and adjacent properties and will provide no adverse effect on the adjacent properties. The applicant has designed landscaping to not only minimize impact of any noise or traffic, but to further beautify the grounds by adding landscaping above and beyond the required code of the Village of Orland Park.*

4. The proposed use will not have an adverse effect on the value of the adjacent property; *(Insert explanation. If necessary, the petitioner should be prepared to offer expert testimony that the proposed project will have no adverse impact on surrounding properties.)*

The proposed plan will increase the value of the adjacent properties by making utility of it and providing an opportunity and increase in profits to the commercial zones surrounding it by drawing new clients and customers to the adjacent businesses. Additional landscaping above and beyond what is required by village Code shall mitigate any impact to surrounding properties, especially properties to the north of this subject property. Vacuums shall be moved away from the north and configured in such a way as to not cause any impact in regards to noise. They shall be strategically placed away from the north and have barriers or buffers to include landscaping with the intention of reducing noise greatly so as not to cause any annoyance to any adjacent properties use and enjoyment. The applicant intends to use high quality brick material that will not only be aesthetically pleasing but may increase the value of surrounding properties because of the luxurious look the applicant seeks to establish.

5. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service; *(Insert explanation)*

The applicant shall ensure access to roadways is improved with minimal impact in regards to noise and traffic, will not place the general public in unnecessary danger, will configure the grounds to allow easy access for police and fire response including a lane designated for fire and police movement upon the grounds, safe/effective/efficient/low impact refuse removal and temporary storage, proper drainage for stormwater and other drainage of water use upon the facility, and shall ensure any public facility or public utility has ease of access without any impact to authorized service by any public entity. The applicant shall engage in road improvements to 77<sup>th</sup> by cleaning, curb cleaning, providing improved storm water drainage, and other water drainage to avoid flooding or pooling of any water or debris.

6. The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development; *(Insert explanation)*

The applicant has investigated the open space and the approval of this special use will certainly improve the space upon and around the subject property.

7. The development will not adversely affect a known archaeological, historical or cultural resource;

There is no known archeological, historical, or cultural center, resource, space or otherwise upon and adjacent to the subject property and therefore cannot adversely affect something that is not there.

8. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

The proposed plan and the applicant guarantee to abide by all of the additional standards imposed by written policy, procedure, or plan of the Village of Orland Park and none of the proposed plan violates or seeks to violate any rules, laws, or policies thereof.

### MODIFICATIONS:

Pursuant to an initial staff review and recommendations contained therein, the following special use modifications in relation to the Land Development Code, are sought in connection with this application and project:

Identified:

- a. **A modification to locate a drive-through lane, a parking lot, vacuum station canopies and equipment in the setback area between the building façade and the street (Section 6-207.F.4; Section 6-306.E)**

**REPLY:**

A parking lot is proposed in the setback area between the building façade and the street. The parking lot design shall minimize impact to any traffic flow from and to the facility and facilitate a design to reduce noise caused by the same. (Section 6-207.F.4; Section 6-306.E)

- b. **A modification to increase the number of parking spaces from 3 spaces to 32 spaces (Section 6-306.B)**

**REPLY:**

A modification to increase the number of parking stalls to 32 spaces. This addition shall grant allowance for parking not only for property operations, but also vacuum use and other uses for parking lanes. (Section 6-306.B).

- c. A modification to allow for driveway access to 159th Street, an arterial street, and no driveway access to 77th Avenue, a local street (Section 6-406.B.10)**

**REPLY:**

Driveway access is proposed to 159th Street and the removal of access to 77th Ave. The applicant shall consolidate the two existing access points to 159<sup>th</sup> to a single access point to 159<sup>th</sup>. No access shall be allowed from the arterial way, 77<sup>th</sup> Ave, and applicant shall provide curb clean up as well as adequate storm water drainage and other drainage and any other improvements upon the property itself and its curb.(Section 6-306.B.10).

- d. A modification to remove the sidewalk requirement along 77<sup>th</sup> Avenue (Section 6-406.A.2)**

**REPLY:**

A modification is requested to remove the sidewalk requirements along 77th Avenue per Section 6-406.A. Sidewalks are required on both sides of all roadways in the Village. A minimum five (5) foot wide sidewalk shall delineate the parkway right-of-way, with an eight (8) foot planting strip between the sidewalk and the roadway's back of curb. Given that 77th Avenue does not currently meet the Village standard width and roadway requirements, the unincorporated vacant lot to the west limits the ability to widen or improve the roadway at this time, and the existing properties to the north and right-of-way boundaries prohibit a future sidewalk extension to the north. Incremental improvements to offset this modification shall be included in any plans submitted to the Village.

## **LANDSCAPE**

The Landscape Bufferyards are all greatly above village requirements, providing enhanced sound damping and visual buffers. North and NW bufferyards will be lined with 6'-0" tall Evergreens, that provide a solid year-round hedge growing up to 12'. East Landscape will be a 4' tall "Dark Yew" hedge along with ground cover & ornamental trees, in addition to the 5 existing shade trees. (Section 6-305, Landscape and

Tree Preservation).

Additionally, some concern has been raised regarding sound transmission of the pay boxes or pay stations. Absolutely no sound is transmitted from the pay boxes or pay stations (advertisements, vocal instructions, etc).

This Special Use allowance would in fact create a new and unique service to potential clients, provide new jobs to local job seekers, create additional flow to adjacent businesses and establishments, and create a positive image of expansion to the residents of Orland Park.

The ground/land/property upon which the facility shall be constructed and operated creates diversity generally, and in particular, provides coupling and complimentary element to its surroundings. The business corridor of 159<sup>th</sup> Avenue, Orland Park, Illinois has several commercial properties adjacent to it in their own unique niche.

The structure plans of the facility are unique, elegant, and luxurious. The structure(s) is neither a copy or identical in design to any other structure of facility nearby nor an anomaly. The height, width, depth, and breadth are not too wide, high, or deep to create a distraction. Rather, the design is made to create the cohesion of a business district and a unified and symmetrical representation of the area.

The subject property and the design upon that property by the Applicant shall create an extremely aesthetic and beneficial use of the open areas and property. The design has the intent to ensure steady flow, extreme symmetrical layout, and beneficial use of landscape to create beautification, and at the same time, provide a function. The function is a service sought after during every season in the Midwest.

The proposed hours of operation are Monday thru Saturday from 7:00A.M. until 9:00P.M. and Sunday from 7:00A.M. to 7:00P.M. The proposed number of employees is to be three maximum at any one given time. The services offered by employees include one employee to assist in wash type selection and payment, upon entry to the customer or client, one employee to offer payment assistance and premises upkeep and maintenance, and one on-site manager. Vending products

may include water, snacks, coffee, and cleaning supplies specifically for motor vehicles.

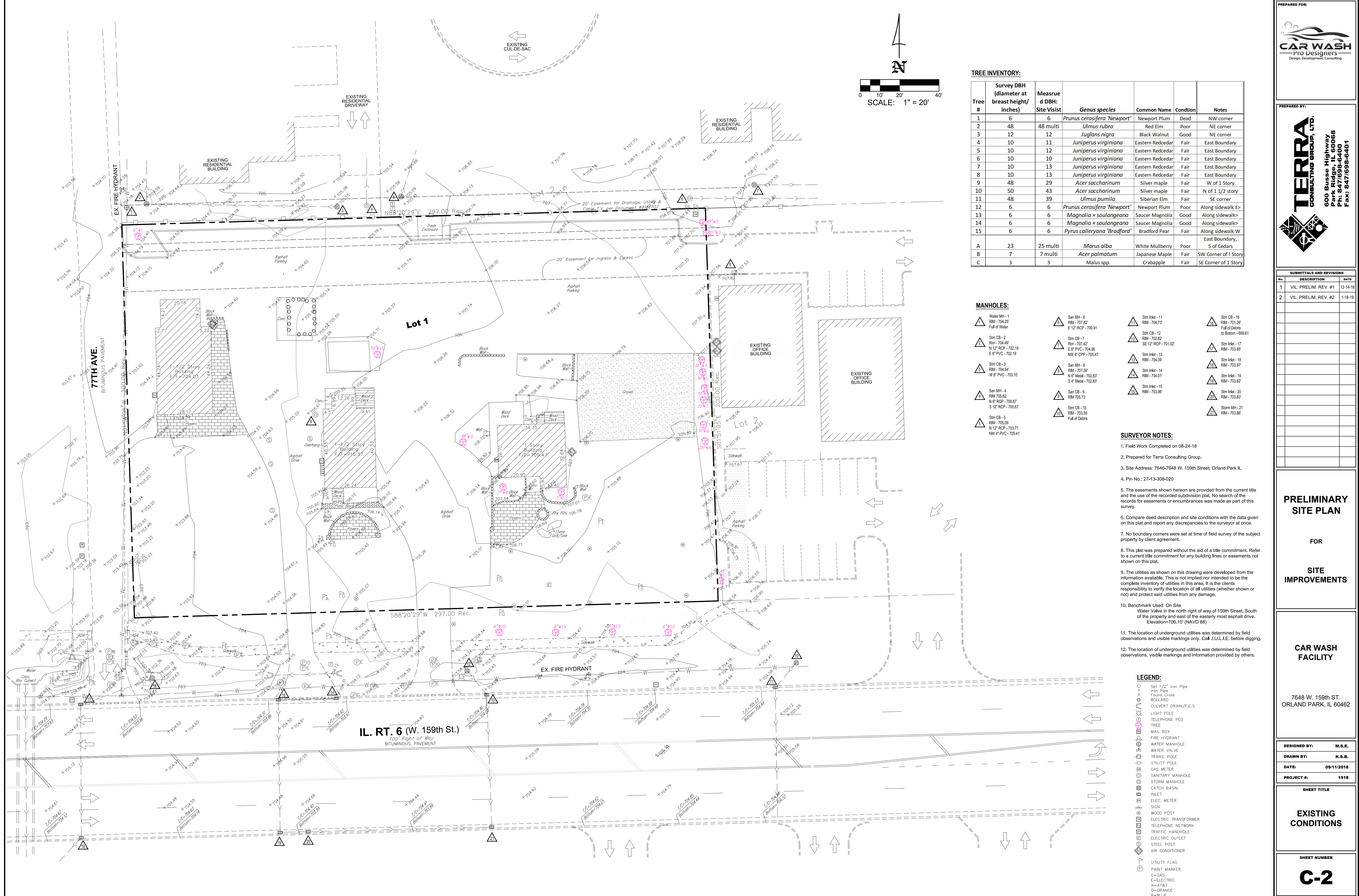
The Applicant shall provide phasing of development, encourage inspections by City and County employees to ensure compliance with all codes and ordinances and will provide full cooperation in this very important process.

We look forward to working with the Village of Orland Park on this project.

**Sincerely,**

*Alan M Jacob*

**Alan M Jacob, Attorney**



**TREE INVENTORY:**

Tree #	Survey DBH (diameter at breast height/ inches)	Measure d DBH: Site Visit	Genus species	Common Name	Condition	Notes
1	6	6	<i>Prunus cerasifera</i> 'Newport'	Newport Plum	Dead	NW corner
2	48	48 multi	<i>Ulmus rubra</i>	Red Elm	Poor	NE corner
3	12	12	<i>Juglans nigra</i>	Black Walnut	Good	NE corner
4	10	11	<i>Juniperus virginiana</i>	Eastern Redcedar	Fair	East Boundary
5	10	12	<i>Juniperus virginiana</i>	Eastern Redcedar	Fair	East Boundary
6	10	10	<i>Juniperus virginiana</i>	Eastern Redcedar	Fair	East Boundary
7	10	13	<i>Juniperus virginiana</i>	Eastern Redcedar	Fair	East Boundary
8	10	13	<i>Juniperus virginiana</i>	Eastern Redcedar	Fair	East Boundary
9	48	29	<i>Acer saccharinum</i>	Silver maple	Fair	W of 1 story
10	50	43	<i>Acer saccharinum</i>	Silver maple	Fair	N of 1 1/2 story
11	48	39	<i>Ulmus pumila</i>	Siberian Elm	Fair	SE corner
12	6	6	<i>Prunus cerasifera</i> 'Newport'	Newport Plum	Poor	Along sidewalk E
13	6	6	<i>Magnolia x soulangeana</i>	Saucer Magnolia	Good	Along sidewalk
14	6	6	<i>Magnolia x soulangeana</i>	Saucer Magnolia	Good	Along sidewalk
15	6	6	<i>Pyrus calleryana</i> 'Bradford'	Bradford Pear	Fair	Along sidewalk W
A	23	25 multi	<i>Morus alba</i>	White Mulberry	Poor	East Boundary, S of Cedars
B	7	7 multi	<i>Acer palmatum</i>	Japanese Maple	Fair	SW Corner of 1 Story
C	3	3	<i>Malus sp.</i>	Crabapple	Fair	SE Corner of 1 Story

- MANHOLES:**
- Water MH-1 RM-704.25 Full of Water
  - San MH-6 RM-701.82 E 12" RCP-700.91
  - San MH-8 RM-707.56 N 6" Metal-702.87 S 4" Metal-702.89
  - San MH-9 RM-705.73
  - San MH-10 RM-703.59 Full of Debris
  - San MH-11 RM-704.73
  - San MH-12 RM-707.42 SE 12" RCP-701.02
  - San MH-13 RM-704.09
  - San MH-14 RM-704.01
  - San MH-15 RM-703.96
  - San MH-16 RM-701.28 Full of Debris to Bottom-699.61
  - San MH-17 RM-703.85
  - San MH-18 RM-703.97
  - San MH-19 RM-703.82
  - San MH-20 RM-703.83
  - San MH-21 RM-703.96
  - Sm CB-2 RM-704.49 E 8" PVC-702.19
  - Sm CB-3 RM-704.64 W 8" PVC-703.10
  - Sm CB-4 RM-705.62 N 8" RCP-700.67 S 12" RCP-700.67
  - Sm CB-5 RM-705.09 N 12" RCP-703.71 NW 4" PVC-705.41
  - Sm CB-7 RM-707.42 E 8" PVC-704.96 NW 4" CPP-705.47
  - Sm CB-9 RM-705.73
  - Sm CB-10 RM-703.59 Full of Debris
  - Sm CB-11 RM-704.73
  - Sm CB-12 RM-707.42 SE 12" RCP-701.02
  - Sm CB-13 RM-704.09
  - Sm CB-14 RM-704.01
  - Sm CB-15 RM-703.96
  - Sm CB-16 RM-701.28 Full of Debris to Bottom-699.61
  - Sm CB-17 RM-703.85
  - Sm CB-18 RM-703.97
  - Sm CB-19 RM-703.82
  - Sm CB-20 RM-703.83
  - Sm CB-21 RM-703.96

- SURVEYOR NOTES:**
- Field Work Completed on 08-24-18
  - Prepared for Terra Consulting Group.
  - Site Address: 7646-7648 W. 159th Street, Orland Park IL
  - Pin No.: 27-13-308-020
  - The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
  - Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.
  - No boundary corners were set at time of field survey of the subject property by client agreement.
  - This plat was prepared without the aid of a title commitment. Refer to a current title commitment for any building lines or easements not shown on this plat.
  - The utilities as shown on this drawing were developed from the information available. This is not implied nor intended to be the complete inventory of utilities in this area. It is the clients responsibility to verify the location of all utilities (whether shown or not) and protect said utilities from any damage.
  - Benchmark Used: On Site  
Water Valve in the north right of way of 159th Street. South of the property and east of the easterly most asphalt drive.  
Elevation=706.10' (NAVD 88)
  - The location of underground utilities was determined by field observations and visible markings only. Call J.U.L.I.E. before digging.
  - The location of underground utilities was determined by field observations, visible markings and information provided by others.

- LEGEND:**
- Set 1/2" Iron Pipe
  - Iron Pipe
  - Found Cross
  - BOLLARD
  - CULVERT DRAIN/F.E.S.
  - LIGHT POLE
  - TELEPHONE PED
  - TREE
  - MAIL BOX
  - FIRE HYDRANT
  - WATER MANHOLE
  - WATER VALVE
  - TRANS. POLE
  - UTILITY POLE
  - GAS METER
  - SANITARY MANHOLE
  - STORM MANHOLE
  - CATCH BASIN
  - INLET
  - ELEC. METER
  - SIGN
  - WOOD POST
  - ELECTRIC TRANSFORMER
  - TELEPHONE NETWORK
  - TRAFFIC MANHOLE
  - ELECTRIC OUTLET
  - STEEL POST
  - AIR CONDITIONER
  - UTILITY FLAG
  - PAINT MARKER
  - C-GAS
  - E-ELECTRIC
  - A-AT&T
  - O-ORANGE
  - B-BLUE

**SUBMITTALS AND REVISIONS**

NO.	DESCRIPTION	DATE
1	VIL. PRELIM. REV. #1	12-14-18
2	VIL. PRELIM. REV. #2	1-18-19

**PRELIMINARY SITE PLAN**

FOR

**SITE IMPROVEMENTS**

**CAR WASH FACILITY**

7648 W. 159th ST.  
 ORLAND PARK, IL 60462

DESIGNED BY: M.S.E.  
 DRAWN BY: K.S.B.  
 DATE: 09/11/2018  
 PROJECT #: 1518

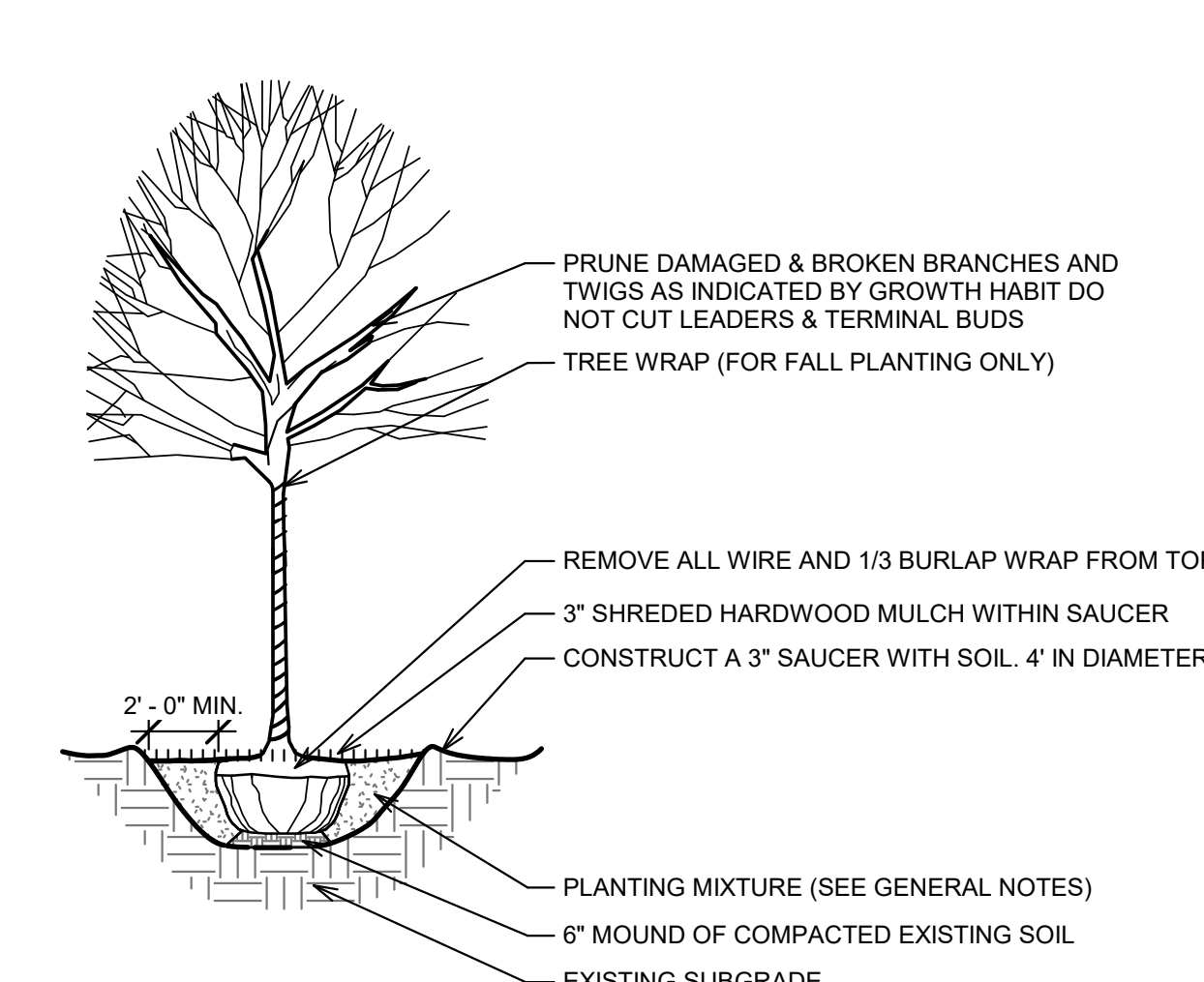
**EXISTING CONDITIONS**

**SHEET NUMBER**

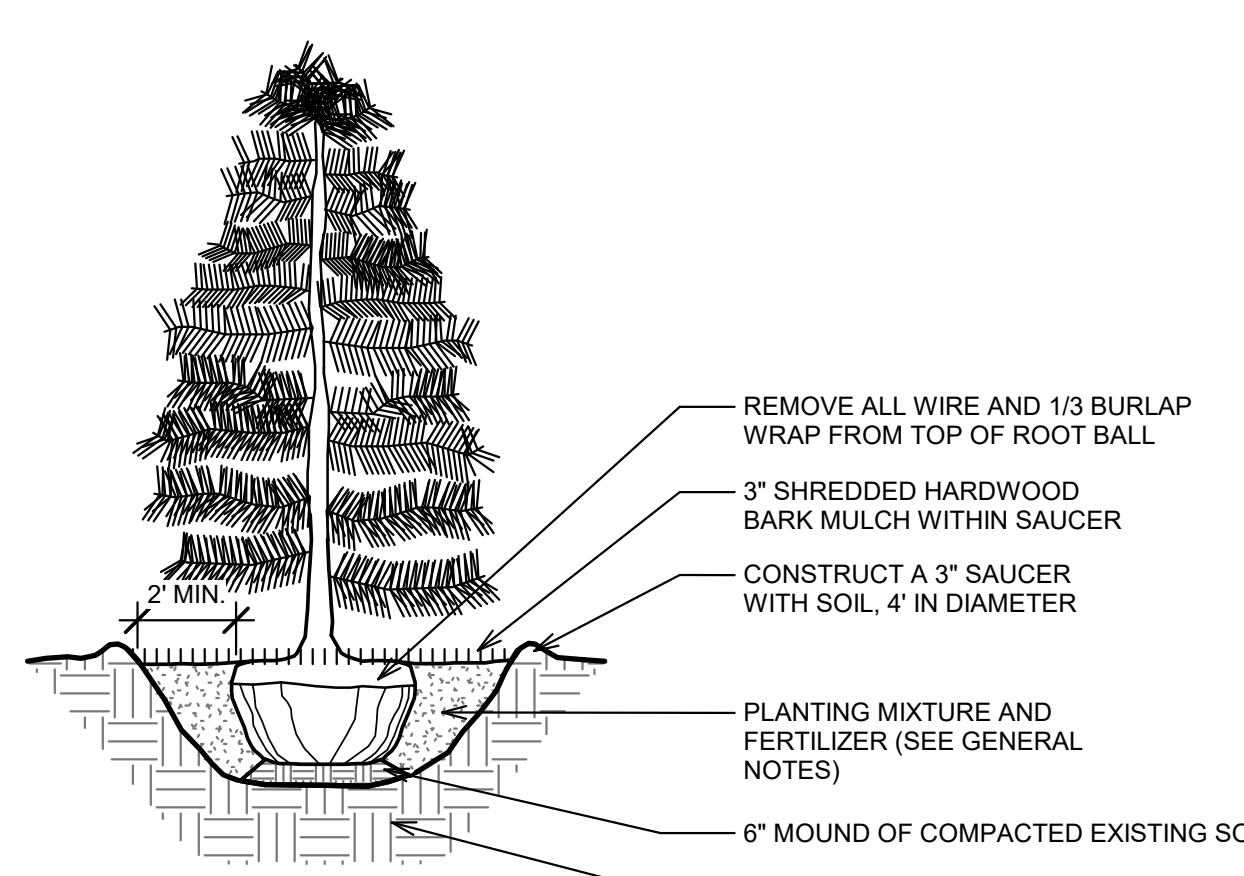
**C-2**



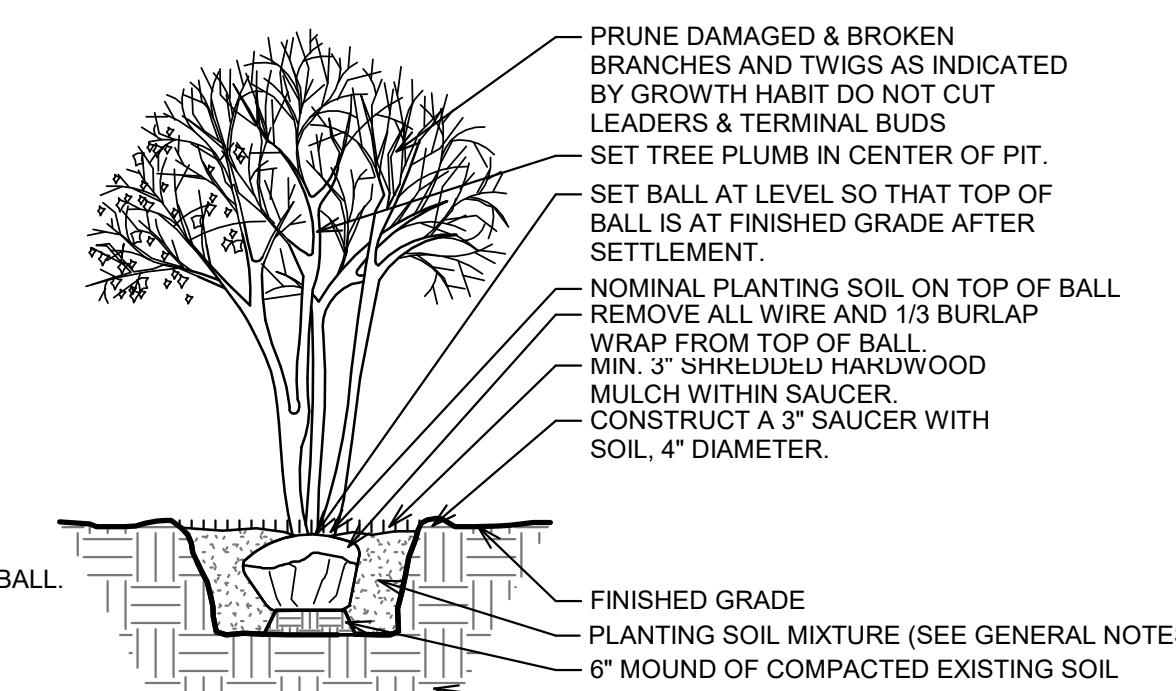




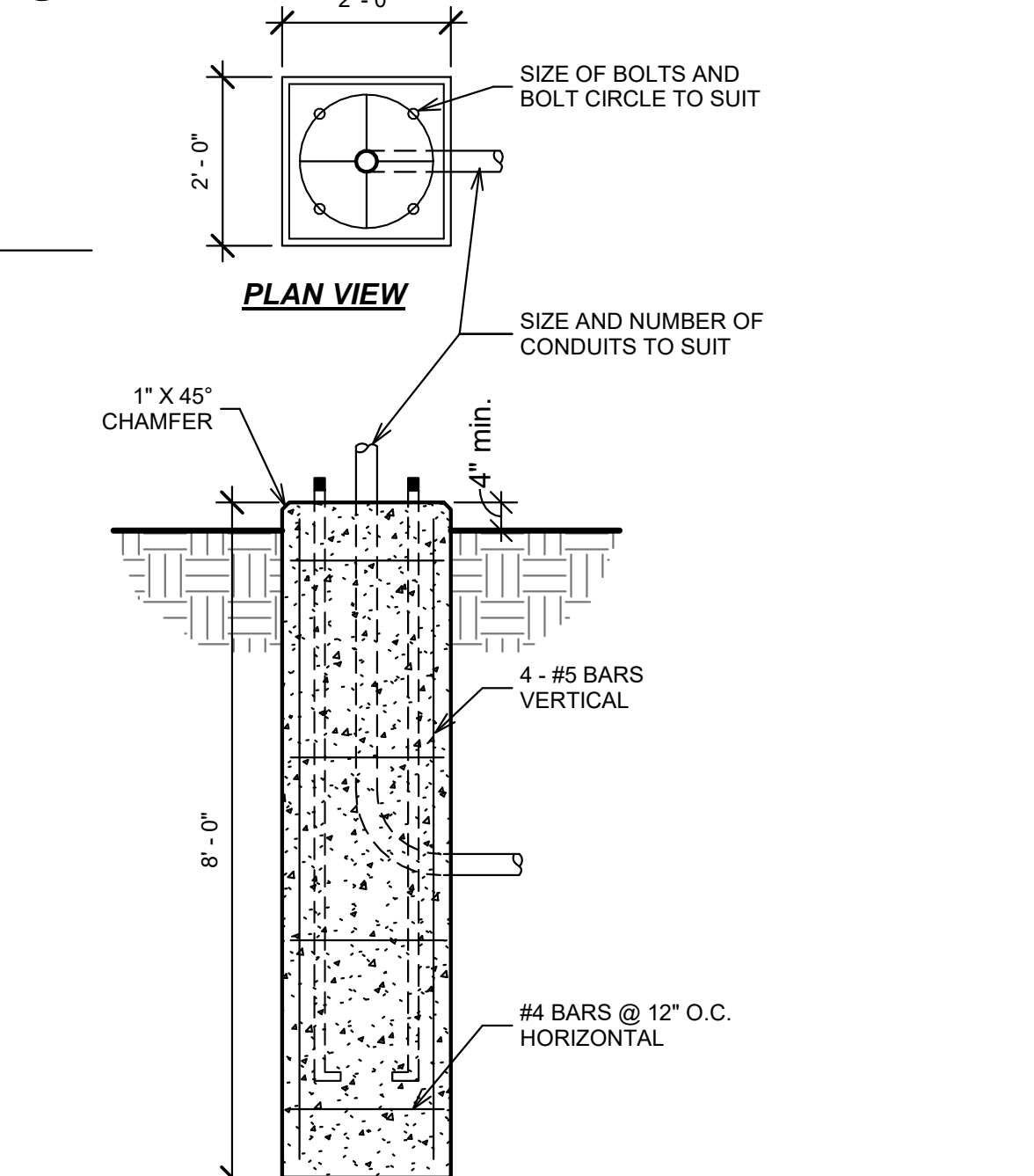
**DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 3/16" = 1'-0"



**ORNAMENTAL TREE PLANTING DETAIL**  
SCALE: 1/4" = 1'-0"



**LARGE SHRUB PLANTING DETAIL**  
SCALE: 1/4" = 1'-0"



**SECTION VIEW**  
SCALE: 1/2" = 1'-0"

LEGEND	QUANT.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES/SPECIAL CONDITIONS
<b>CANOPY SHADE TREES</b> (Min. Size at planting 2.5' Caliper)					
QR	8	Quercus Rubra	Red Oak	2.5' caliper / 8' ht	
ZS	7	Zelkova Serrata	Japanese Zelkova	2.5' caliper / 8' ht	
AR	5	Acer Rubrum	Red Maple	2.5' caliper / 8' ht	
PC	1	Pyrus Calleryana 'Bradford'	Bradford Pear	2.5' caliper / 8' ht	1 existing to remain
JN	1	Juglans Nigra	Black Walnut	2.5' caliper / 8' ht	1 existing to remain
<b>ORNAMENTAL TREES</b> (Min. Size at planting 6' or 2" Caliper)					
MG	11	Magnolia Siebolda	Star Magnolia	6' ht	
AG	7	Amelanchier x 'Grandiflora'	Apple Serviceberry	6' ht	
MA	9	Magnolia x 'Ann'	Ann Magnolia	6' ht	
MS	1	Magnolia x 'Soulangeana'	Saucer Magnolia	6' ht	1 existing to remain
<b>EVERGREEN TREES</b> (Min. Size at planting 6')					
PO	7	Picea Omorika	Spruce, Serbian	6' ht	
TO	14	Thuja Occidentalis 'Emerald Green'	Emerald Green Arborvitae	6' ht	mature height 8'-12'
JV	16	Juniperus Virginiana	Eastern Redcedar	6' ht	5 existing to remain
<b>EVERGREEN / SHRUB</b> (Min. Size at planting 18" to 24")					
EA	19	Euonymus alatus 'Compact'	Dwarf Burning Bush	36" spr	
MP	56	Taxus x media 'Everlow'	Dark Yew - tall	30" spr / 24' ht	
TM	0	Myrica Pennsylvanica	Bayberry	30" spr	Planted at a min. 4'-0" Height
AM	121	Aronia Melanocarp 'Morton'	Black Chokeberry	30" spr	4' to 6' mature height
<b>ORNAMENTAL GRASS, PERENNIALS, VINES</b>					
VN	252	Vergosa Nemorosa	Salvia (Blue)	2' pot	mature height 2'
VM	451	Vinca minor	Periwinkle	2' pot	mature height 18"
EC	120	Elyonurus fortunei 'Cokoralis'	Purpleleaf Wintercreeper	2' pot	ground cover
SL	TBD	Sagittaria Lancifolia	Lanceleaf Arrowhead	2' pot	Use in Wetland Basin
RL	TBD	Rudbeckia Lacinata	Green-headed Coneflower	2' pot	Use in Wetland Basin / Embankment
CP	292	Carex Pennsylvanica	Sedge	18" spread	
SS	400	Schizachyrium Scoparium	Little Bluestem	24" spr	mature height 2'
SH	100	Sporobolus Heterolepis	Prairie Dropseed	24" spr	mature height 2'

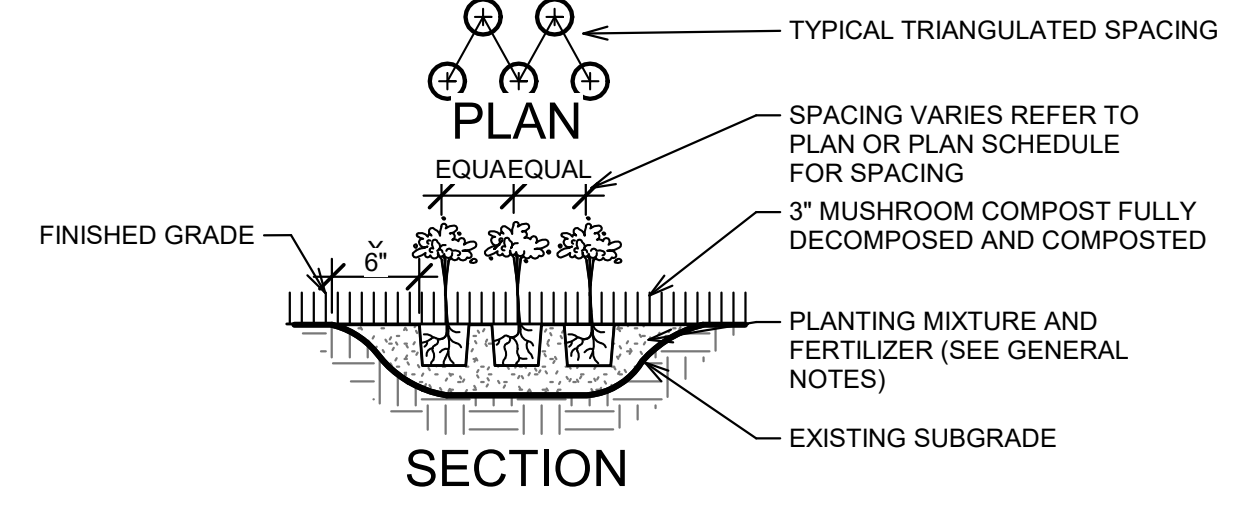
SHRUBS SHALL NOT EXCEED A MATURE HEIGHT OF THIRTY INCHES (30") ABOVE PAVEMENT ON LANDSCAPE ISLANDS AT THE END OF PARKING ROWS

Botanical Name	Common Name	Oz./Acre
<b>Wet Prairie - Detention Basin Mix</b>		
<b>Permanent grasses</b>		
Carex cristata	Crested Oval Sedge	1.00
Carex lurida	Bottlebrush Sedge	2.00
Carex vulpinoidea	Brown Fox Sedge	2.00
Elymus virginicus	Virginia Wild Rye	12.00
Glyceria striata	Fowl Manna Grass	1.25
Juncus effusus	Common Rush	1.00
Juncus torreyi	Torrey's Rush	0.25
Leersia oryzoides	Rice Cut Grass	1.00
Panicum virgatum	Switch Grass	8.00
Scirpus atrovirens	Dark Green Rush	1.00
Scirpus cyperinus	Wool Grass	0.50
Scirpus fluviatilis	River Bulrush	0.25
Scirpus validus	Great Bulrush	6.00
<b>Total Oz./Acre</b>		<b>40.25</b>
<b>Forbs</b>		
Altisma spp.	Water Plantain Mix	4.25
Asclepias incarnata	Swamp Milkweed	1.50
Bidens spp.	Bidens Mix	2.00
Helenium autumnale	Sneezeweed	2.00
Lycopus americanus	Common Water Horehound	0.25
Mimulus ringens	Monkey Flower	1.00
Penstemon sedoides	Ditch Stonecrop	0.50
Polygonum persic.	Pinkweed	4.00
Rudbeckia sub.	Sweet Black-Eyed Susan	1.00
Sagittaria latifolia	Common arrowhead	1.00
Senna hebecarpa	Wild Senna	1.00
Thalictrum das.	Purple Meadow Rue	2.00
<b>Total Oz./Acre</b>		<b>20.50</b>

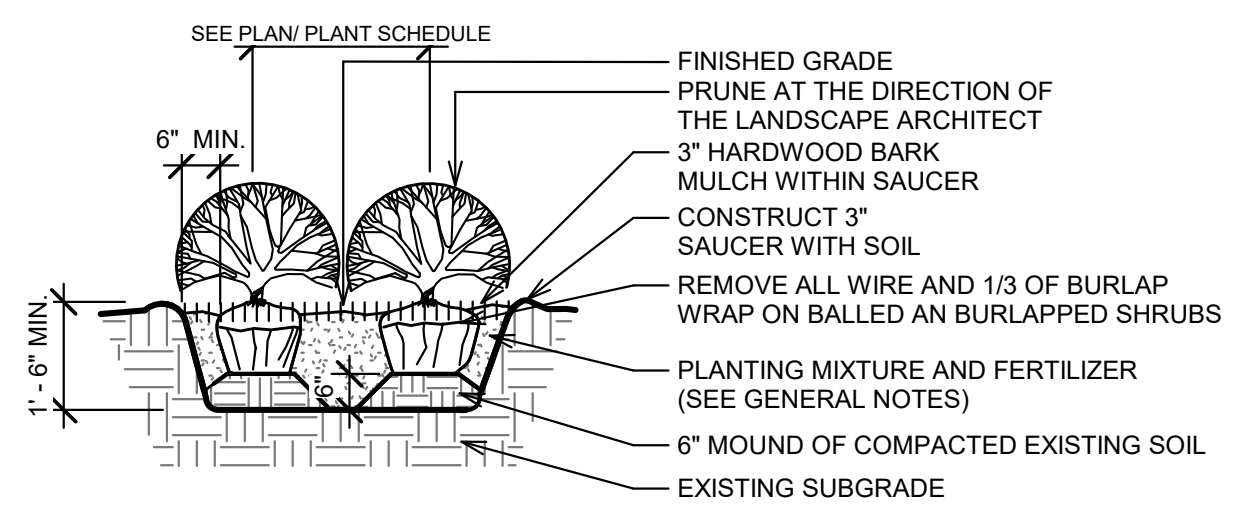
FINAL CALCULATIONS TO BE DETERMINED UPON APPROVAL OF FINAL DETENTION AREA DESIGNS

**GENERAL NOTES**

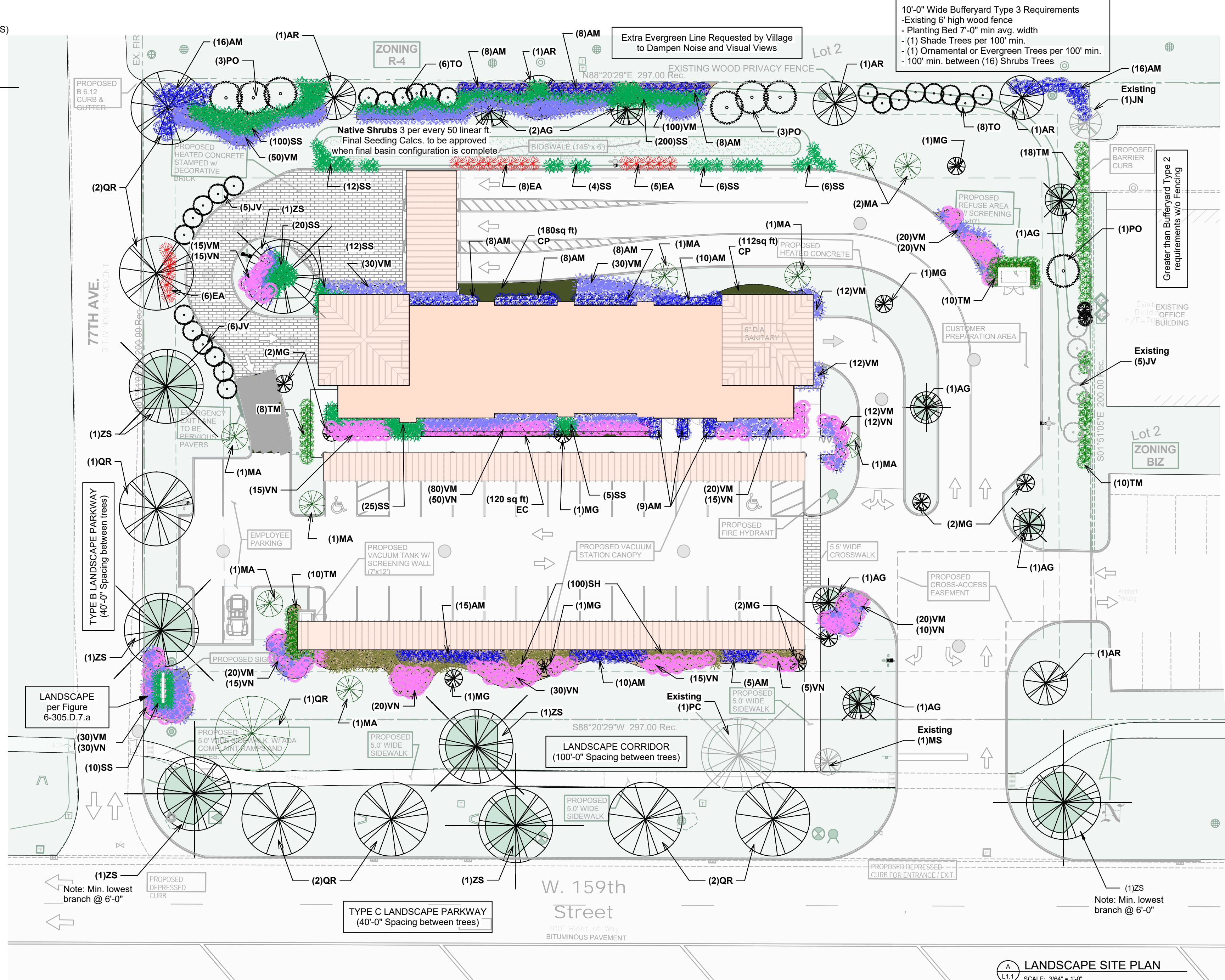
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT / OWNER IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
- VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES.
- ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.
- CONTRACTOR SHALL NOTIFY OWNER OF ANY UNDESIRABLE DRAINAGE CONDITIONS AND RECOMMEND SUITABLE SOLUTIONS. WHERE NECESSARY TO ACHIEVE PROPER DRAINAGE, UNDER DRAINAGE FOR TREE PITS SHALL BE INSTALLED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL REPAIR IN KIND ALL AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
- ALL TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 2" OF SHREDDED HARDWOOD MULCH.
- ALL GROUND COVER / PERENNIAL BEDS TO RECEIVE A MINIMUM 2" OF MUSHROOM COMPOST.
- SIZES SHOWN ON PLANTING PLAN ARE MINIMUM ACCEPTABLE SIZES.
- LANDSCAPE CONTRACTOR SHALL WARRANT ALL TREES, SHRUBS, VINES, GROUNDCOVERS AND PERENNIALS UNDER THIS CONTRACT WILL BE HEALTHY AND IN FLOURISHING CONDITION OF ACTIVE GROWTH ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIALS.
- THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES AND SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS, BULBS, AND GROUND COVERS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND AND TWO (2) PARTS DECOMPOSED MUSHROOM COMPOST. SOIL SHALL MEET THE FOLLOWING REQUIREMENTS: SOIL COMPOSITION-45-77% SILT, 0-25% CLAY, 25-33% SAND; SOIL ACIDITY: Ph 6.0-7.0; SOIL ORGANIC CONTENT: THREE (3) TO FIVE (5) PERCENT.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINER GROWN AS SPECIFIED ON PLANTING PLAN. ALL PLASTIC ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.
- LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL TREES AND PLANTING BED LINES AND HAVE LAYOUT APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
- WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. FLOOD PLANTS TWICE DURING FIRST TWENTY-FOUR HOUR PERIOD AFTER PLANTING.
- ALL NEW AND TRANSPLANTED PLANTS TO BE SPRAYED WITH AN ANTI-TRANSPIRANT WITHIN TWENTY FOUR HOURS AFTER PLANTING. ANTI-TRANSPIRANT SHALL BE EQUAL TO "WILTPROOF".
- ALL MUD SHALL BE REMOVED FROM ALL TIRES BEFORE LEAVING THE SITE AND ROADS SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.



**GROUND COVER PLANTING DETAIL**  
SCALE: 3/8" = 1'-0"



**SMALL SHRUB PLANTING DETAIL**  
SCALE: 3/8" = 1'-0"



**LANDSCAPE SITE PLAN**  
SCALE: 3/64" = 1'-0"



6' TALL EXISTING FENCE VIEW FROM RESIDENTIAL AREA



6' TALL EXISTING FENCE VIEW FROM PROJECT SITE

**NERI ARCHITECTS, PC**  
444 N. NORTHWEST HWY. STE 355  
PARK RIDGE, IL 60068  
TEL 847.825.9400

PROJECT # 1826  
DATE: 01/18/19

**NEW AUTOMATED CARWASH FACILITY "VODA"**  
7648 W 159th St  
ORLNAD PARK, IL 60462  
NOT FOR CONSTRUCTION - PRELIM REVIEW

J.J.	ISSUED FOR PERMIT
▲	REVISIONS
DRAWN BY:	MAM / RAM
APPROVED BY:	GCN
SCALE:	AS NOTED
DESCRIPTION:	LANDSCAPE PLAN
SHEET NO.	L1.1

**..Title/Name/Summary**

Voda Car Wash - Development Petition for Site Plan, Elevations, Landscape Plan, Special Use Permit with Modifications

**..History**

**QUICKFACTS**

**Project**

Voda Car Wash – 7648 W. 159<sup>th</sup> Street  
2018-0644

**Petitioner**

Drago Glavac

**Purpose**

The petitioner seeks approval to construct a 4,983 square foot car wash building on a 1.36 acre parcel located at 7648 W. 159<sup>th</sup> Street.

**Requested Actions:** Site Plan, Elevations, Landscape Plan, and Special Use Permit with Modifications

**Address:** 7646-7648 W. 159<sup>th</sup> Street

**P.I.N.:** 27-13-308-062-0000

**Parcel Size:** 1.36 acres

**Comprehensive Plan Planning District & Designation:** 159<sup>th</sup> and Harlem Planning District with Community Commercial Designation

**Existing Zoning:** BIZ General Business District

**Existing Land Use:** Vacant (Former garden center /greenhouse)

**Proposed Land Use:** Car wash

**Surrounding Land Uses & Zoning:**

North: R-4 Residential District – Townhomes in the Veritas East subdivision

South: Tinley Park – Commercial Retail, Offices (across 159<sup>th</sup> Street)

East: BIZ General Business District – Offices, Gas Station

West: Unincorporated Cook County – Vacant Land (across 77<sup>th</sup> Avenue)

**Preliminary Approvals:** Preliminary engineering and landscape plan approvals have been granted for this project to move forward to the Plan Commission.

**BACKGROUND**

The site was formerly used as a garden center and plant nursery. On March 24, 2003, the Village Board approved a Special Use Permit for the Planned Development for Every Bloomin' Thing by Ordinance No. 3739 (Legistar File ID # 2002-0648) to allow for the consolidation of two lots into one lot, multiple buildings located on the proposed combined lot, and a modification to permit additional parking spaces above Land Development Code

requirements. An Amendment to the Special Use Permit was approved on April 20, 2009 by Ordinance No. 4478 (Legistar File ID# 2008-0094) to allow for an amended site plan and modification to reduce the front and side setback requirements from 15 feet to 8 feet along 77<sup>th</sup> Avenue and from 25 feet to 5 feet along 159<sup>th</sup> Street to accommodate an agricultural canopy for the display of landscaping plant materials.

The site has not been used as a garden center for several years and is vacant. There are three (3) existing buildings currently located on the property.

### **PROJECT DESCRIPTION**

The petitioner is proposing to construct a 4,983 square foot car wash building on a 1.36 acre parcel located at 7648 W. 159<sup>th</sup> Street, at the northeast corner of 159<sup>th</sup> Street and 77<sup>th</sup> Avenue. The proposed site plan consists of thirty-two (32) parking spaces, drive-through lanes, a pay station canopy, vacuum station canopies, and landscape enhancements. The project will also include a new consolidated access drive from 159<sup>th</sup> Street and improvements to 77<sup>th</sup> Avenue.

Car washes, both with automatic and self-service operations, are classified as motor vehicle services, which require approval of a Special Use Permit in the BIZ General Business District. The petitioner requests approval of a Special Use Permit to allow for motor vehicles services in the BIZ General Business District with the following modifications listed below:

1. Locate a drive-through lane, a parking lot, vacuum station canopies, and a vacuum equipment enclosure in the setback area between the building façade and the street (Section 6-207.F.4; Section 6-306.E)
2. Increase the number of parking spaces from three (3) to thirty-two (32) spaces (Section 6-306.B)
3. Allow for the lot to have driveway access to 159<sup>th</sup> Street, an arterial street, and no driveway access at this time to 77<sup>th</sup> Avenue, a local street (Section 6-406.B.10)
4. Remove the requirement for a sidewalk along 77<sup>th</sup> Avenue (Section 6-406.A.2)

With the exception of the requested modifications, the project conforms to the Village's Comprehensive Plan, Land Development Codes and policies for this area.

### **SITE PLAN**

The site plan consists of a 4,983 square foot car wash building, a parking lot with two (2) vacuum station canopies and employee parking, a cross access drive connecting to the adjacent property to the east, and new landscaped areas. The proposed drive-through lanes will extend around the north, east, and west sides of the building. The site will be accessible from a new consolidated curb cut off of 159<sup>th</sup> Street. No access is proposed to 77<sup>th</sup> Avenue at this time. Stormwater detention for the new development will be accommodated underground.

### **MOBILITY**

#### **Vehicular/Traffic**

The site is currently accessed from two curb cuts along 159<sup>th</sup> Street, a major arterial street under IDOT jurisdiction, and from 77<sup>th</sup> Avenue, a Village local street. The two existing driveways along 159<sup>th</sup> Street will be removed and replaced with a full access curb cut on the east portion of the site. The proposed changes impacting access along 159<sup>th</sup> Street are subject to IDOT approval. Improvements to 77<sup>th</sup> Avenue will entail the construction of a new

curb and gutter on the east side of the street, curb apron at the 159<sup>th</sup> Street intersection, and pavement in the right-of-way up to the west property line. These improvements are intended to provide a clear boundary along the property line and improve drainage flow to the existing system.

No access will be provided from 77<sup>th</sup> Avenue, which ties into 159<sup>th</sup> Street. A modification is required to allow for access only from 159<sup>th</sup> Street. Per Section 6-406.B.10, for lots fronting both a local street and an arterial street, no driveways shall be installed along the property line of the lot which fronts the arterial street. Staff supports this modification as the subject property currently has access via 159<sup>th</sup> Street. The majority of adjacent properties also have access to 159<sup>th</sup> Street.

Additionally, 77<sup>th</sup> Avenue does not currently meet the Village standard width and roadway requirements. 77<sup>th</sup> Avenue is currently a 33 foot wide dedicated Village right-of-way with pavement ranging from about 16 feet to 22 feet wide. Per the code, local streets are required to have a minimum right-of-way width of 60 feet and a paved width of 24 feet to 30 feet. At this time, 77<sup>th</sup> Avenue will not be able to handle traffic entering the car wash site and could create a potentially unsafe access point to the site. The unincorporated vacant lot to the west currently limits the ability to widen or improve the roadway at this time. However, access to 77<sup>th</sup> Avenue may be granted in the future upon improvement to 77<sup>th</sup> Avenue. Limiting vehicle access from 77<sup>th</sup> Avenue will also reduce any traffic or impacts to the residential property to the northwest.

### **Cross-Access**

An existing cross access drive connecting the site to the property to the east will be removed and a new drive will be installed further to the south. A new easement extending from the east property line through the parking lot up to the west property line to 77<sup>th</sup> Avenue and to the south property line up to 159<sup>th</sup> Street will be established. The petitioner will be required to submit a plat during final engineering vacating the former easement and establishing a new access easement.

### **Drive-through Lanes**

Two (2) drive-through entrance lanes, a car wash exit lane, and a vehicle loading area are proposed on the east side of the building. The vehicle loading area proposed to the east of the two-lane entrance drive-through will allow for a maximum of two (2) vehicles to load prior to entering the car wash drive-through lanes. Three (3) drive-through lanes and a car wash payment canopy are proposed to the north of the building. A single drive-through lane with an emergency exit lane is proposed to the west of the building.

Per Section 6-207.F.4, drive-through facilities are not allowed within the setback area between the building facade and the street unless approved via a modification to a Special Use Permit. In order to qualify for a Special Use Modification, the drive through facility must meet all of the conditions stated in Section 6-207.F.4.

A modification is requested to allow for the single drive-through lane and emergency exit lane between the building and 77<sup>th</sup> Avenue. As proposed, the drive-through lane meets the conditions of Section 6-207.F.4 in terms of the design, maximum width and minimum turning radius, 10 foot setback from all property lines, use of decorative pavement or pervious pavers, and screening and landscaping requirements. The one-lane drive through

between the building and 77<sup>th</sup> Avenue will be constructed of heated concrete stamped with decorative brick to match the brick color on the building. The emergency exit lane will be constructed of Unilock Eco-Optiloc pervious pavers, as shown on the specification sheet submitted by the petitioner.

### **Parking**

Required: Three (3) spaces, including one (1) accessible space

Provided: Thirty-two (32) spaces, including two (2) accessible spaces

Per Section 6-306.B, car washes are required to provide three (3) stacking spaces per drive-through lane plus one (1) parking space per employee. In this case, three (3) parking spaces are required for the three (3) proposed employees and a total of nine (9) stacking spaces are required for the three (3) drive-through lanes. As shown on the submitted site plan, a total of thirty-two (32) parking spaces are proposed, which includes four (4) standard parking spaces, twenty-six (26) standard spaces served by vacuum stations, and two (2) accessible spaces that are also served by vacuums. In total, twenty-eight (28) of the parking spaces will be served by vacuums.

Any request exceeding a twenty percent (20%) increase in the total number of parking spaces permitted on the lot must be approved through a variance / modification to the Special Use Permit. The petitioner has requested a modification to Section 6-306.B. to allow for additional parking spaces associated with the vacuum stations.

The petitioner has also requested a modification to Section 6-207.F.4 to locate a parking lot, as well as the vacuum station canopies and equipment, between the building and the street. The parking lot, which contains the vehicle vacuum canopies and equipment, has been intentionally located away from the adjacent residential properties to the north.

Three (3) bicycle parking spaces are proposed adjacent to the sidewalk at the southeast corner of the building, which meets code requirements per Section 6-306.H.

### **Pedestrian Access**

To accommodate the proposed changes to vehicle access, the petitioner will complete improvements and repairs to the existing public sidewalk along 159<sup>th</sup> Street. Along 159<sup>th</sup> Street, an existing sidewalk section will be removed to accommodate the new access drive and new sidewalk sections, ramps, and a crosswalk will be installed. Within the interior of the site, a new five (5) foot wide sidewalk will be constructed extending from 159<sup>th</sup> Street to the building entrances. Decorative stamped concrete with a brick pattern is proposed where the sidewalk cuts through the parking lot to create a defined pedestrian route.

Per Section 6-406.A.2, sidewalks are required on both sides of all roadways in the Village. A minimum five (5) foot wide sidewalk shall delineate the parkway right-of-way, with an eight (8) foot planting strip between the sidewalk and the roadway's back of curb. The landscape parkway width may be reduced if it meets the code requirements provided in Section 6-305.D.2.

A modification is requested to remove the sidewalk requirement along 77th Avenue. Staff supports this modification given that 77th Avenue does not currently meet the

Village standard width and roadway requirements, the unincorporated vacant lot to the west limits the ability to widen or improve the roadway at this time, and the existing properties to the north and right-of-way boundaries prohibit a future sidewalk extension to the north. The proposed landscape plan meets the parkway landscape zone and drive-through screening requirements. As noted above, the petitioner is also proposing incremental improvements to 77<sup>th</sup> Avenue.

### **BUILDING ELEVATIONS**

The proposed one-story building will be constructed of brown brick, limestone veneer, and an EIFS cornice. The east and west ends of the building will each be accentuated by an accent tower that features a limestone veneer base with large arched windows and matching arched garage doors, topped with a white stucco accent area with four (4) windows on each elevation and a black gabled metal roof. The proposed building height to the top of the parapet wall is 19 feet 6 inches. The overall height to the top of the peak of the tower roof is 33 feet 11 inches.

The central portion of the building has a flat roof and a four (4) foot tall parapet wall, which shall fully screen any proposed mechanical equipment to meet code requirements listed in Section 3-608.J of the Land Development Code. The central portion of the building is composed of brick with limestone accent columns between the windows and a limestone wainscot. The proposed building materials and color scheme are included on the elevations and renderings submitted by the petitioner.

The interior of the car wash building will include a wash tunnel, an office, vending machines and bathrooms for customers, and equipment and mechanical rooms.

Additional information on the proposed elevations of the proposed payment canopy, vacuum station canopies, vacuum equipment enclosure, and garbage enclosure are included in the Accessory Structure section below.

### **LANDSCAPE PLAN**

The preliminary landscape plan has been approved by the Village's landscape consultant, Hey & Associates. The petitioner must submit a final landscape for separate review in conjunction with final engineering. All conditions included in the most recent comment letter must be addressed during final landscape plan review. It is imperative that the landscape design professional and project engineer coordinate their work to provide grading required for landscape compliance.

The landscaping requirements for Landscape Parkways, Landscape Corridors, Landscape Bufferyards, and Foundation and Interior Landscape, and Parking Lot Area Landscape have been met and will be confirmed during final landscape plan review. Stormwater Management Area Landscape and Signage Landscape requirements must be revised to meet the requirements of Section 6-305.D. A revised tree survey and a tree mitigation plan meeting the requirements of Section 6-305.F must be submitted with the final landscape plan.

The petitioner is proposing landscaping above code requirements as an incremental improvement to offset the proposed modifications and to provide a buffer between the existing single-family attached residential lots to the north. Within the north bufferyard,

additional landscaping is proposed that substantially exceeds the Type 3 Landscape Bufferyard code requirements per Section 6-305.D.4. A twenty-seven (27) foot wide landscape bufferyard is proposed exceeding the ten (10) foot wide code requirement. Additional evergreen and ornamental trees beyond code requirements will be planted and an existing six (6) foot tall wood privacy fence along the north property line will help provide a visual and noise buffer between the residential properties to the north. The landscape area will also include a mix of shade trees, shrubs, perennials, grasses, and a small bioswale planted with native plantings. A monitoring and management (M&M) plan will be required for the bioswale at the time of final review.

Additionally, the petitioner is proposing additional landscaping along 159<sup>th</sup> Street to offset the requested modification to Section 6-207.F.4 to allow for a parking lot, drive-through lane, vacuum station canopies, and a vacuum equipment enclosure between the building and the street. The landscaping is intended to screen these elements from view and offset visual impacts from the street. In order to qualify for a Special Use modification to located the drive-through lane between the building and 77<sup>th</sup> Avenue, the drive through facility must meet all of the conditions stated in Section 6-207.F.4. One of these conditions is to screen drive-through with a combination of masonry walls and/or decorative landscaping in order to provide a solid buffer at a minimum height of 36 inches. In this case, the petitioner has provided landscape screening between the proposed drive-through lane and 77<sup>th</sup> Avenue to meet the code requirements. Additional landscaping above code requirements is also proposed along 159<sup>th</sup> Street to screen the parking lot, vacuum station canopy, and vacuum equipment enclosure.

## **DETAILED PLANNING DISCUSSION**

### **Preliminary Engineering**

Preliminary engineering approval has been granted for this project by the Village's engineering consultant, Christopher B. Burke Engineering Ltd. (CBBEL). Final engineering submittal must address all previous review letter comments as well as any future engineering comments.

Detention/Retention – All required detention is proposed underground in a vault system. A bioswale is proposed in the rear landscape buffer to pre-treat runoff prior to entering the storm sewer system.

Traffic Study – The petitioner has submitted a traffic study for this project, which is required for all proposed developments with drive-through facilities under Section 6-405. According to the traffic study, the proposed access drive will be adequate in accommodating the traffic projected to be generated by the car wash, the site layout will provide adequate stacking, and the adjacent intersections will continue operating at acceptable levels of service under future conditions. The proposed changes to the site and the traffic study must be submitted to and approved by IDOT.

Lighting – A photometric plan will be reviewed during final engineering and shall meet the requirements of Section 6-315. In this case, Lighting Class 2 would be required for the project. Where non-residential is proposed adjacent to residential, 0 foot candles are allowed at the property line and a maximum light level of 15 foot candles is allowed within the interior of the site.



## **Comprehensive Plan**

According to the Village's Comprehensive Plan, the subject property is located in the 159<sup>th</sup> and Harlem Planning District and is designated as Community Commercial, which serves "the nearby community and passing motorists with area-wide services in a primarily single use or horizontal mixed-use environment." This designation includes a wide variety of uses, such as automobile dealerships, retail centers, restaurants, offices, and other services. The proposed car wash is an appropriate land use within this designation.

## **Land Use/Compatibility**

The proposed car wash is compatible with the BIZ General Business District, the surrounding existing uses along 159<sup>th</sup> Street, and the Comprehensive Plan designation for this area. The surrounding area is comprised of a mix of established commercial uses along 159<sup>th</sup> Street, which includes offices, retail, restaurants, and motor vehicle services, such as a gas stations, car repair shops, and car dealerships. Townhomes in the Veritas East subdivision are located directly to the north of the site. The property to the west of the site across 77<sup>th</sup> Avenue is currently vacant and located in unincorporated Cook County. Two single-family homes to the north of the vacant lot on the west side of 77<sup>th</sup> Avenue are also unincorporated. The commercial uses to the south of 159<sup>th</sup> Street are located in Tinley Park.

## **Special Use Permit**

### Previous Approvals

Two special use permits were previously approved for the site. On March 24, 2003, the Village Board approved a Special Use Permit for the Planned Development for Every Bloomin' Thing by Ordinance No. 3739 to allow for the consolidation of the two existing lots into one lot, to allow for multiple buildings on the proposed combined lot, and to allow for a modification to permit additional parking spaces above Land Development Code requirements. An Amendment to the Special Use Permit was approved on April 20, 2009 by Ordinance No. 4478 for an amended site plan and modification to the front and side setback requirements. The modification allowed for side and front setback reductions to be reduced from 15 feet to 8 feet along 77<sup>th</sup> Avenue and from 25 feet to 5 feet along 159<sup>th</sup> Street to accommodate an agricultural canopy for display of landscaping plant materials.

With the proposed changes to the site design and land use, staff recommends that the previous ordinances are repealed and replaced with a new Special Use Permit.

### Proposed Special Use Permit

Car washes, both with automatic and self-service operations, are classified as motor vehicle services, which require approval of a Special Use Permit in the BIZ General Business District per Section 6-207.C.12 of the Land Development Code. Per Section 5-105.E. of the Land Development Code, the Plan Commission shall consider the extent to which the proposed project will meet the eight Special Use Standards listed in the Code. The petitioner has provided responses to the Special Use Standards, which are attached for review.

## **Modifications**

As part of the Special Use Permit, the petitioner is requesting four (4) modifications to the Land Development Code, which are discussed in the responses to the Special Use Standards submitted by the petitioner. The requested modifications are listed below:

1) Locate a drive-through lane, a parking lot, vacuum station canopies, and a vacuum equipment enclosure in the setback area between the building façade and the street (Section 6-207.F.4; Section 6-306.E)

The petitioner has requested that the parking lot, vacuum station canopies, and vacuum equipment enclosure be located between the building and 159<sup>th</sup> Street to offset potential noise and impacts to the adjacent residential properties to the north of the site. Additional plant material is proposed in the landscape area to the south along 159<sup>th</sup> street to offset the impact of the proposed modification and visual impacts from the street.

A single drive-through lane is proposed between the building and 77<sup>th</sup> Avenue to accommodate site circulation and allow for vehicles to enter the car wash building. The project is required to meet all of the conditions listed in Section 6-207.F.4 in order to qualify for a modification to allow for a drive-through lane between the building and the street. As proposed, all of the drive-through standards and conditions are met.

2) Increase the number of parking spaces from three (3) to thirty-two (32) spaces (Section 6-306.B)

The Land Development Code requires one (1) parking space per employee for car wash uses. For this project, three (3) parking spaces are required to serve the three (3) employees. A total of thirty-two (32) parking spaces are proposed, which includes four (4) standard parking spaces, twenty (26) standard spaces served by vacuums, and two (2) accessible spaces served by vacuums. Any request exceeding a twenty percent (20%) increase in the total number of parking spaces permitted on the lot must be approved through a modification to the Special Use Permit. The request for additional parking will accommodate the vacuum canopies and equipment, which are an integral to the operations of car wash facilities, but are not adequately addressed by the Land Development Code.

3) Allow for the lot to have driveway access to 159<sup>th</sup> Street, an arterial street, and no driveway access at this time to 77<sup>th</sup> Avenue, a local street (Section 6-406.B.10)

Per Section 6-406.B.10, for lots fronting both a local street and an arterial street, no driveways shall be installed along the property line of the lot which fronts the arterial street. As proposed, the two existing driveways off of 159<sup>th</sup> Street will be consolidated into a single access point, with no access provided from 77<sup>th</sup> Avenue. A modification is required to allow for access only from 159<sup>th</sup> Street. The modification will allow for the site to continue having access via 159<sup>th</sup> Street. Because 77<sup>th</sup> Avenue does not meet the Village standard width and roadway requirements, the street may not be able to handle traffic entering the car wash site. The unincorporated vacant lot to the west currently limits the ability to widen or improve the roadway at this time. However, access to 77<sup>th</sup> Avenue may be granted in the future upon the improvement of 77<sup>th</sup> Avenue. As part of the project, the petitioner is proposing improvements to the curb, pavement, and storm water drainage along 77<sup>th</sup> Avenue.

4) Remove the requirement for a sidewalk along 77<sup>th</sup> Avenue (Section 6-406.A.2)

Per Section 6-406.A.2, sidewalks are required on both sides of all roadways in the Village. A minimum five (5) foot wide sidewalk shall delineate the parkway right-of-way, with an eight (8) foot planting strip between the sidewalk and the roadway's back of curb. The landscape parkway width may be reduced if it meets the code requirements provided in Section 6-305.D.2. A modification is requested to remove the sidewalk requirement along 77<sup>th</sup> Avenue. A sidewalk extension to the north is restricted because 77<sup>th</sup> Avenue does not currently meet the Village standard width and roadway requirements, the unincorporated

vacant lot to the west limits the ability to widen or improve the roadway at this time, and the existing properties to the north and right-of-way boundaries do not provide an adequate connection. The proposed landscape plan meets the parkway landscape zone and drive-through screening requirements. As noted above, the petitioner is also proposing incremental improvements to 77<sup>th</sup> Avenue.

### **Incremental Improvements**

Incremental improvements that exceed Code requirements are proposed to help offset the impacts of the requested modifications. Incremental improvements include:

1. Enhanced landscaping in the north bufferyard to provide an additional buffer between the residential uses to the north
2. Enhanced landscaping and screening of the parking lot, vacuum station canopies, and vacuum equipment along 159<sup>th</sup> Street
3. Enhanced architectural design of the vacuum station canopies visible from 159<sup>th</sup> Street
4. Improvements to 77<sup>th</sup> Avenue

### **Noise Control Requirements**

The proposed car wash, including all vacuum equipment, must abide by all Noise Control Regulations set forth in the Title 6, Chapter 4 of the Village Code.

### **Signage**

A monument sign is proposed at the southwest corner of the site. The conceptual appearance of the monument sign and wall signs are indicated on the submitted building elevations and renderings. Signage is not included as part of this petition. All signs are subject to a separate sign permit review by the Development Services Department and must comply with Section 6-307 of the Land Development Code.

### **Accessory Structures**

Garbage Enclosure – A garbage enclosure is proposed near the customer preparation loading area on the east side of the. As shown on the proposed elevations, Sheet A-3.2, the garbage enclosure will measure 9 feet 8 inches by 5 feet 8 inches, with an overall height of 6 feet 9 inches. It will be constructed of brick walls with a limestone base and brown louvered gates to match the materials and colors used on the building. As proposed, the garbage enclosure meets the requirements of the Land Development Code.

Payment Canopy, Vacuum Canopies, and Vacuum Equipment – A payment canopy is proposed over the three (3) drive-through lanes to the north of the building. Two vacuum station canopies will be located in the parking lot to the south of the building. The payment canopy and the vacuum station canopies feature a similar design in order to create a unified appearance throughout the site. The aluminum columns and curved standing seam metal roofs will be dark brown in color. The base of the columns will be wrapped with brick veneer and limestone to match the building materials and colors.

The pay station canopy measures approximately 36 feet long and 15 feet wide, with an overall height of 12 feet 6 inches and a 10 foot vertical clearance for vehicles. As shown on Sheets A-3.1 and A-3.3, the vacuum station canopies will have a height of 11 feet 6 inches, a width of 7 feet 10 inches wide, and a 9 foot 6 inch vertical clearance for vehicles. The south vacuum canopy will extend over a small enclosure, shown on Sheet A-3.3, which will house the vacuum equipment and tank. The proposed vacuum enclosure measures 5 feet

½ inches by 12 feet 2 ½ inches, with an overall height of 6 feet 9 inches. The vacuum equipment enclosure will be constructed of brick with a stone base to match the building.

### **Mechanicals/Utility Conduits**

All mechanical equipment must be screened, either at grade level with landscaping or hidden behind the roofline. Exterior roof ladders are not permitted and must be located interior to the building. The petitioner has verified that all mechanical equipment will be screened from view. The proposed roof ladder will be accessed from an equipment room inside the building.

### **Exactions and/or Incentives**

All exaction fees, including but not limited to transportation, parks and schools, are to be paid to the Village per Code requirements.

### **Bulk Requirements**

#### Lot Size

Minimum – 10,000 square feet

Proposed – 59,415.84 square feet (1.364 acres)

#### Lot Coverage

Maximum – 75%

Proposed – 54.33%

The proposed project will significantly reduce lot coverage. The existing lot coverage is 64.8% and will be reduced to 54.3%.

#### Floor Area Ratio (FAR)

Maximum – 1.0

Proposed – 0.08

#### Setbacks

Front Setback (159<sup>th</sup> Street – South Yard):

Required – 25 feet

Proposed – 95.17 feet (building); 22 feet (canopy)

Side Setback (77<sup>th</sup> Avenue – West Yard):

Required – 25 feet

Proposed – 56.92 feet

Side Setback (East Interior Yard):

Required – 15 feet

Proposed – 89 feet

Rear Setback (North Yard):

Required – 30 feet

Proposed – 68.62 feet (building); 27 feet (canopy)

A twenty-five (25) foot front setback along 159<sup>th</sup> Street is required in the BIZ District. As proposed, the building meets this requirement and will be setback 95.17 feet from the front

property line. The south vacuum station canopy will encroach 3 feet into the 25 foot front setback and the north payment canopy will encroach 3 feet into the 30 foot rear setback. Per Section 6-302 of the Land Development Code (Accessory Structures and Uses), canopies are allowed to project not more than three (3) feet into front (including approved existing front setbacks which are less than the required front setback), side and rear setbacks.

The petitioner has also requested a modification to Section 6-207.F.4 to locate a parking lot, as well as the vacuum station canopies and equipment, between the building and the street. The parking lot, which contains vehicle vacuum equipment, has been located away from the adjacent residential properties to the north.

#### Building Height

Maximum – 4 stories or 50 feet, whichever is higher

Proposed – 19 feet 6 inches to the top of the parapet wall; 33 feet 11 inches to the top of the tower roof peak

#### Parking and Loading

Required Parking Spaces – 3 parking spaces

Proposed Parking Spaces – 32 parking spaces

Required Stacking Spaces – 9 spaces (3 spaces per drive-through lane)

Proposed Stacking Spaces – 32 spaces

As noted above, the petitioner has requested a modification to Section 6-306.B to allow for an increase to the number of parking spaces from three (3) to thirty-two (32) spaces. The additional parking spaces will be used as vacuum stations, which is integral to the car wash business operations. Any request exceeding a twenty percent (20%) increase in the total number of parking spaces permitted on the lot must be approved through a variance / modification to the Special Use Permit.

This case is now before Plan Commission for consideration.

#### ..Recommended Action/Motion

Regarding Case Number **2018-0249**, also known as **Voda Car Wash**, I move to accept and make findings of fact as discussed at this Plan Commission meeting and within the Staff Report dated February 28, 2019.

I move to recommend to the Village Board approval of the **Preliminary Site Plan** titled “Geometric Plan”, prepared by Terra Consulting Group, Ltd., Sheet C-3, dated September 11, 2018 and last revised January 19, 2019, subject to the following conditions:

1. Meet all building code requirements and final engineering requirements, including required permits from outside agencies.
2. Screen all mechanical equipment either at grade or at rooftop with landscaping or parapets respectively.

3. Submit a sign permit application to the Development Services Department for separate review. Signs are subject to additional review and approval via the sign permitting process and additional restrictions may apply.
4. Provide a cross access easement extending from the cross access drive located on the east property line up to the west property line along 77th Avenue.
5. The photometric plan shall comply with all lighting requirements per Section 6-315.

And

I move to recommend to the Village Board approval of the Elevations titled “New Automated Car Wash Facility - Voda”, prepared by Neri Architects, PC, Sheets A-2.1, A-2.3, A-3.1, A-3.2, A-3.3, dated January 18, 2019, subject to the following conditions:

1. Screen all mechanical equipment either at grade level with landscaping or hidden behind the roofline.
2. All masonry must be of anchored veneer type masonry with a 2.625” minimum thickness.
3. Submit a sign permit application to the Development Services Department for separate review. Signs are subject to additional review and approval via the sign permitting process and additional restrictions may apply.
4. Meet all final engineering and building code requirements.

And

I move to recommend to the Village Board of Trustees approval of the Preliminary Landscape Plan, titled “New Automated Car Wash Facility - Voda”, prepared by Neri Architects, PC, Sheet L.1.1, dated January 18, 2019, with the following conditions:

1. Submit a final landscape plan meeting all Village Codes and all required supporting documentation addressing all outstanding landscape items in conjunction with the final engineering submittal.

And

I move to recommend to the Village Board approval of a Special Use Permit for Voda Car Wash to allow for a car wash (motor vehicle services) in the BIZ General Business District, subject to the same conditions as outlined in the Preliminary Site Plan motion and the following conditions:

1. As a condition of authorizing the proposed Special Use Permit for the Subject Property, the former Special Use Permit ordinances, which apply to the previous site and use, shall be repealed. Ordinance No. 3739 (Ordinance Granting a Special Use Permit for a Planned Development for Every Bloomin' Thing) approved March 24, 2003, and Ordinance No. 4478 (Ordinance Granting an Amendment to the Special Use Permit for a Planned Development for Every Bloomin' Thing) approved April 20, 2009 shall be repealed upon approval of the Special Use Permit for Voda Car Wash.
2. Meet all Noise Control Regulations set forth in the Title 6, Chapter 4 of the Village Code.

Modifications to the Special Use Permit include:

1. Locate a drive-through lane, a parking lot, vacuum station canopies, and a vacuum equipment enclosure in the setback area between the building façade and the street (Section 6-207.F.4; Section 6-306.E)
2. Increase the number of parking spaces from three (3) to thirty-two (32) spaces (Section 6-306.B)
3. Allow for the lot to have driveway access to 159th Street, an arterial street, and no driveway access at this time to 77th Avenue, a local street (Section 6-406.B.10)
4. Remove the requirement for a sidewalk along 77th Avenue (Section 6-406.A.2)

DATE: February 19, 2019

## **REQUEST FOR ACTION REPORT**

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File Number: **2019-0142**  
Orig. Department: **Development Services Department**  
File Name: **Memo: New Petitions & Appearance Review**

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### **BACKGROUND:**

### **BUDGET IMPACT:**

### **REQUESTED ACTION:**

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# Memorandum

**To:** Plan Commission  
**From:** Khurshid Hoda, Assistant Director of Development Services  
**Date:** March 5, 2019  
**Subject:** New Petitions & Appearance Reviews

Below, please find a summary of recently petitioned projects and appearance reviews. Petitioned projects are currently under review by staff and may or may not be on a future Plan Commission agenda. These projects have been petitioned to the Village but may not have obtained all the approvals required to begin work. Projects sometimes are terminated without moving forward for a variety of reasons. Appearance Reviews and Certificates of Appropriateness are reviewed and approved administratively. The below list does not include cell tower colocation projects. Please contact me with any questions regarding the below projects.

### **Appearance Review Petitions**

Khan Residence – 10926 Eleanor Lane  
Solar Panels

### **Development Petitions**

Home Depot – 7300 159<sup>th</sup> St.  
Proposing Resubdivision

### **Board Approved Petitions**

### **Appearance Improvement Grant**

### **Certificate of Appropriateness Petition**