

VILLAGE OF ORLAND PARK

14700 Ravinia Avenue
Orland Park, IL 60462
www.orlandpark.org



Meeting Agenda

Tuesday, December 7, 2021

7:00 PM

Village Hall

Plan Commission

Nick Parisi, Chairman

Edward Schussler, Vice Chairman

*Commissioners: John J. Paul, Patrick Zomparelli, Yousef Zaatari, Daniel Sanchez
and John Nugent*

Short Agenda Council Boiler

CALLED TO ORDER/ROLL CALL

APPROVAL OF MINUTES

[2021-0849](#) Minutes of October 19, 2021 Plan Commission Meeting

Attachments: [October 19, 2021 Meeting Minutes](#)

PUBLIC HEARINGS

OPEN PUBLIC HEARING

[2021-0425](#) ALDI Orland Park - Development Petition for Zoning Map Amendment, Special Use Permit for Disturbing a Wetland, Site Plan, Landscape Plan, Building Elevations, and Variances

Attachments: [ALDI v4 PLAN Illustrative.pdf](#)
[ALDI v4 PLAN Civil.pdf](#)
[ALDI v4 PLAN Arch.pdf](#)
[ALDI v4 PLAN Survey.pdf](#)
[ALDI v4 PLAT.pdf](#)
[ALDI v4 STANDARDS SU Wetland Disturbance.pdf](#)
[ALDI v4 STANDARDS VAR Landscape Islands.pdf](#)
[ALDI v4 STANDARDS VAR Parking Lot Location.pdf](#)

VB

CLOSE PUBLIC HEARING

NON-PUBLIC HEARINGS

OTHER BUSINESS

[2021-0867](#) Memo: New Petitions

Attachments: [12-7-2021 Plan Commission Memo](#)

NON-SCHEDULED CITIZENS & VISITORS

ADJOURNMENT

DATE: December 7, 2021

REQUEST FOR ACTION REPORT

File Number: **2021-0849**

Orig. Department:

File Name: **Minutes of October 19, 2021 Plan Commission Meeting**

BACKGROUND:

BUDGET IMPACT:

REQUESTED ACTION:

VILLAGE OF ORLAND PARK

*14700 Ravinia Avenue
Orland Park, IL 60462
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Meeting Minutes

Tuesday, October 19, 2021

7:00 PM

Village Hall

Plan Commission

Nick Parisi, Chairman

Edward Schussler, Vice Chairman

*Commissioners: John J. Paul, Patrick Zomparelli, Yousef Zatar, Daniel Sanchez
and John Nugent*

CALLED TO ORDER/ROLL CALL (AUDIO: 1:00)

Present: 7 - Chairman Parisi; Vice Chairman Schussler; Member Paul; Member Zomparelli; Member Zaatar; Member Sanchez, Member Nugent

APPROVAL OF MINUTES

2021-0777 Minutes of September 21, 2021 Plan Commission Meeting

A motion was made by Member John J. Paul, seconded by Vice Chairman Edward Schussler, that this matter be APPROVED. The motion carried by the following vote:

Aye: 6 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zomparelli, Member Zaatar and Member Nugent

Nay: 0

Abstain: 1 - Member Sanchez

PUBLIC HEARINGS

OPEN PUBLIC HEARING (AUDIO: 2:55)

A motion was made by Member John J. Paul, seconded by Member Patrick Zomparelli, that this matter be APPROVED. The motion carried by the following vote:

Aye: 7 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zomparelli, Member Zaatar, Member Sanchez and Member Nugent

Nay: 0

2021-0625 Hashem Restaurant - Special Use Permit - 8600 159th Street Suite 4B

Presentation was given by Kyle Quinn in accordance with the written report dated October 19, 2021.

Kyle Quinn noted that all the public notification requirements had been met.

The Commission and Staff attended the public hearing in person.

Chairman Parisi swore in the petitioner, Robert Hanson.

Robert Hanson thanked the Commission for the opportunity to become part of the community. He noted it is a great opportunity, and he has recently moved from Florida where he has a lot of restaurants. Mr. Hanson stated the Hashem Restaurants were established in 1910, and there are a lot of locations in the Middle East and European countries; however, this would be the very first location in the United States and hopes to expand all over the United States. He explained, they are going to be hiring people from the local community, as well as providing

healthy food options.

A member of the public attended the meeting and had a question regarding eminent domain.

Staff agreed to meet with her after the public hearing to have a discussion.

Commissioner Zomparelli indicated the presentation was very thorough, and he was happy the garbage was being taken care of. He asked if there were going to be any bicycle racks at the proposed location.

Mr. Quinn noted that he didn't think there is currently any bicycle parking and indicated an amendment to the motion could be proposed. He continued, it had not been discussed with the property owner.

Vice Chairman Schussler asked if the garbage enclosure and the bicycle racks were the responsibility of the landlord.

Mr. Quinn confirmed that the garbage enclosure and bicycle racks were indeed the landlord's responsibility.

Vice Chairman Schussler agreed with some bicycle racks needed to be installed and asked Staff when talking to the landlord regarding the parking lot resurfacing, and garbage enclosure, that the topic of the addition of bicycle racks be added to the conversation.

Chairman Parisi asked if the Motion needed to be amended.

Steve Marciani indicated, during the Special Use approval process, the Commission has the right to request things that have a rationale nexus related to the request. He continued, to bring the entire center up to Code might be a stretch, but a suggested amendment to bring the bicycle parking up to Code for the portion of the parking that is required would be a reasonable potential amendment.

Chairman Parisi asked if the request would be only for this tenant.

Mr. Marciani explained that the Commission has the right to put any condition on the Special Use Permit, which the owner would have to agree to, so the project can move forward. He recommended, adding a marginal increase to bicycle parking for this particular use to be brought up to Code, at this particular time, as a condition of the Special Use.

Commissioner Nugent commented the bicycle parking was not a big concern of his; however, he did go by the site on Friday and there were three bicycles at the shopping plaza. He confirmed the liquor store previously located in the shopping

center was gone and asked if another restaurant could potentially go into that space.

Mr. Quinn stated a review of the shared parking, at peak business hours, would need to be completed to see if another restaurant was acceptable.

Commissioner Nugent brought up a previous issue regarding 86th Avenue concerning a nearby car dealership parking vehicles on the street.

Mr. Quinn confirmed there was an issue with the car dealerships moving and parking their inventory on the street, and the Village worked with them to get the cars off the street.

Commissioner Nugent questioned the best way to effectively show maximum sign exposure of the tenants so people are aware of what businesses are in the spaces.

Mr. Quinn indicated the best route would most likely be a multi-tenant monument sign. All signs are reviewed for conformance with the Code.

Commissioner Nugent asked the purpose of the gangway north of the subject tenant, and noted it had miscellaneous debris, including a ladder, and was not lit making it dark and unsafe.

Mr. Quinn indicated he was unaware of what the purpose of the gangway was, but that it was likely there to be able to access the rear or the front of the building. He was unable to speak to why it was designed that way. He continued, if there was garbage, Code Enforcement could take a look at it.

Commissioner Nugent asked if Staff could request the landlord to provide a light in the gangway.

He wished the petitioner good luck and asked what the meaning of the name Hashem.

Mr. Hanson explained Hashem is the name of the grandfather who established the chain.

Commissioner Paul said his biggest concern was if people from the neighborhood had any concerns, but noted that since no members of the public attended, there must not be an issue for them. He stated there were no issues when it was previously a restaurant and no issues with the current restaurant in the Plaza now.

Mr. Quinn confirmed there are no issues.

Commissioner Paul indicated he has no issues with the proposed business.

Commissioner Sanchez noted all of his questions had been answered already, and he had no issues with the project.

Commissioner Zatar indicated some of the conditions of approval are beyond the petitioner's control. He expressed concern regarding occupancy being granted only when the landlord provides dumpster enclosures. He continued, he was not a fan of this condition, as it holds the business owner accountable for something that is the landlord's responsibility. Commissioner Zatar further noted he was not a fan of the bicycle rack condition, as it is putting the approval of a restaurant contingent on conditions outside of the petitioner's control. He further indicated, if there are code enforcement issues, including the sign, and the overgrowth of landscaping, it should be handled with the Code Enforcement Department, and the issue should be with the landlord, not the tenant. Commissioner Zatar wished the petitioner luck.

Mr. Quinn indicated voluntary compliance is always the hope and explained that is the reason why it is attached to the Special Use Permit. He continued, Mr. Hanson would be able to get a temporary occupancy and be able to fully operate.

Commissioner Zatar answered that a temporary occupancy permit does not allow for commerce. He stated the temporary occupancy permit creates a contractual issue between the petitioner and the landlord when our issue is with the landlord.

Chairman Parisi asked Staff if a condition of approval was for all dumpsters in the Plaza to be contained in an enclosure.

Mr. Quinn answered, he would be asked to increase the size of the dumpster or utilize the existing dumpster to the rear, or use a single garbage dumpster, depending on how they want to go about the disposal of trash.

Chairman Parisi asked if the permit was being held up to the petitioner.

Mr. Quinn responded, the petitioner will still be able to get a permit and temporary occupancy to fully operate with the condition of the landlord.

Chairman Parisi asked how long the temporary occupancy permit is good for.

Mr. Marciani responded, he does not know the answer to that question, as he is still familiarizing himself with the temporary occupancy permit procedure. He continued, there are businesses in the Village of Orland Park with temporary occupancy permits for multiple years until drainage landscaping is established, for instance. Mr. Marciani stated it is not uncommon, in this jurisdiction, to allow occupancy while other conditions of the development need to be established.

Chairman Parisi reiterated Commissioner Zaatari's concern for holding up the petitioner's project due to the failure of the landlord.

Commissioner Zaatari stated the purpose of a temporary occupancy permit is to occupy the facility to construct or to set up the establishment and the fire department is on notice they are temporarily occupying the space, but there should not be customers in any establishment with temporary occupancy and stated it is a fire code violation.

Mr. Quinn responded temporary occupancy is granted if, for example, landscaping is outstanding and we need to verify if the plantings remain healthy.

Mr. Hanson stated a temporary occupancy permit situation would not work for his project because the landlord will not pay him for his tenant improvement until full occupancy is granted, which would harm the tenant financially. He continued that the tenant is already paying quite a bit of money to establish the business.

Vice Chairman Schussler asked if Staff has had some conversations with the landlord.

Mr. Quinn confirmed that is correct.

Vice Chairman Schussler questioned if the landlord agreed to fix the dumpster.

Mr. Quinn indicated he expected the landlord to be present for the hearing. He continued the landlord did push back a little bit which is why leverage was being used to tie it to the Special Use Permit.

Vice Chairman Schussler asked the petitioner how they chose Orland Park as their location for the first one in the United States.

Mr. Hanson indicated they did extensive research on the U.S. market and because of the diversity of the population which is very high in Orland Park. He continued their second location will be in Bridgeview.

Vice Chairman Schussler commented we are trying to get some improvements to the Center which is very dated. He continued before the time the present owner acquired it, it had a lot of issues, and he stated he was surprised there were not people from the surrounding areas present at the hearing. Vice Chairman Schussler continued, previously there were issues with rats and the parking lot was not kept in good repair and was not striped properly. Vice Chairman Schussler stated there is a commitment from the landowner to redo the parking lot in the spring. He said the other thing that needs to be looked at in terms of leverage is who are we trying to leverage. He continued, in certain situations, it is appropriate to attempt to put conditions with the tenant to get the landlord to come

to the table because some landlords just say no, but if they want a tenant then they can think about the conditions and do it. Vice Chairman Schussler continued the relatively new owner of the strip center has a significant relationship with the Village, and in fact, they are partnering with the Village concerning the development of the Orland Park Triangle. Vice Chairman Schussler stated due to this relationship, it is in the best interest of the landlord to comply with Staff's recommendations on this relatively small center and noted they also own at least two other strip centers in Orland Park, including Orland Crossing and Edwards Center. Vice Chairman Schussler indicated he was comfortable with omitting the requirement for the garbage enclosure and bicycle racks because the commitments can happen without burdening the tenant.

Chairman Parisi stated he concurred with Vice Chairman Schussler and Commissioner Zaatar. He continued it is good use of the property.

Commissioner Nugent explained that he and Commissioner Zomparelli feel a bit differently and indicated they thought Edwards Realty should be held to a higher standard as they were chosen for a reason to develop downtown Orland Park.

Commissioner Zomparelli stated there was a little pushback on the dumpster enclosures. He continued there is a creek back there with overgrowth creates a rodent problem. Commissioner Zomparelli further indicated the residents in the condos would appreciate the problem being taken care of. He said he wants to see the restaurant and he believes it will be worked out but believes Edwards needs to be held to a higher standard.

Commissioner Zaatar commented we should set the precedent on how the Village should operate. He continued if there is a code enforcement issue, tickets need to be issued.

Chairman Parisi stated there are some differences of opinion on the Commission and that is the reason there are seven Commissioners.

Commissioner Nugent asked for clarity if the enclosure currently is legal non-conforming.

Mr. Quinn indicated the garbage enclosure is currently non-conforming. He continued the dumpsters themselves outside of the enclosure are a code enforcement issue. Mr. Quinn stated for all the dumpsters to be contained, the enclosure would have to be expanded which would require being brought up to conforming standards.

After a brief discussion between the Commissioners and Staff regarding the amendment of the Motion, Vice Chairman proposed item 3 be amended to: The petitioner's garbage dumpster must be placed within the garbage enclosure on the South end of the Plaza; and item 4 be removed.

Commissioner Paul seconded the Motion.

The vote was 7-0 in favor of the amendment.

Overall, the Plan Commission expressed support of the project.

Regarding Case Number 2021-0625, also known as Hashem Restaurant, I move to accept and make findings of fact as discussed at this Plan Commission meeting and within the Staff Report dated October 19th, 2021.

And

I move to recommend to the Village Board approval of a Special Use Permit for Hashem Restaurant to allow for a restaurant within 300 feet of a residential property in the BIZ General Business District, subject to the following conditions:

1. Meet all Building and Land Development Code requirements; and
2. Obtain the necessary permits from the Village's Building Division prior to initiating work, and
3. The petitioner's garbage dumpster must be placed within the garbage enclosure on the South end of the Plaza; and
4. Submit a sign permit application to the Development Services Department for separate review. Signs are subject to additional review and approval via the sign permitting process and additional restrictions may apply.

A motion was made by Vice Chairman Schussler, seconded by Member Paul, that this matter be APPROVED. The motion carried by the following vote:

Aye: 7 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zomparelli, Member Zaatar, Member Sanchez and Member Nugent

Nay: 0

CLOSE PUBLIC HEARING (AUDIO: 58:04)

A motion was made by Chairman Nick Parisi, seconded by Member John J. Paul, that this matter be APPROVED. The motion carried by the following vote:

Aye: 7 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zomparelli, Member Zaatar, Member Sanchez and Member Nugent

Nay: 0

NON-PUBLIC HEARINGS

OTHER BUSINESS

2021-0766 Memo: New Petitions

NON-SCHEDULED CITIZENS & VISITORS

ADJOURNMENT (AUDIO: 1:00:40)

Meeting adjourned at 8:02 p.m.

A motion was made by Chairman Nick Parisi, seconded by Member John J. Paul, that this matter be ADJOURNED. The motion carried by the following vote:

Aye: 7 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zomparelli, Member Zaatar, Member Sanchez and Member Nugent

Nay: 0

These minutes are not a verbatim record of the meeting but a summary of the proceedings.

Respectfully submitted,

Gerianne Flannery
Recording Secretary

REQUEST FOR ACTION REPORT

File Number: **2021-0425**
Orig. Department: **Development Services Department**
File Name: **ALDI Orland Park - Development Petition for Zoning Map Amendment, Special Use Permit for Disturbing a Wetland, Site Plan, Landscape Plan, Building Elevations, and Variances**

BACKGROUND:

Project

ALDI Orland Park - 11200 W 179th Street (NWC 179th and Wolf)
2021-0425

Petitioner

Paul Cornejo
ALDI, Inc

Purpose

The petitioner seeks approval to construct a 20,500 sf grocery store with associated parking and stormwater detention.

Requested Actions: Rezoning from E-1 Estate Residential to BIZ General Business; a Special Use Permit for Disturbing a Wetland; and approval of Site Plan, Landscape Plan, Building Elevations, and Variances from the Land Development Code

Address: 11200 W 179th Street

P.I.N.: 27-31-202-022; 27-31-202-021; 27-31-202-019

Parcel Size: 5.83 acres

Comprehensive Plan Planning District: Grasslands Planning District

Comprehensive Plan Land Use Designation: Neighborhood Mixed Use

Existing Zoning: E-1 Estate Residential (Parcel 1); upon annexation E-1 Estate Residential (Parcels 2-4)

Proposed Zoning: BIZ General Business

Existing Land Use: Undeveloped greenfield (Parcels 1 and 3); Single Unit Residential (Parcel 2); Undeveloped greenfield with transmission tower (Parcel 4)

Proposed Land Use: Grocery store <50,000

Surrounding Zoning:

North: E-1 Estate Residential and R-4 Residential (Cambridge Place Subdivision)

South: BIZ General Business (Marley Creek Square/ Albertson's Subdivision)

East: BIZ General Business (Marley Creek Commons, Stonebridge Center)

West: Unincorporated (1 parcel) and R-4 Residential (Cambridge Place Subdivision)

Surrounding Land Uses:

North: Attached Dwelling Unit Residential

South: Commercial Retail (Jewel Osco Retail Center)

East: Commercial Retail

BACKGROUND

On April 17, 2006, the Board of Trustees approved a development petition to construct Frangella's Italian Market and Deli, an 11,700 sf retail center with associated surface parking and stormwater detention on the 2.32-acre parcel at 11300 W 179th Street. This is Parcel 1 of the proposed ALDI development.

On April 17, 2006, the Board of Trustees conducted a public hearing for annexation of the parcel of the proposed Frangella's Italian Market and Deli (erroneously identified as 11600 W 179th Street). On November 5, 2007 the Board of Trustees authorized the annexation agreement for the same.

On March 3, 2008 the Board passed Ordinance 4341 to annex the property for Frangella's Italian Market.

On October 6, 2014 the Board of Trustees conducted a public hearing to amend the annexation agreement for Frangella's Italian market to extend the existing agreement beyond its impending termination date (November 6, 2014.) Subsequent to the public hearing, the Board of Trustees passed Ordinance 4934 Amending the Annexation Agreement.

Following the procurement and extension of the entitlements for Frangella's Italian Market and Deli, the development never proceeded and the lot remains undeveloped.

Meanwhile, on June 21, 2007 The Board of Trustees passed Ordinance 4246 to annex 10 tracts of land through Village-initiated annexation. Inclusive in that ordinance were the Frangella's parcel- Parcel 1 of the proposed ALDI development- and portions of parcels 2-4 of the proposed ALDI project. While the diagram proposed by staff that accompanies the ordinance indicates annexation of the entirety of parcels 2-4, the legal description in fact annexed only strips 17' wide, parallel and adjacent to the 179th Street right-of-way. This same width of right-of-way was also conveyed to Cook County, owner of 179th Street, by other recorded documents.

As of this development petition, parcels 2, 3, and 4 of the proposed development are unincorporated and require annexation for the development to proceed. A public hearing for the annexation will be conducted at the Board of Trustees subsequent to the recommendation by the Plan Commission on the development petition.

CONTEXT AND PROJECT DESCRIPTION

The subject property is 5.82 acres located at the northwest corner of 179th and Wolf Road, or 11200 W 179th Street. The proposed development will annex and consolidate three parcels. The survey and plat of consolidation identify four parcels, which represents a tax subdivision of the property 27-31-202-019.

The property is within the Comprehensive Plan's Grasslands Planning District. The intersection of 179th and Wolf is identified in the Comprehensive Plan as a neighborhood center, with a Neighborhood Mixed Use planning land use. The Plan identifies the subject property and its surrounding parcels as a development opportunity, and recommends vehicular connections with the driveways serving Marley Creek Square (Jewel Osco retail center). The Comprehensive Plan identifies appropriate land uses within the neighborhood mixed use characterization. Grocery stores less than 50,000 sf are specifically listed as an appropriate use.

The subject property is largely undeveloped in its current state. There is one detached residential unit and garage on Parcel 3. The proposed development will remove these structures. A transmission tower for ComEd high voltage lines occupies the corner at the 179th and Wolf Road intersection. Restrictions for the easement for the transmission tower places some limitations on development of the property proximate to the tower.

REZONING

The petition requests to rezone the parcels from E-1 Estate Residential to BIZ Commercial Business. Currently, Parcel 1 is incorporated in Orland Park and is zoned E-1, the default zoning classification

when a parcel is annexed. The remaining parcels are subject to annexation, at which point they will also by default be zoned E-1 and request the reclassification to BIZ. The surrounding properties at the corner are zoned BIZ General Business and this is the recommended zoning per the Comprehensive Plan.

The remainder of this report evaluates the development through the lens of BIZ General Business regulations.

SPECIAL USE FOR DISTURBING A WETLAND

A natural dry drainage swale traverses the site, from the northwest edge of the property, where it borders Cambridge Place, to the middle of the southern property line where it enters a pipe. Presumably crossing beneath 179th Street. A low area connected to the downstream end of the dry drainage swale is identified as a wetland. The area of this wetland totals 0.16 acres. The wetland is isolated and regulated by the Village under the authority of the WMO. The petitioner proposes to purchase mitigation credits in a US Army Corps of Engineers approved wetland bank to offset the impact of disturbing the wetland on this site. This is in accordance with the Land Development Code. The petitioner's responses to the Special Use Standards specific to this request are attached.

SITE PLAN

Overall

The proposed site plan locates the 20,500 sf grocery store at the center of the site, with parking to the right and the detention basin to its left. The ComEd transmission tower, its associated easements, and additional overlapping easements for Wolverine Pipeline and Enbridge restrict development at the eastern side of the site, directly abutting the intersection of 179th and Wolf Road.

The proposed site plan reserves approximately 0.5 acre of undeveloped area, which the petitioner has indicated as a future pad site to sell for development. Staff strongly recommended that the petitioner complete the subdivision, Special Use Permit for a Planned Development at this time, to streamline future development of the remaining site area. However, at this time the petitioner has decided to proceed without pursuing those entitlements. The petitioner has sized the detention basin in anticipation of additional future lot coverage.

Staff has not evaluated the feasibility of the remaining 0.5-acre land to accommodate a building and comply within the requirements of the Code. The petitioner has been advised that, at a future point in time when they should choose to develop the remainder of the lot, they will have to repetition for: subdivision; a special use permit for a planned development- including potential site improvements required at that time; site plan review; landscape plan review; and elevations review. The future petition will development will be held to compliance with the Code requirements as they exist at that time and there is no guarantee that the lot will be capable of hosting future development.

Lot Coverage and Land Use Intensity

The petition proposes a development with a lot coverage of 50%. This conforms with the Code which allows up to 75% lot coverage without BMP.

The proposed floor area ratio (FAR) is 0.08. This conforms with the Code which allows up to 1.0 FAR.

Setbacks

The petition complies with the regulations for the setbacks along 179th Street, the rear, and the side. The required setback distance fronting Wolf Road is provided, however the petition proposes a parking lot between the building and the street, which is prohibited per Code Section 6-207.F.4. The petitioner requests a variance to locate the parking lot between the building and the road due to the challenges imposed by the transmission tower and other easements. The petitioner's response to the standards for this variation are attached.

Wolf Road

Required: 25'

Provided: 48'

179th Street
Required: 25'
Provided: 31'

Rear
Required: 30'
Provided: 48'

Side
Required: 15'
Provided: 333'

Mobility

Vehicular

Three access points are provided to the site: a right-in/right-out along Wolf Road; a right-in/right-out on 179th Street east of the building, entering into the parking lot; and a full access drive on 179th Street west of the building and aligned with the full access drive serving the Jewel Osco retail center across the street. Wolf Road and 179th Street are under the jurisdiction of IDOT and Cook County respectively.

The parking lot exceeds the Code prescription of 82 parking spaces, providing 97 spaces in total. This 18% increase above the prescribed parking amount is within the range allowed for administrative adjustment. The petitioner demonstrated a need based on business operations and staff has approved the parking count.

Walking and Biking

Recommendations of the Comprehensive Plan specific to the Grassland Planning District include "some of the unincorporated parcels and major roadways have sporadic or absent sidewalks and bikeways. Safe crossings are also needed."

The existing site is one such area absent sidewalks and safe crossing. In response to this need, Staff encouraged the petitioner to provide the necessary improvements for safe, accessible crossing at Wolf and 179th.

The site plan proposes a new ADA-compliant curb cut, crosswalk striping, and signal heads. These will facilitate connections to the bike path along the east side of Wolf Road and complete sidewalk network at the other corners of the intersection. The site plan proposes the required public sidewalks and internal site connections to the building, including a walkway through the parking lot.

The proposed development includes 5 bicycle racks, capable of supporting 10 bikes in total, thereby meeting the bicycle parking requirements.

Public Transit

The subject property is located a half-mile, or 10-minute walk, from the Orland Park 179th Street Metra Station. The Southwest Service primarily provides workday commuter connection to downtown Chicago. No other local transit provides access to the site.

Engineering

The preliminary engineering plans meet the requirements of the Land Development Code for preliminary approval.

LANDSCAPE PLAN

With a few exceptions imposed by the easement restrictions on the site, the preliminary landscape plan meets the requirements of the Land Development Code for preliminary approval.

Where the easement restrictions limit the ability to plant Code-required parkway trees, the petitioner will

comply with the Code Section 6-305.D.2.c.3 and plant the required parkway trees in another location on the site. If this cannot be reasonably accommodated, the petitioner will pay a cash-in-lieu fee.

The petitioner requests a variance to reduce the parking lot area landscaping as impacted by the restrictions of the ComEd tower and easements. Specifically, one parking lot island located within the easement cannot accommodate the canopy tree required per Code Section 6-305.D.6. The petitioner's response to the standards for this variation are attached.

The petitioner has been challenged in their ability to meet the plant species requirements of the Land Development Code, written to reflect the climate zone of northeastern Illinois. To address these requirements, the petitioner has retained the services of a landscape architect licensed in Illinois. Outstanding shortcomings of the landscape plan related to plant species will be revised to come into Code compliance during the Final Landscape Plan review.

ELEVATIONS

The proposed elevations for the 20,500 sf grocery store comply with Code requirements for height, materials, and design standards. The proposed building fronts 179th Street and the parking lot (setback from Wolf Road). All four sides use a regular rhythm of bays to articulate the building, relating to the human scale and providing visual interest, particularly on the non-entrance sides of the building. The petitioner has included spandrel clerestory glass in the bays to provide further define the bays. Along the north and west elevations, which serve as the back-of-house inside the building, robust landscaping will soften the architecture and provide further visual interest and scale.

The primary material of the proposed building is a beige "Gardener Blend" Spec-Brick masonry product resembling an over-sized brick. The "Chesapeake Blend," a darker brown finish, is proposed as a complimentary color to define the bays. Accent materials include Nichiha's fiber-cement board in "vintagewood bark" framing the entrance, and silver aluminum composite panels to accent the tower element.

At the north side of the building, between the main store and the loading dock, the petitioner has included an open space in anticipation of future expansion. Staff encouraged the petitioner to landscape and otherwise screen this dead space and prevent it from becoming an area of unwanted activity. The storage of goods or trash shall not be permitted in that area. The preliminary landscape plan proposes minimal plants and turf grass. Viability of the landscaping may be challenged by the shadow of the building.

The petitioner has demonstrated that all rooftop mechanical units will be screened from view. Landscaping is required to screen all utilities and equipment at the ground level.

BUDGET IMPACT:

REQUESTED ACTION:

Regarding Case Number 2021-0425, also known as **ALDI Orland Park**, I move to accept and make findings of fact as discussed at this Plan Commission meeting and within the Staff Report dated December 1, 2021.

And

I move to recommend to the Village Board approval of **Rezoning** of the subject property located at 11200 W 179th Street, following the annexation of parcels 2 through 4, from E-1 Estate Residential to BIZ General Business.

.....

And

I move to recommend to the Village Board approval of a **Special Use Permit for Disturbing a Wetland** for 0.16 acres of isolated wetland, mitigated through the purchase of credits at a US Army Corps of Engineers approved wetland bank.

And

I move to recommend to the Village Board approval of the **Preliminary Site Plan** sheet C-2 titled "Site Plan", prepared by ms consultants, inc, dated May 28, 2021 and last revised November 24, 2021, subject to the following conditions:

1. Meet all building code and final engineering requirements, including required permits from outside agencies.
2. The detention pond and associated stormwater facilities shall be privately owned and maintained by the property owner to the requirements of an approved Maintenance and Monitoring Plan.

And

I move to recommend to the Village Board approval of the **Preliminary Landscape Plan** sheet C-5 titled "Landscape Plan" and sheet C-6 titled "Landscape Details", prepared by ms consultants, inc, dated May 28, 2021 and last revised November 24, 2021, subject to the following conditions:

1. Submit a final landscape plan and supporting documentation to meeting all Village Codes requirements in conjunction with final engineering.
2. Meet all tree mitigation and preservation requirements per Section 6-305.F of the Land Development Code, including payment fees for cash-in-lieu as determined by the Final Landscape Plan.

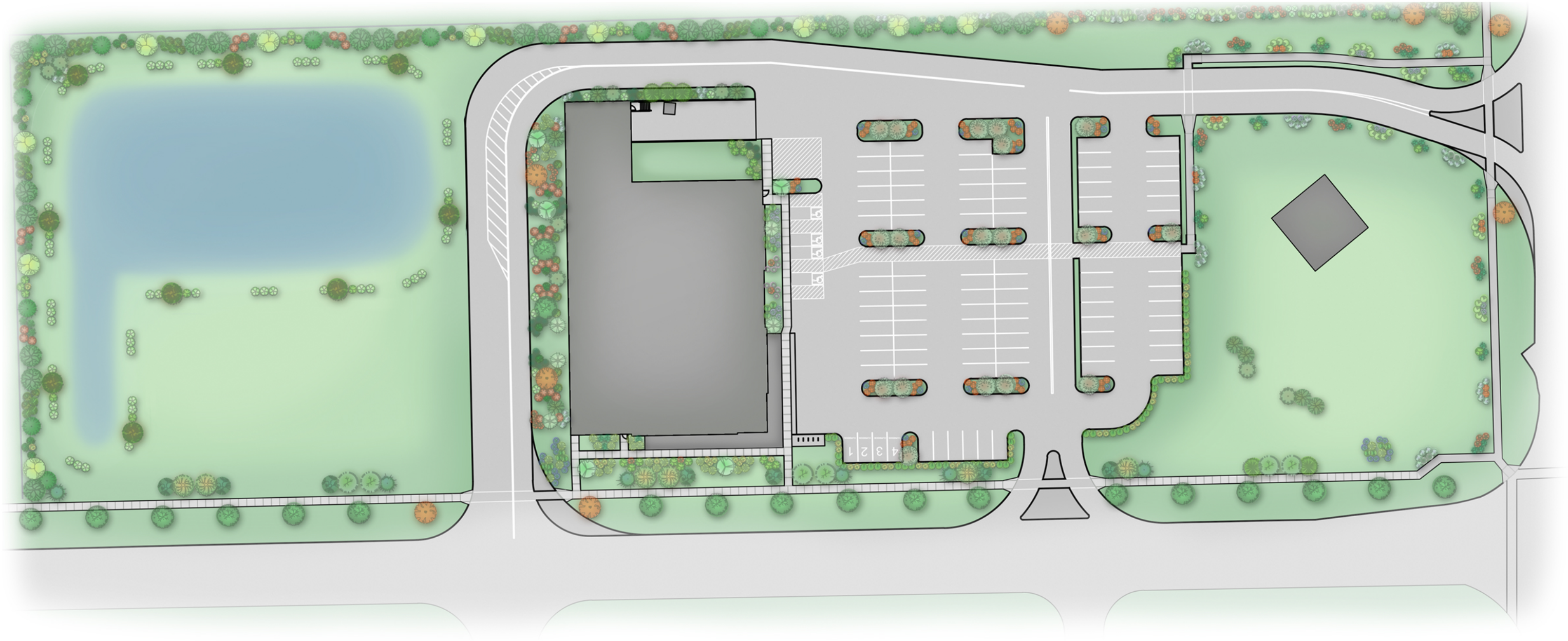
And

I move to recommend to the Village Board approval of the **Elevations** sheet A-201 "Exterior Elevations" and A-202 "Exterior Elevations" prepared by ms consultants, inc, dated May 28, 2021 and last revised October 15, 2021.

And

I move to recommend to the Village Board approval of the following **Variances**:

1. Locating parking between the building and the street along Wolf Road, due to the ComEd Tower and easements. (Section 6-207.F.4).
 2. Reducing the parking lot area landscaping as impacted by the restrictions of the ComEd Tower and easements. (Section 6-305.D.6).
-



179th St. & Wolf Rd.
Orland Park, IL 60467
PIN: 27-31-202-022-0000;
27-31-202-021-0000;
27-31-202-019-0000

Landscape Illustration





ALDI STORE #97 ORLAND PARK

179TH STREET AND WOLF ROAD
ORLAND PARK, IL 60467
COOK COUNTY
ORLAND TOWNSHIP
SITE DEVELOPMENT PLANS

OWNER

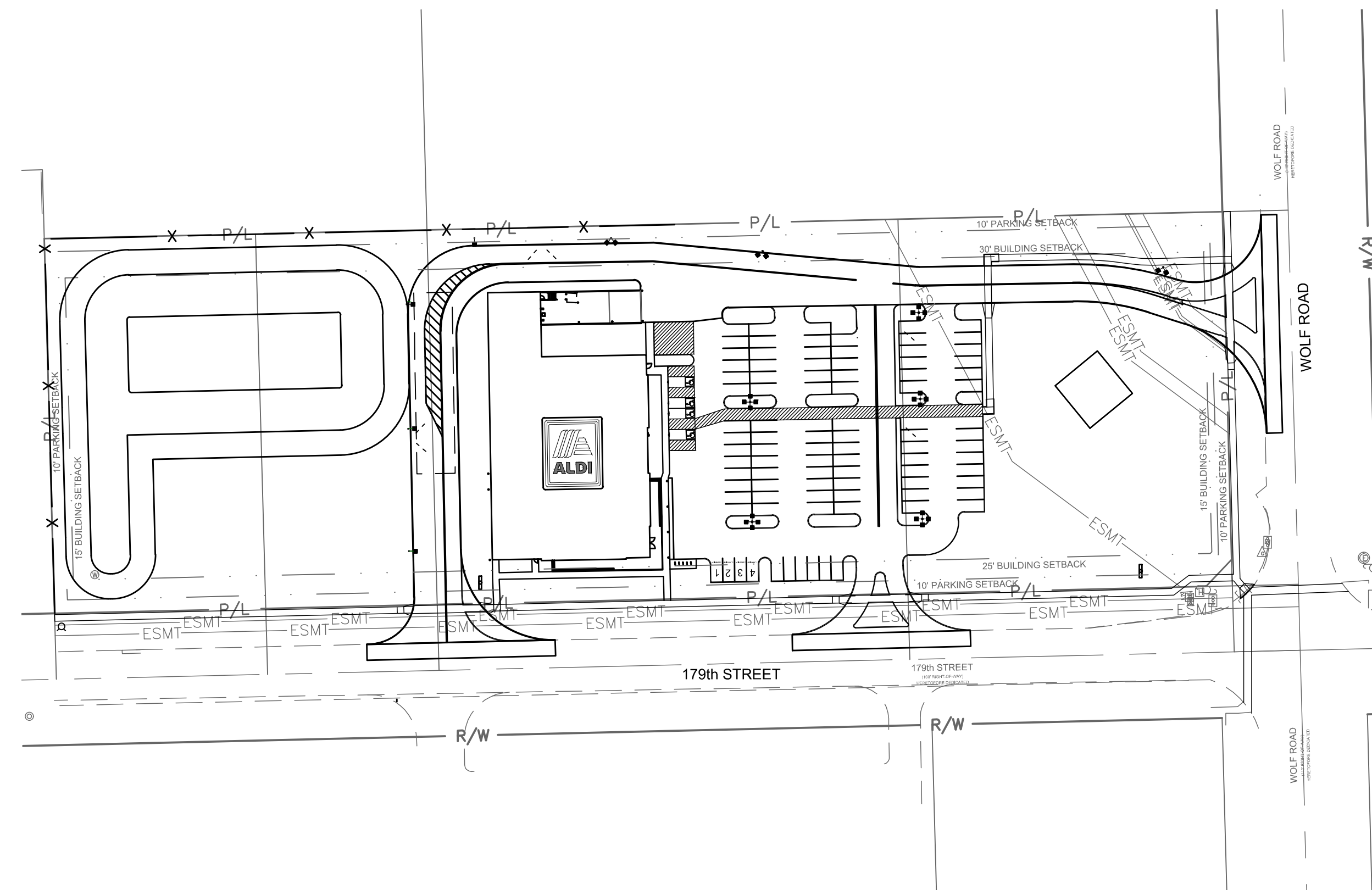
ALDI, INC.
1 ALDI DRIVE
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CONTACT: PAUL CORNEJO
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ENGINEER

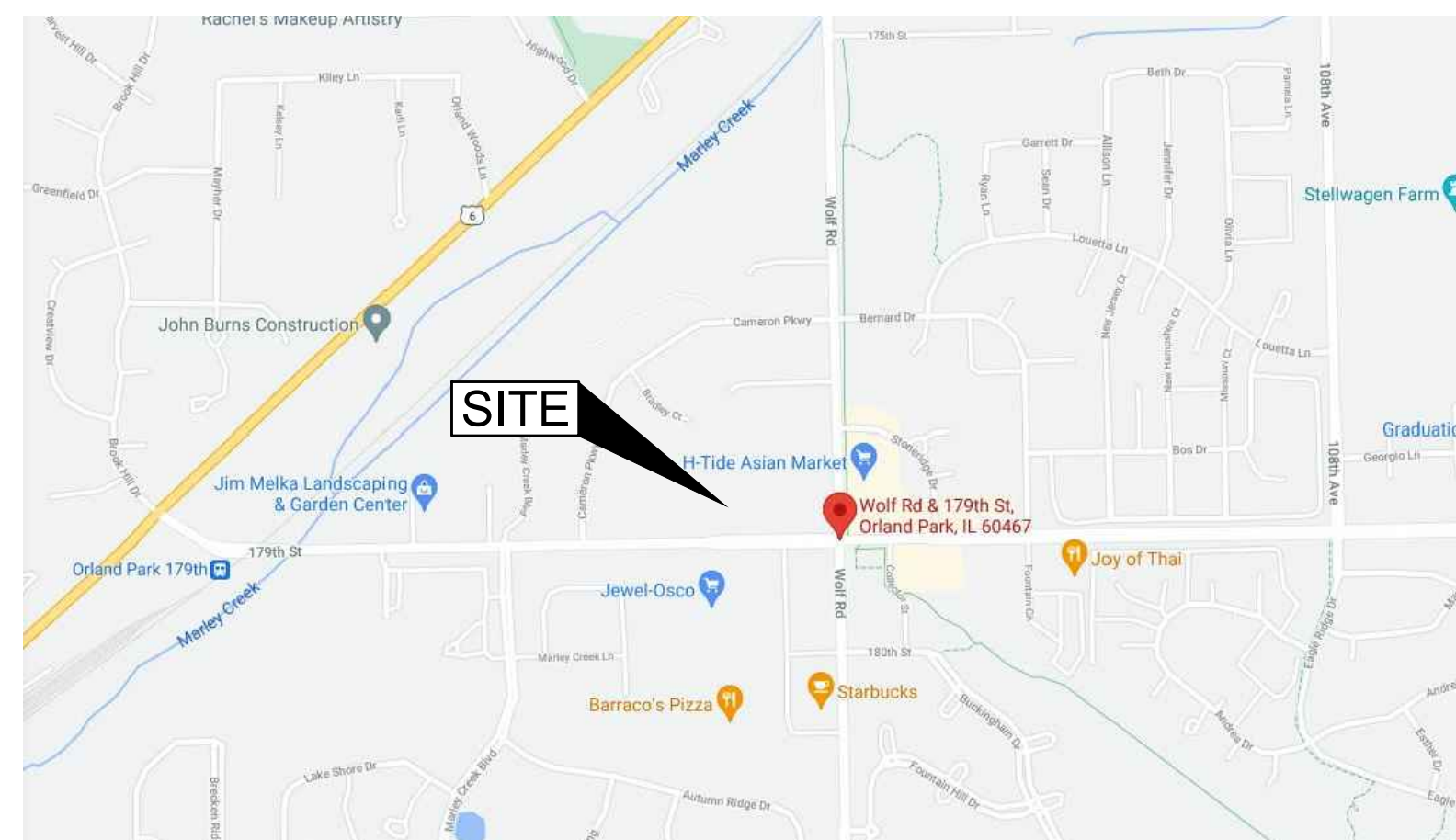
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SHEET INDEX	
COVER SHEET	C-1
SITE PLAN	C-2
UTILITY PLAN	C-3
GRADING PLAN	C-4
LANDSCAPE PLAN	C-5
LANDSCAPE DETAILS	C-6



VICINITY MAP

NOT TO SCALE

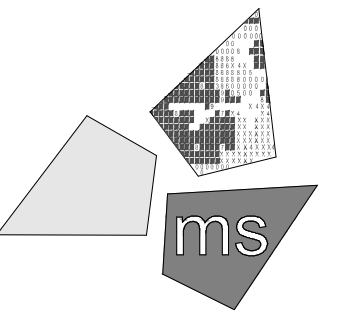
INDEX MAP

SCALE: 1" = 80'

Issued:	Date:
Planning Submittal	05/28/21
Planning Response	08/06/21
Planning Response	10/15/21
Planning Response	11/24/21
Revisions:	Date:

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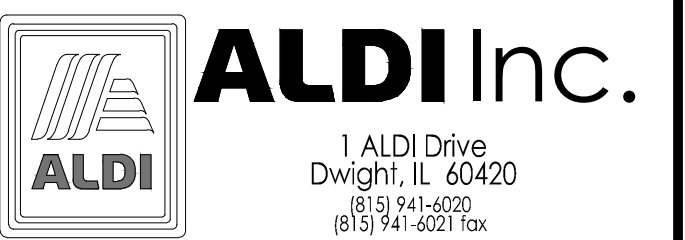


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REVIEWED BY: IA

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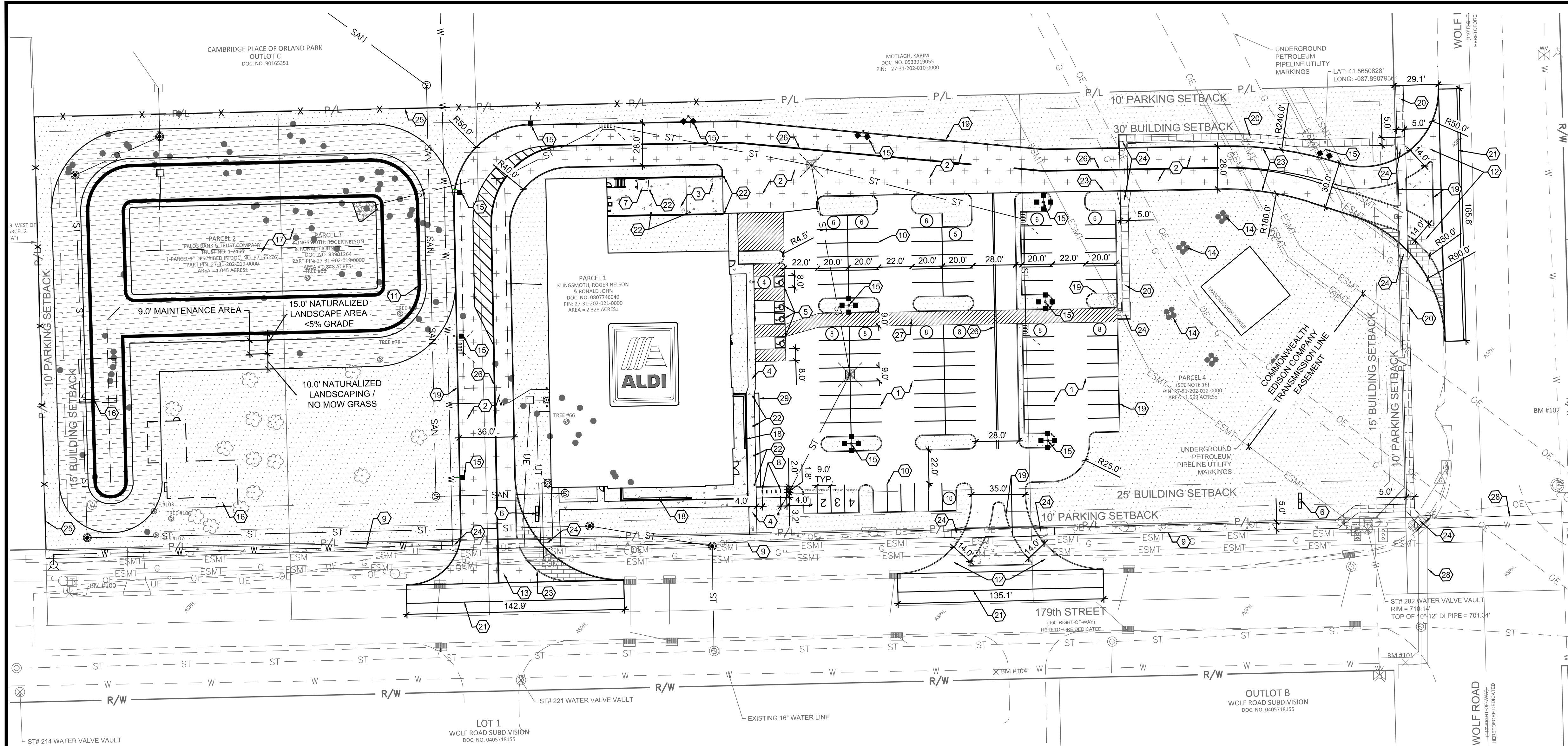


ALDI Inc.
Orland Park, IL
179th Street & Wolf Road
Orland Park, IL 60467
Cook County
PIN: 27-31-202-021-000-022
Project Name & Location:

Cover Sheet

Drawing Name:	Prototype Rls.	Project No.
	06/03/20	40200-91
Type: LHSD-V7ER		
		C-1
Scale: As Noted		Drawing No.



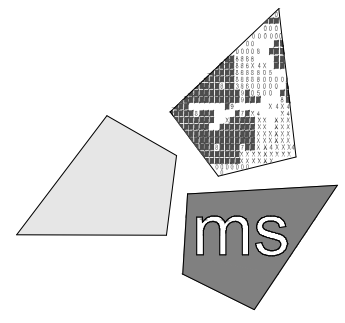


GENERAL NOTES:

- A. ALL EXISTING UTILITIES, TOPOGRAPHY AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE VILLAGE OF ORLAND PARK, COUNTY OF COOK, STATE OF ILLINOIS, BY SURVEYOR: WEAVER CONSULTANTS GROUP, 1316 BOND STREET SUITE 108, NAPERVILLE, ILLINOIS 60563.
- B. BY GRAPHICAL PLOTTING ONLY, THIS SITE IS SITUATED IN FEMA FLOOD ZONE X PER FIRM #17031C0084J, EFFECTIVE AUGUST 19, 2008.
- C. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- D. PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING PAVED AREAS AS NECESSARY. THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS AT ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT.
- E. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
- F. ALL PAVEMENT MARKINGS DEPICTING PARKING SPACES, ACCESSIBLE PARKING SPACES, BARRIER FREE SYMBOLS, ACCESS AISLES, NO PARKING SIGNAGE, RESTRICTED PARKING AREAS, DRIVE LANES, VEHICULAR DIRECTION ARROWS AND STOP BARS SHALL BE APPLIED WITH MECHANICAL EQUIPMENT AND TEMPLATES AT THE LOCATIONS AND LENGTHS SHOWN ON THE PLANS (TWO COATS ALL LOCATIONS). PAINT SHALL BE WHITE IN COLOR (UNLESS OTHERWISE SPECIFIED) AND SHALL MEET ALL APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- G. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- H. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND ADDITIONAL INFORMATION.
- I. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- J. ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SEEDED/SODDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL, HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
- K. ALL RADII ARE 5.0 FEET UNLESS OTHERWISE SHOWN. ALL RADII INDICATED ON PLANS SHALL BE CONSTRUCTED AS CIRCULAR ARCS.
- L. ALL AREAS OTHERWISE NOT PLANTED WITH TREES, PLANT BEDS, OR NATIVE LANDSCAPING SHALL BE SEEDED OR SODDED.

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DRAWN BY: TDB/KPD
 REVIEWED BY: IA
 Seal

KEYED NOTES:

- 1 PROPOSED STANDARD DUTY ASPHALT PAVEMENT.
- 2 PROPOSED HEAVY DUTY ASPHALT PAVEMENT.
- 3 PROPOSED CONCRETE LOADING DOCK. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- 4 PROPOSED CONCRETE SIDEWALK.
- 5 PROPOSED HANDICAP PARKING SPACES.
- 6 PROPOSED SITE SIGN.
- 7 PROPOSED DUMPSTER. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 8 PROPOSED BICYCLE RACKS. FIVE (5) ULINE 1-LOOP WAVE STYLE BIKE RACKS, SPACED AS SHOWN.
- 9 PROPOSED 5' WIDE PUBLIC CONCRETE SIDEWALK.
- 10 PROPOSED PAINTED PARKING STRIPING. ALL PARKING STRIPES ARE TO BE 4" PAINTED WHITE, UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS OR SPECIFICATIONS.
- 11 PROPOSED HIGH WATER LINE.
- 12 PROPOSED RIGHT-IN RIGHT-OUT.
- 13 PROPOSED FULL ACCESS DRIVE.
- 14 EXISTING TRANSMISSION TOWER BOLLARD.
- 15 PROPOSED LIGHT POLE. SEE PHOTOMETRIC PLAN FOR DETAILS.
- 16 EXISTING BUILDING TO BE DEMOLISHED.
- 17 PROPOSED DETENTION POND.
- 18 PROPOSED CART CORRAL.
- 19 PROPOSED 6" CONCRETE CURB.
- 20 PROPOSED 5' WIDE PUBLIC ASPHALT SIDEWALK.
- 21 EXISTING LANE ADJACENT TO PROPOSED DRIVEWAY TO BE RESTORED. EXISTING PAVEMENT SHALL BE SAW CUT AT LANE LINES AND PERPENDICULAR TO THE DIRECTION OF TRAFFIC. EXISTING PAVEMENT SHALL BE MILLED 4 INCHES AND RESURFACED AS REQUIRED BY IDOT DISTRICT 1 HMA MIX DESIGN CHART.
- 22 PROPOSED BOLLARD (TYP. OF 9). SEE ARCHITECTURAL PLANS FOR DETAILS.
- 23 PROPOSED CONCRETE MOUNTABLE CURB THROUGH UTILITY EASEMENT.
- 24 PROPOSED ADA CURB RAMP.
- 25 PROPOSED 6" TALL SOLID FENCE, TREX SECLUSIONS® IN WINCHESTER GREY COLOR, OR APPROVED EQUAL.
- 26 PROPOSED DOUBLE YELLOW CENTERLINE (TWO 4"-WIDE LINES).
- 27 PROPOSED PEDESTRIAN PATH THROUGH PARKING LOT.
- 28 PROPOSED CROSSWALKS PER IDOT STANDARDS.
- 29 PROPOSED FIRE LANE STRIPING.

SITE DATA

	SQ. FT.	ACRES	PERCENT
TOTAL SITE AREA	253,536	5.82	-
BUILDING	20,442	0.47	8.1
PAVEMENT AND WALK	80,496	1.85	31.7
POND AREA (HWL)	25,800	0.59	10.2
EXISTING PERVIOUS	250,761	5.76	98.9
EXISTING IMPERVIOUS	2,775	0.06	1.1
PROPOSED PERVIOUS	126,798	2.91	50.0
PROPOSED IMPERVIOUS	126,738	2.91	50.0
FLOOR AREA RATIO	0.08		

ZONING INFORMATION

CURRENT ZONING DISTRICT	E-1 RESIDENTIAL ESTATE DISTRICT
PROPOSED ZONING DISTRICT	BIZ GENERAL BUSINESS
CURRENT LAND USE	-
PROPOSED LAND USE	GROCERY STORE LESS THAN 50,000 SQ. FT. IN SIZE

STRUCTURES DATA

	SQ. FT.	STATUS	DIMENSION
ALDI V7ER BUILDING	20,442±	NEW CONSTRUCTION	-
TRANSMISSION TOWER	1,735±	TO REMAIN	(41.6' X 41.6')
TWO-STORY RESIDENCE	1,890±	TO BE REMOVED	-
SHED	647±	TO BE REMOVED	(24.4' X 26.5')

PARCELS DATA

	SQ. FT.	ACRES	PIN
PARCEL 1	101,408±	2.33±	27-31-202-021-0000
PARCEL 2	45,520±	1.05±	27-31-202-019-0000
PARCEL 3	36,939±	0.85±	27-31-202-019-0000
PARCEL 4	69,652±	1.60±	27-31-202-022-0000

PARKING DATA

	REQUIRED	PROVIDED
STANDARD	82	93
HANDICAP**	4	4
TOTAL*	86	97
BICYCLE***	10	10

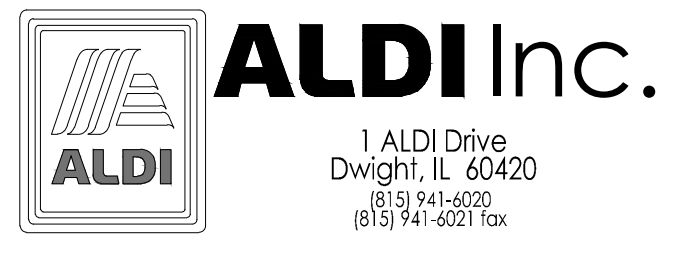
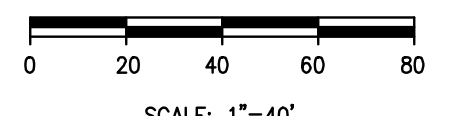
* TOTAL SPACES: 1 PER 250 S.F. FLOOR AREA = 20,442 SQ. FT.
 ** H.C. SPACES: 1 PER 25 STANDARD SPACES
 *** BICYCLE SPACES: 1 PER 10 AUTOMOBILE SPACES

LEGEND

FEATURE	DESCRIPTION
[Symbol]	ASPHALT SURFACE SIDEWALK
[Symbol]	CONCRETE
[Symbol]	STANDARD DUTY ASPHALT PAVEMENT
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	AREA TO BE GRADED AND SODDED
[Symbol]	NATURALIZED LANDSCAPED AREA
[Symbol]	CONCRETE TRUCK APRON
[Symbol]	BUILDING SETBACK LINE
[Symbol]	PROPERTY LINE
[Symbol]	EASEMENT LINE
[Symbol]	RIGHT OF WAY LINE
[Symbol]	DEMOLITION LINE
[Symbol]	STORM LINE
[Symbol]	EXISTING
[Symbol]	PROPOSED
[Symbol]	DESCRIPTION
[Symbol]	FIRE HYDRANT
[Symbol]	LIGHT POLE
[Symbol]	STORM LINE
[Symbol]	SANITARY LINE
[Symbol]	WATER LINE
[Symbol]	UNDERGROUND ELECTRIC LINE
[Symbol]	GAS LINE
[Symbol]	UNDERGROUND COMMUNICATION LINE
[Symbol]	CATCH BASIN
[Symbol]	STORM MANHOLE
[Symbol]	SANITARY STRUCTURE
[Symbol]	ELECTRICAL STRUCTURE
[Symbol]	UTILITY POLE
[Symbol]	FENCE

LEGEND

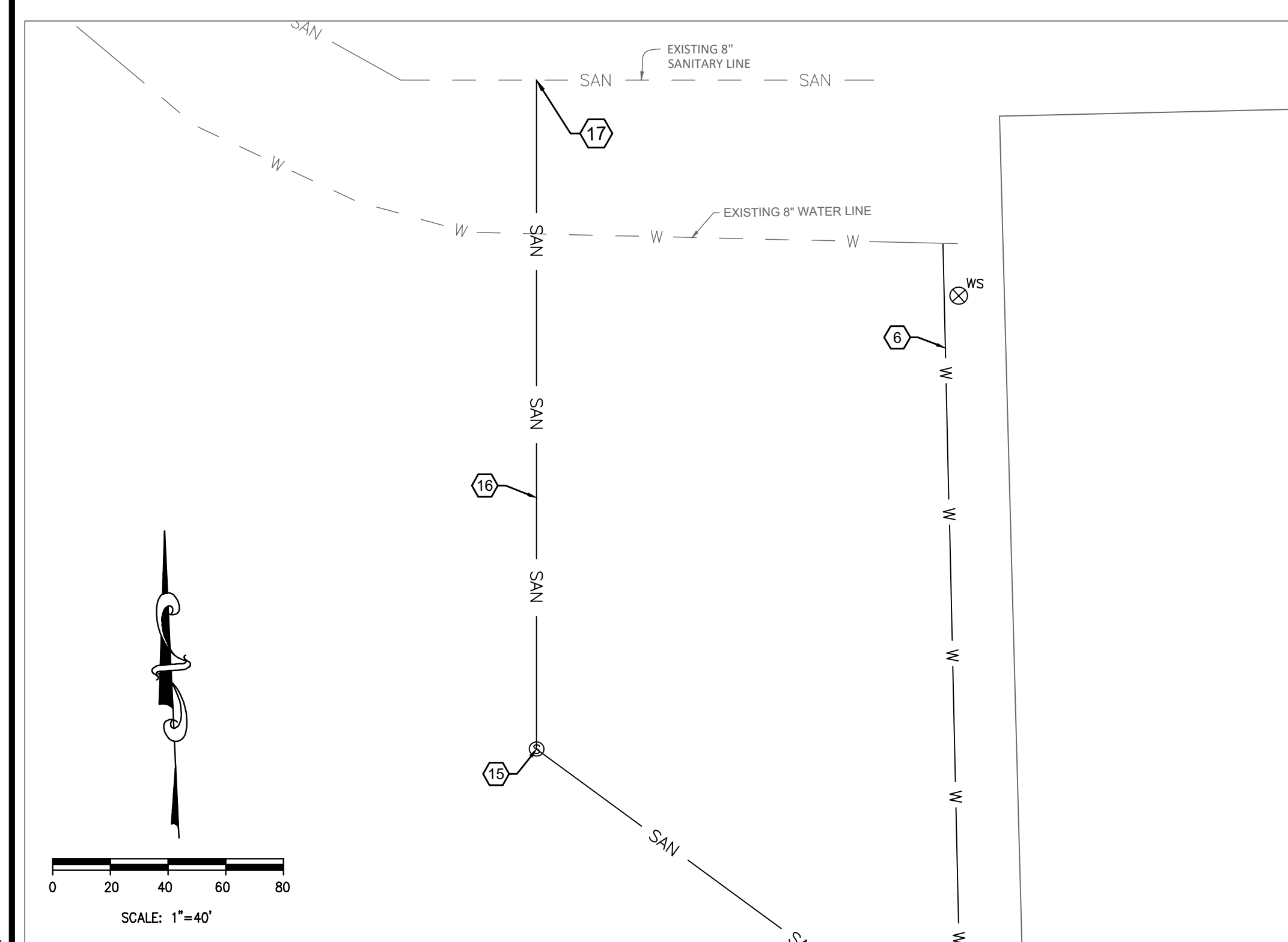
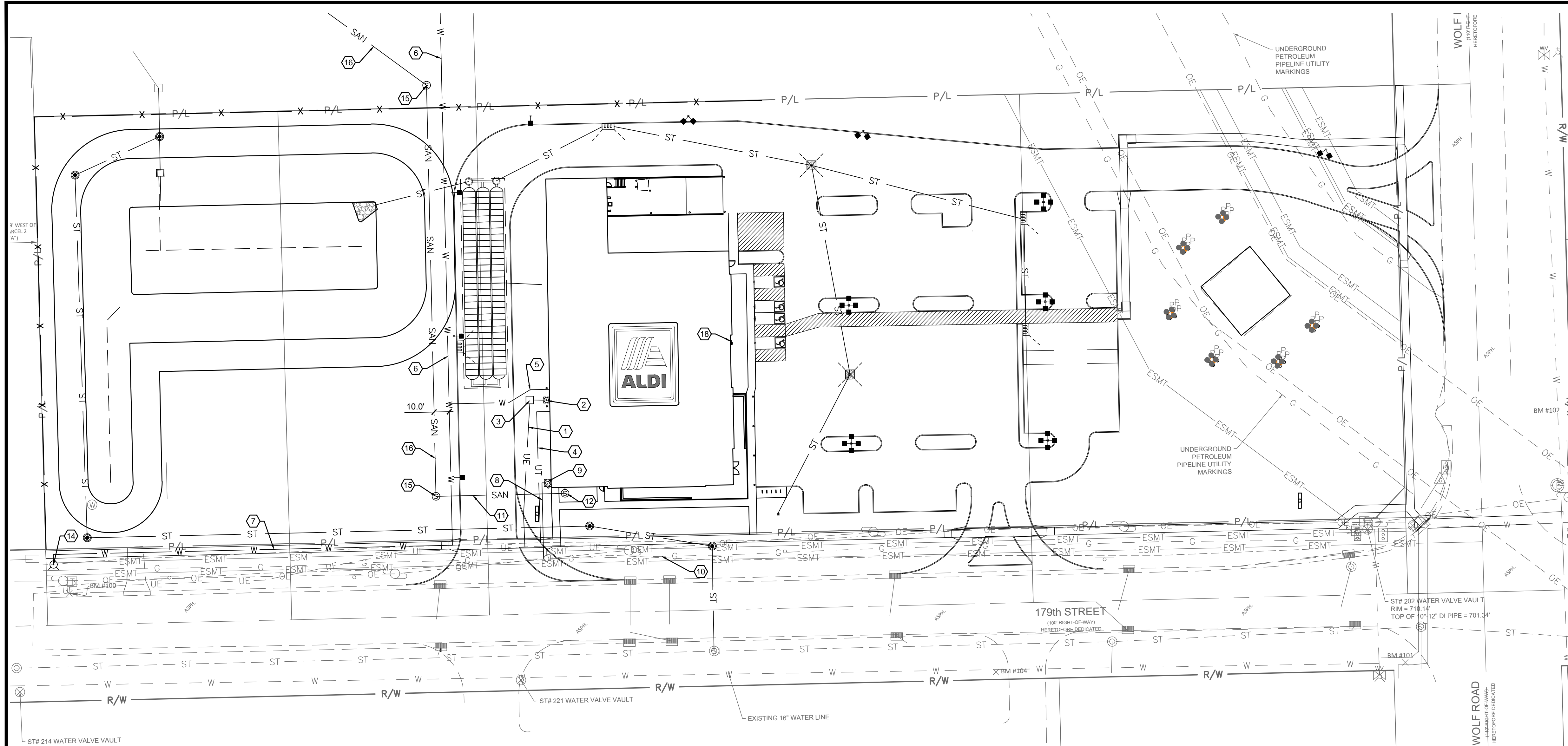
FEATURE	DESCRIPTION
[Symbol]	EXISTING NON-REPLACEMENT STANDARD TREE
[Symbol]	EXISTING REPLACEMENT STANDARD TREE
[Symbol]	EXISTING TREE TO REMAIN



ALDI Inc.
 Orland Park, IL
 179th Street & Wolf Road
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Site Plan	
Drawing Name:	Project No.
Prototype Rls. 06/03/20	40200-91
Type: LHSD-V7ER	C-2
Scale: As Noted	Drawing No.

PLOTTED: 12/1/2021 10:57 AM



- ### KEYED NOTES:
- 1 PROPOSED ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE CONDUIT SIZE, NUMBER OF CONDUITS, CONNECTIONS, AND BEND RADII WITH UTILITY OWNER AND MEP PLANS. CONTRACTOR TO COORDINATE CONNECTION TO EXISTING WITH UTILITY OWNER.
 - 2 PROPOSED ELECTRIC METER. COORDINATE LOCATION WITH UTILITY OWNER AND ELECTRICAL PLANS.
 - 3 PROPOSED ELECTRIC TRANSFORMER. CONTRACTOR TO COORDINATE LOCATION AND CONNECTION WITH UTILITY OWNER.
 - 4 PROPOSED UNDERGROUND TELEPHONE SERVICE. SEE MEP PLANS FOR DETAILS. CONTRACTOR TO COORDINATE CONDUIT SIZE, NUMBER OF CONDUITS, CONNECTIONS, AND BEND RADII WITH UTILITY OWNER AND MEP PLANS.
 - 5 PROPOSED 6" DUCTILE IRON COMBINED WATER SERVICE. INCLUDE IN BASE BID ALL ADDITIONAL VALVES, PIPING, STRUCTURES, ETC., THAT WILL BE REQUIRED.
 - 6 PROPOSED 8" WATER MAIN EXTENSION.
 - 7 PROPOSED 16" WATER MAIN EXTENSION.
 - 8 PROPOSED 2" GAS LINE.
 - 9 PROPOSED GAS METER. COORDINATE LOCATION WITH UTILITY OWNER AND MEP PLANS.
 - 10 APPROXIMATE LOCATION OF EXISTING GAS MAIN. CONTRACTOR TO TAKE CARE EXCAVATING NEAR MAIN AND CONTACT ENGINEER IF ELEVATION OF GAS LINE INTERFERES WITH UTILITY CONNECTIONS.
 - 11 PROPOSED 6" SANITARY SEWER. ASTM 3034, SDR-26. SEWER TO HAVE MINIMUM SLOPE OF 1.00%.
 - 12 PROPOSED SANITARY SEWER INSPECTION MANHOLE.
 - 13 EXISTING SANITARY SEWER MANHOLE.
 - 14 PROPOSED FIRE HYDRANT.
 - 15 PROPOSED SANITARY SEWER MANHOLE.
 - 16 PROPOSED 8" SANITARY SEWER MAIN EXTENSION. DESIGN TO BE COORDINATED WITH CITY ENGINEER.
 - 17 PROPOSED CONNECTION TO EXISTING 8" SANITARY SEWER IN CAMBRIDGE PLACE SUBDIVISION. EXACT LOCATION TO BE COORDINATED WITH CITY ENGINEER.
 - 18 PROPOSED FIRE DEPARTMENT CONNECTION.

NOTE:
WATER SERVICE FOR FIRE, DOMESTIC AND COMBINATION SERVICES SHALL BE INSTALLED AND TESTED FROM THE MAIN TO THE INTERIOR OF THE BUILDING BY SAME PLUMBING CONTRACTOR.

LEGEND

EXISTING	PROPOSED	FEATURE	DESCRIPTION
---	---	ST	STORM LINE
---	---	SAN	SANITARY LINE
---	---	W	WATER LINE
---	---	UE	UNDERGROUND ELECTRIC LINE
---	---	G	GAS LINE
---	---	UT	UNDERGROUND COMMUNICATION LINE
[Symbol]	[Symbol]		CATCH BASIN
[Symbol]	[Symbol]		STORM MANHOLE
[Symbol]	[Symbol]		SANITARY STRUCTURE
[Symbol]	[Symbol]		FIRE HYDRANT
[Symbol]	[Symbol]		ELECTRICAL STRUCTURE
[Symbol]	[Symbol]		UTILITY POLE
[Symbol]	[Symbol]		LIGHT POLE

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 - C. ALL EXISTING UTILITIES, ARE TAKEN FROM SURVEY AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.
 - D. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. PROPOSED UTILITIES SHOULD TIE INTO EXISTING UTILITIES AT A POINT INDICATED ON PLANS.
 - E. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATION IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
 - F. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING UTILITIES DURING CONSTRUCTION AND ALL DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER OR CITY.
 - G. THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS TO NOT CAUSE DAMAGE.
 - H. CONTRACTOR TO VERIFY ELEVATIONS OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION AND NOTIFY OWNER AND ENGINEER 3 DAYS PRIOR TO CONSTRUCTION.
 - I. CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 4' OVER PROPOSED WATER SERVICE.
 - J. ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SEEDED/SODDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
 - K. ALL RADII ARE 5.0 FEET UNLESS OTHERWISE SHOWN. ALL RADII INDICATED ON PLANS SHALL BE CONSTRUCTED AS CIRCULAR ARCS.
 - L. CONTRACTOR SHALL INCLUDE AS A BID ALTERNATE A LINE ITEM FOR SOIL STABILIZATION BY OVEREXCAVATION OR LIME/CEMENT STABILIZATION EQUAL TO APPROXIMATELY 25 PERCENT OF THE ANTICIPATED SUBGRADE. THIS QUANTITY SHALL BE IN EXCESS OF THAT ESTIMATED FOR THE REMOVAL OF UNSUITABLE SOILS. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
 - M. ALL DISTURBED AREAS WITHIN COUNTY ROW TO BE RESTORED WITH 4" OF TOPSOIL AND SOD.
 - N. THERE SHALL BE A MINIMUM TEN-FOOT HORIZONTAL SEPARATION BETWEEN WATER TAPS, WATER SERVICES, PRIVATE WATER SYSTEMS, AND ANY SANITARY AND/OR STORM SEWER SYSTEMS. WHERE TEN-FOOT HORIZONTAL SEPARATION CANNOT BE OBTAINED, THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
 - O. CONTRACTOR SHALL BACKFILL TRENCHES WITHIN COUNTY ROW TO MEET THE REQUIREMENTS OF ARTICLE 208.02 OF THE IDOT STANDARD SPECIFICATIONS.
 - P. CONTRACTOR TO COORDINATE CONNECTION OF 8" WATER MAIN EXTENSION TO 8" WATER MAIN ALONG BRADLEY CT WITH CAMBRIDGE PLACE SUBDIVISION DEVELOPER. CONTRACTOR TO INSTALL SHUT-OFF VALVE AND BOX, PER VILLAGE OF ORLAND PARK STANDARDS PRIOR TO CONNECTION.

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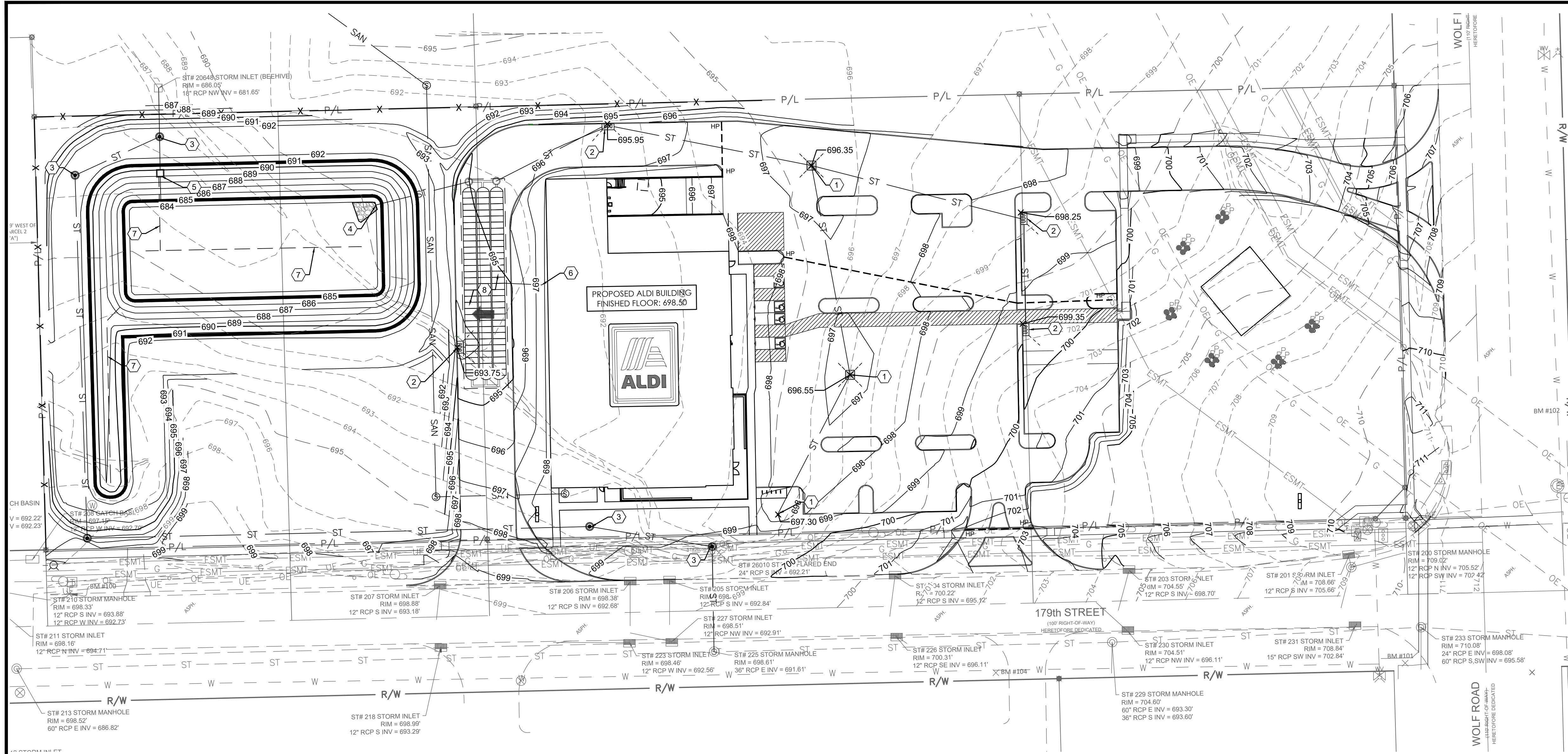
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- D. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- E. OWNER IS RESPONSIBLE FOR MAINTAINING AND CLEANING PROPOSED STORM SYSTEM AS NEEDED SO AS WATER STORAGE AREAS ARE NOT REDUCED.
- F. CONTRACTOR TO VERIFY ALL EXISTING GRADES AND CONTACT ENGINEER PRIOR TO BEGINNING WORK IF DISCREPANCY IS FOUND.
- G. THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS TO NOT CAUSE DAMAGE.
- H. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATION IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- I. ALL WORK SHALL BE PERFORMED FROM PRIVATE PROPERTY. ALL TRAFFIC LANES MUST REMAIN OPEN AT ALL TIMES.
- J. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING UTILITIES DURING CONSTRUCTION AND ALL DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER OR CITY.
- K. ALL STORM CONDUITS SHALL BE ADS N-12 HDPE, UNLESS OTHERWISE NOTED.
- L. BY GRAPHICAL PLOTTING ONLY, THIS SITE IS SITUATED IN FEMA FLOOD ZONE X PER FIRM #17031C0684J, EFFECTIVE AUGUST 19, 2008.
- M. MAINTAIN 36" COVER OVER STORM LINES.
- N. CONTRACTOR TO AVOID REMOVING EXISTING ROADWAY PAVEMENT. IF PAVEMENT MUST BE REMOVED OR IS DAMAGED, IT SHOULD BE REPLACED IN KIND.

KEYED NOTES:

- 1 PROPOSED SQUARE CATCH BASIN.
- 2 PROPOSED CURB INLET.
- 3 PROPOSED STORM MANHOLE.
- 4 PROPOSED CONCRETE HEADWALL.
- 5 PROPOSED OUTLET STRUCTURE.
- 6 PROPOSED DOWNSPOUT COLLECTOR SYSTEM AND HEADER PIPE.
- 7 PROPOSED UNDERDRAIN.
- 8 PROPOSED UNDERGROUND DETENTION SYSTEM.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
HP - - - - - HP	HP - - - - - HP	HIGH POINT
ST - - - - - ST	ST - - - - - ST	STORM LINE
980 - - - - - 980	980 - - - - - 980	MAJOR CONTOUR LINES
981 - - - - - 981	981 - - - - - 981	MINOR CONTOUR LINES
[Symbol]	[Symbol]	STORM STRUCTURE
[Symbol]	[Symbol]	STORM MANHOLE
[Symbol]	[Symbol]	MAJOR FLOOD ROUTING

DETENTION SUMMARY

	AC-FT	CF
MAX. 100-YEAR VOLUME FROM SITE	3.656	159,255
VOLUME DISCHARGED DURING PEAK 100-YEAR EVENT	.743	32,365
REQUIRED VOLUME	2.913	126,890
PROVIDED VOLUME	3.693	160,867

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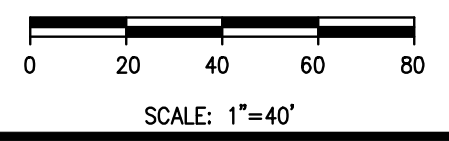
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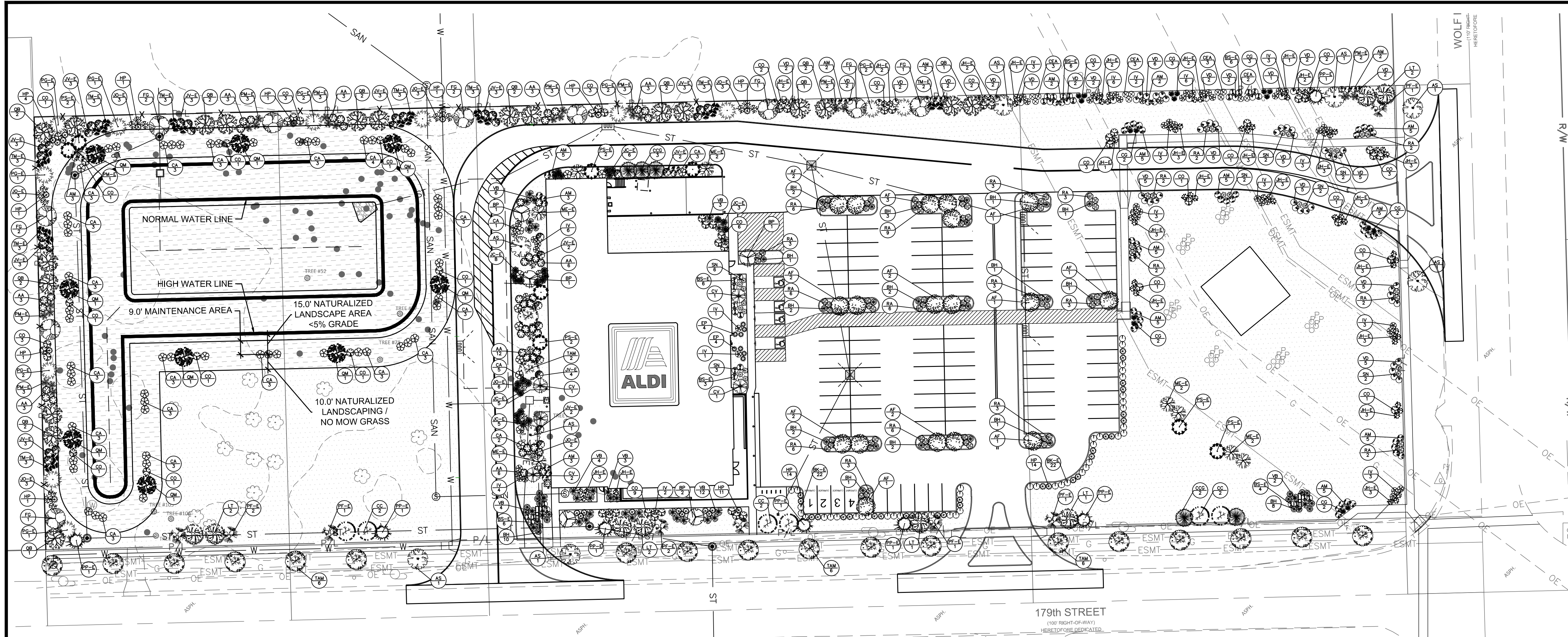
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 Project Name & Location:

Grading Plan

Drawing Name:	Project No.
Prototype Rls. 06/03/20	40200-91
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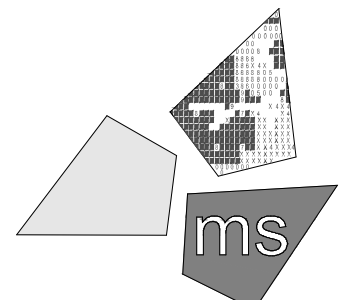
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GENERAL NOTES:

- A. ALL PLANT MATERIALS TO COMPLY WITH THE LATEST EDITION OF A.N.A. STANDARDS FOR NURSERY STOCK AND BE GUARANTEED UNTIL THE CERTIFICATE OF OCCUPANCY IS OBTAINED OR FOR A PERIOD OF ONE (1) YEAR FROM INSTALLATION DATE.
- B. LANDSCAPE CONTRACTOR IS TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND RECEIVE APPROVAL FROM GENERAL CONTRACTOR OR SITE SUPERVISOR, IF NECESSARY, TO MAKE CHANGES IN PLANT LOCATIONS.
- C. LANDSCAPE CONTRACTOR MUST COORDINATE WITH GENERAL CONTRACTOR AND OTHER SITE OPERATIONS.
- D. MINOR ADJUSTMENTS TO THE PLANT LOCATIONS ARE TO BE MADE IN THE CASE OF ANY CONFLICTS WITH PROPOSED UTILITIES.
- E. ALL PLANTING BEDS AND FREE STANDING TREES TO BE MULCHED WITH 3" OF SHREDED HARDWOOD MULCH. BEDS ARE TO BE GRADED SMOOTH AND FREE OF SOIL CLODS AND STONES. ALL TREES TO BE STAKED AND WRAPPED WITH KRAFT TREE WRAP.
- F. ALL PLANTS ARE TO BE REMOVED FROM CONTAINERS, CAGES AND NON-BIODEGRADABLE MATERIALS.
- G. GENERAL CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADES; LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND TO PROVIDE 4" OF AMENDED TOPSOIL FOR PLANTING BEDS.
- H. ALL ORGANIC MATTER AND DEBRIS ARE TO BE REMOVED FROM THE SITE BY THE LANDSCAPE CONTRACTOR. LAWN AREAS AND BEDS SHOULD BE FREE OF STONES GREATER THAN 2"
- I. PLANT QUANTITIES HAVE BEEN PROVIDED FOR CONVENIENCE ONLY; THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR HIS OWN "TAKE OFFS". DRAWING PREVAILS OVER WRITTEN QUANTITIES.
- J. THE LANDSCAPE CONTRACTOR SHALL SUBMIT A ONE (1) YEAR MAINTENANCE CONTRACT FOR CONSIDERATION BY THE OWNER. CONTRACT SHALL BE SEPARATE FROM INSTALLATION CONTRACT.
- K. PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE APPLIED AT PRODUCT SPECIFIED RATE UNLESS OTHERWISE NOTED.
- L. PLANTING SHALL BE FERTILIZED UPON INSTALLATION. RECOMMENDED FERTILIZER SHALL BE MIXED WITH BACKFILL AT PRODUCT SPECIFIED RATE.
- M. BED EDGE SHALL BE SMOOTH, CONSISTENT 4 1/2" DEEP AND HAND CUT. EDGES TO BE LOCATED BETWEEN ALL BEDS (INCLUDING TREES) AND LAWN AREAS.
- N. TOPSOIL SHALL BE BACK FILLED TO PROVIDE POSITIVE DRAINAGE OF ALL LANDSCAPE AREAS. SEE GRADING AND DRAINAGE PLAN.
- O. CONTRACTOR TO INSTALL DECIDUOUS TREES AND ALL SHRUBS PER PLANTING DETAILS LOCATED ON SHEET C-6.
- P. NURSERY STOCK IDENTIFICATION TABS SHALL NOT BE REMOVED FROM ANY PLANTING PRIOR TO INSPECTION AND APPROVAL OF FINAL INSTALLATION.
- Q. ALL DISEASED, DAMAGED OR DEAD MATERIALS SHALL BE REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE XIII OF THE VILLAGE OF ORLAND PARK MUNICIPAL CODES.
- R. EXISTING TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING GRINDING AND REMOVAL OF STUMPS. CAUTION SHOULD BE TAKEN TO MAKE SURE NO NEIGHBORING PROPERTY TREES ARE CUT DOWN. REFER TO LEGEND AND PLAN FOR EXISTING TREES TO REMAIN.
- S. PROPOSED FENCE ALONG TYPE 3 BUFFERYARD TO BE 6' TALL SOLID FENCE, TREX SECLUSIONS® IN WINCHESTER GREY COLOR, OR APPROVED EQUAL.

LEGEND

FEATURE	DESCRIPTION
	EXISTING NON-REPLACEMENT STANDARD TREE
	EXISTING REPLACEMENT STANDARD TREE
	EXISTING TREE TO REMAIN
	AREA TO BE GRADED AND SODDED
	NATURALIZED LANDSCAPE AREA
	FENCE

NATURALIZED LANDSCAPE AREA NOTES:

- A. THE AREA BELOW THE NORMAL WATER LINE SHALL BE PLANTED WITH A NATIVE DETENTION BASIN SEED MIX, TO BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT.
- B. THE AREA ABOVE THE NORMAL WATER LINE SHALL BE PLANTED WITH LOW PROFILE NATIVE PRAIRIE SEED MIX, TO BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT.

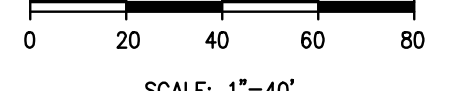
PROPOSED PLANT SCHEDULE

CANOPY TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	QTY
	FAGUS GRANDIFOLIA	AMERICAN BEECH	B+B	2 1/2"	10
	QUERCUS MACROCARPA	BUR OAK	B+B	2 1/2"	9
	ACER SACCHARUM	SUGAR MAPLE	B+B	2 1/2"	8
	TILIA AMERICANA MCKSENTRY	AMERICAN SENTRY LINDEN	B+B	2 1/2"	20
	QUERCUS BICOLOR	SWAMP WHITE OAK	B+B	2 1/2"	19
	LIRIODENDRON TULIPIFERA	TULIP TREE	B+B	2 1/2"	8
	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B+B	2 1/2"	6
	ACER FREEMANI	FREEMAN MAPLE	B+B	2 1/2"	18
	BETULA POPULIFOLIA	WHITE BIRCH	B+B	2 1/2"	5
	CRATAEGUS CRUS-GALLI VAR. INERMIS	COCKSPUR HAWTHORN	B+B	2 1/2"	5
	CHIONANTHUS VIRGINICUS	FRINGE TREE	B+B	2 1/2"	5
	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	B+B	60" MIN.	66
	CORYLUS AMERICANA	AMERICAN FILBERT	B+B	60" MIN.	54
	VIBURNUM PRUNIFOLIUM	BLACKHAW VIBURNUM	B+B	96" MIN.	34
	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	B+B	36" MIN.	65
	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	B+B	60" MIN.	42
	ILEX VERTICILLATA	COMMON WINTERBERRY	B+B	36" MIN.	52
	ARONIA MELANOCARPA	BLACK CHOKEBERRY	B+B	36" MIN.	64
	HYPERICUM PROLIFICUM	SHRUBBY ST. JOHN SWORT	B+B	36" MIN.	51
	RHUS AROMATICA	GRO LOW SUMAC	B+B	30" MAX.	72

PROPOSED PLANT SCHEDULE

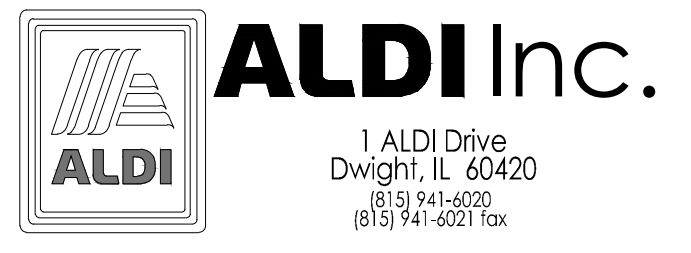
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	QTY
	PSEUDOTSUGA MENZIENSII	DOUGLAS FIR	B+B		8
	PINUS STROBES	EASTERN WHITE PINE	B+B		8
	PINUS FLEXILIS	LIMBER PINE	B+B		8
	PICEA PUNGENS	COLORADO SPRUCE	B+B		7
	PICEA GLAUCA	BLACK HILLS SPRUCE	B+B		12
	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	B+B	36" MIN.	58
	PINUS MUGO	MUGO PINE	B+B	60" MIN.	23
	TAXUS X MEDIA	DENSE YEW	B+B	60" MIN.	26
	JUNIPERUS VIRGINIANA	EASTERN RED-CEDAR	B+B	60" MIN.	34
	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	B+B	60" MIN.	23
	JUNIPERUS CHINENSIS	CHINESE JUNIPER	B+B	36" MIN.	27
	BUXUS KOREANA	KOREAN BOXWOOD	B+B	36" MIN.	44
	BUXUS SEMPERVIRENS	COMMON BOXWOOD	B+B	36" MIN.	31
	BAPTISIA HYBRIDS	FALSE INDIGO	B+B	24" MIN.	20
	CEANOTHUS AMERICANUS	NEW JERSEY TEA	B+B	36" MIN.	11
	ECHINACEA PURPUREA	PURPLE CONEFLOWER	B+B	12" MIN.	8
	SYMPHYOTRICHUM NOVI-BELGII	NEW YORK ASTER	B+B	24" MIN.	19
	CHELONE GLABRA	WHITE TURTLE-HEAD	B+B	24" MIN.	17

PERENNIALS	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	QTY
	BAPTISIA HYBRIDS	FALSE INDIGO	B+B	24" MIN.	20
	CEANOTHUS AMERICANUS	NEW JERSEY TEA	B+B	36" MIN.	11
	ECHINACEA PURPUREA	PURPLE CONEFLOWER	B+B	12" MIN.	8
	SYMPHYOTRICHUM NOVI-BELGII	NEW YORK ASTER	B+B	24" MIN.	19
	CHELONE GLABRA	WHITE TURTLE-HEAD	B+B	24" MIN.	17



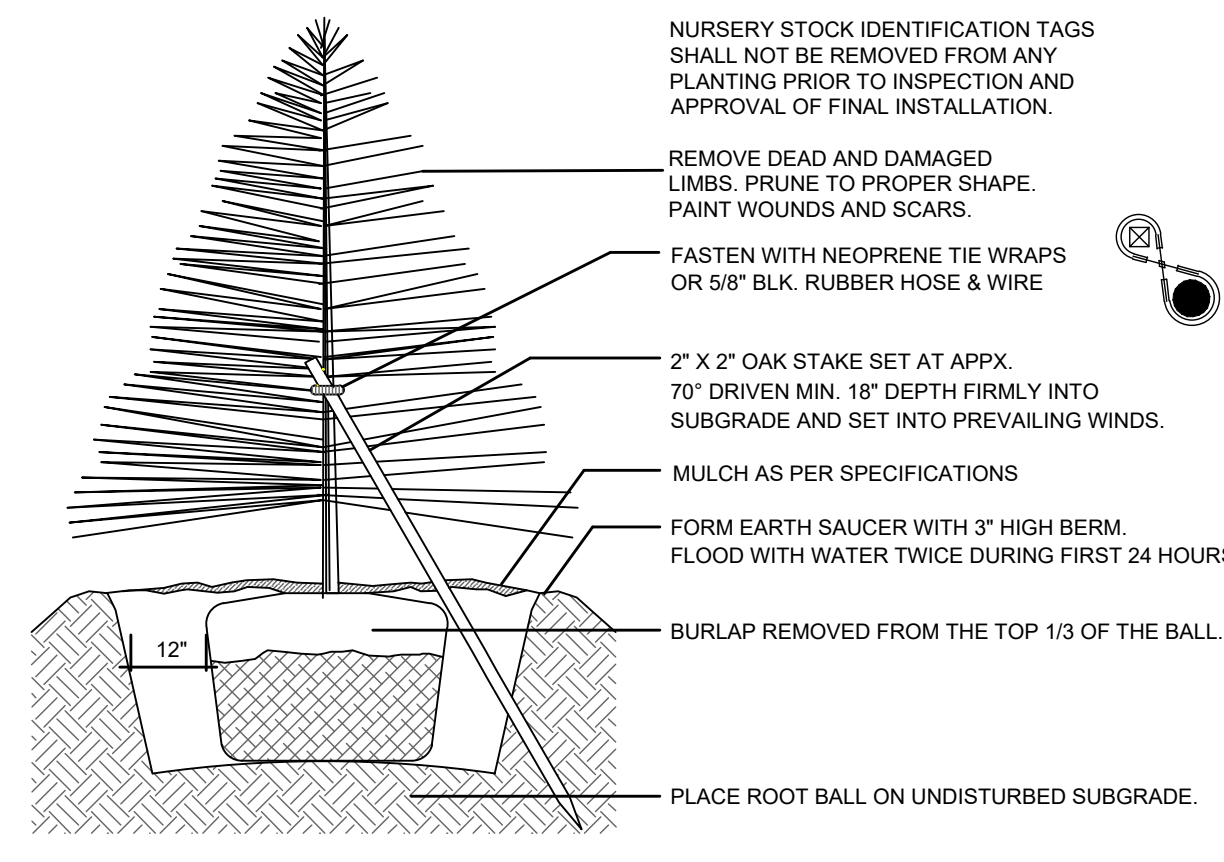
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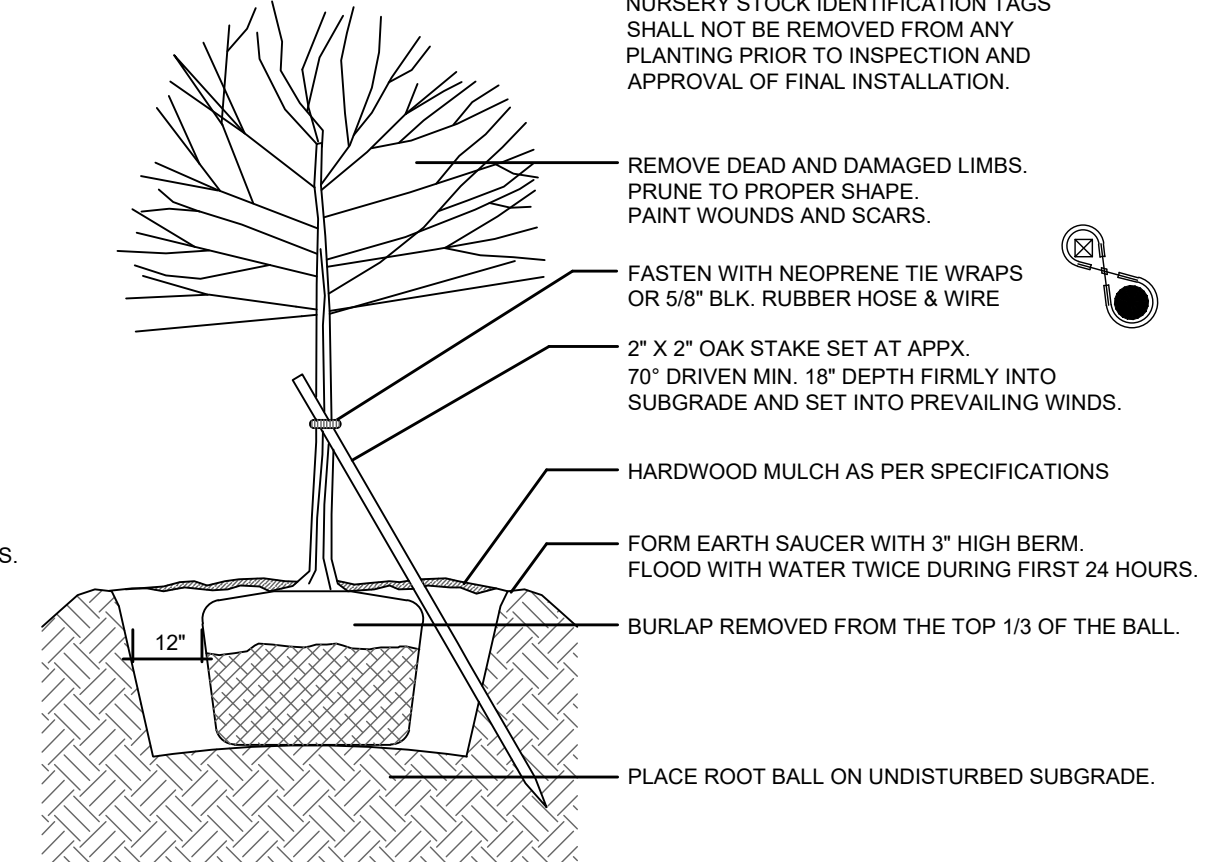


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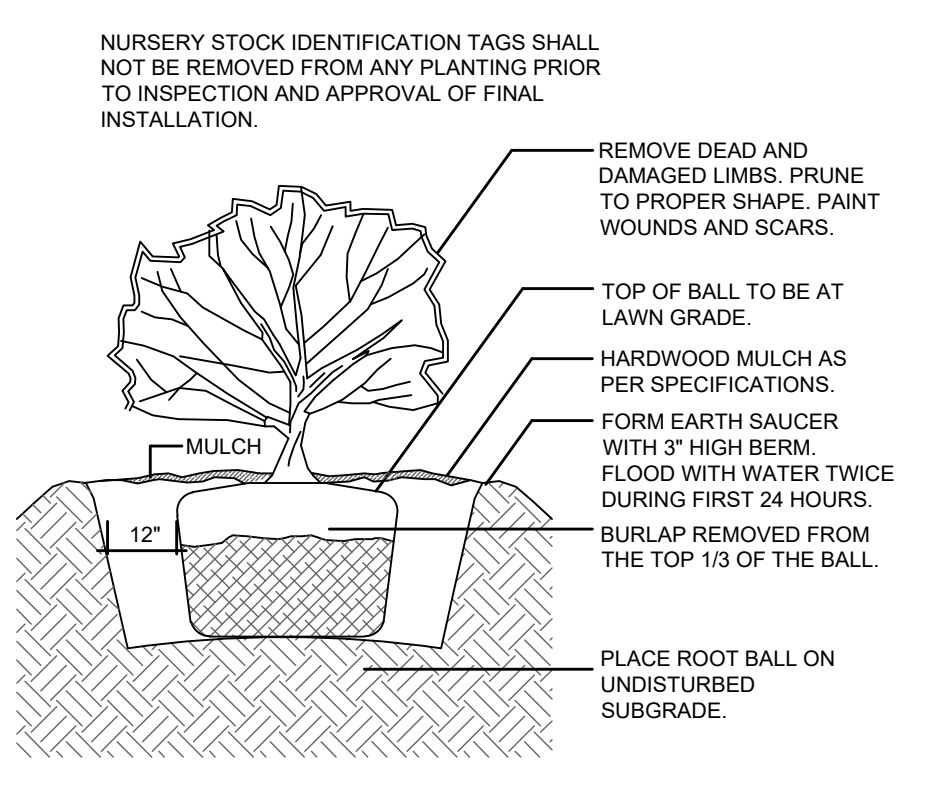
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 Prototype Rls. 06/03/20
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 Project No. 40200-91
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 Scale: As Noted Drawing No.



A EVERGREEN TREE PLANTING DETAIL
C6 N.T.S.



B DECIDUOUS TREE PLANTING DETAIL
C6 N.T.S.



C SHRUB PLANTING DETAIL
C6 N.T.S.

SITE DATA			
	SQ. FT. (#)	%	REQUIRED
TOTAL SITE AREA	253,851	-	-
TOTAL LANDSCAPE AREA	152,762	60.2	25.0%
TOTAL LANDSCAPE ISLANDS	3,761 (13)	-	1,620 SQ. FT. (9 ISLANDS)
TOTAL PARKING STALLS	17,460 (97)	-	86 PARKING STALLS
STANDARD PARKING STALL (20' X 9')	180	-	162 SQ. FT. (18' X 9')
*TOTAL PARKING STALLS: 1 PER 250 S.F. FLOOR AREA = 20,442 SQ. FT.			
**ONE (1) DETACHED PARKING LOT ISLAND PER 10 PARKING STALLS.			

PLANT DIVERSITY			
TOTAL TREES	DECIDUOUS	EVERGREEN	TOTAL
PROPOSED TREES (NUMBER)	113	43	156
PROPOSED TREES (PERCENT)	72%	28%	100%
PERCENT ALLOWED PER TABLE 6-305.E.6.b(A)	65%-75%	25%-35%	
TOTAL SHRUBS	DECIDUOUS	EVERGREEN	TOTAL
PROPOSED SHRUBS (NUMBER)	500	266	766
PROPOSED SHRUBS (PERCENT)	65%	35%	100%
PERCENT ALLOWED PER TABLE 6-305.E.6.b(A)	65%-75%	25%-35%	
PLANTS AT DETENTION POND	NATIVE	NON-NATIVE	TOTAL
PROPOSED PLANTS (NUMBER)	73	0	73
PROPOSED PLANTS (PERCENT)	100%	0%	100%
PERCENT ALLOWED PER TABLE 6-305.E.6.b(A)	100%	0%	
TOTAL PLANTS (DETENTION POND EXCLUDED)	NATIVE	NON-NATIVE	TOTAL
PROPOSED PLANTS (NUMBER)	809	115	924
PROPOSED PLANTS (PERCENT)	88%	12%	100%
PERCENT ALLOWED PER TABLE 6-305.E.6.b(A)	30% (MIN.)	70% (MAX.)	

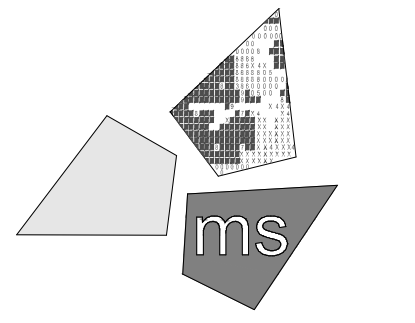
TEMPORARY SEEDING SPECIES SELECTION			
SEEDING DATES	SPECIES	LB/1000 SF	LB/ACREA
MAR 1 TO AUG 15	OATS	3	128-4 BUSHEL
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	ANNUAL RYEGRASS	1.25	55
	PERENNIAL RYEGRASS	3.25	142
	CREeping RED FESCUE	0.40	17
	KENTUCKY BLUEGRASS	0.40	17
	OATS	3	128-3 BUSHEL
	TALL FESCUE	1	40
ANNUAL RYEGRASS	1	40	
AUG 16 TO NOV	RYE	3	112-3 BUSHEL
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	WHEAT	3	120-2 BUSHEL
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYE	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	ANNUAL RYEGRASS	1.25	40
	PERENNIAL RYEGRASS	3.25	40
	CREeping RED FESCUE	0.40	40
KENTUCKY BLUEGRASS	0.40	40	
NOV 1 TO FEB 29	USE MULCH ONLY OR DORMANT SEEDING		

PLANT DIVERSITY					
CANOPY (SHADE) TREES		QTY	PCT	NATIVE	
FAGUS GRANDIFOLIA	AMERICAN BEECH	10	10%	Y	
QUERCUS MACROCARPA	OAK BUR	9	9%	Y	
ACER SACCHARUM	SUGAR MAPLE	8	8%	Y	
QUERCUS BICOLOR	SWAMP WHITE OAK	19	19%	Y	
ACER FREEMANII	FREEMAN MAPLE	18	19%	Y	
TILIA AMERICANA MCKSENTRY	AMERICAN SENTRY LINDEN	20	21%	Y	
LIRIODENDRON TULIPIFERA	TULIP TREE	8	8%	Y	
CELTIS OCCIDENTALIS	COMMON HACKBERRY	6	6%	Y	
TOTAL CANOPY (SHADE) TREES		98	100%	100%	
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)		8	5%-30%		
EVERGREEN TREES		QTY	PCT	NATIVE	
PSEUDOTSUGA MENZIENSII	DOUGLAS FIR	8	19%	Y	
PINUS STROBIS	EASTERN WHITE PINE	8	19%	Y	
PINUS FLEXILIS	LIMBER PINE	8	19%	Y	
PICEA PUNGENS	COLORADO SPRUCE	7	16%	Y	
PICEA GLAUCA	BLACK HILLS SPRUCE	12	27%	Y	
TOTAL EVERGREEN TREES		43	100%	100%	
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)		5	10%-40%		
ORNAMENTAL DECIDUOUS TREES		QTY	PCT	NATIVE	
BETULA POPULIFOLIA	WHITE BIRCH	5	33%	Y	
CRATAEGUS CRUS-GALLI VAR. INERMIS	COCKSPUR HAWTHORN	5	33%	Y	
CHIONANTHUS VIRGINICUS	FRINGE TREE	5	33%	Y	
TOTAL ORNAMENTAL DECIDUOUS TREES		15	100%	100%	
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)		3	20%-45%		
DECIDUOUS SHRUBS		QTY	PCT	NATIVE	
CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	66	13%	Y	
CORYLUS AMERICANA	AMERICAN FILBERT	54	11%	Y	
VIBURNUM PRUNIFOLIUM	BLACKHAW VIBURNUM	34	7%	Y	
VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	65	13%	Y	
ARONIA ARBUTIFOLIA	RED CHOKEBERRY	42	8%	Y	
ILEX VERTICILLATA	COMMON WINTERBERRY	52	11%	Y	
ARONIA MELANOCARPA	BLACK CHOKEBERRY	64	13%	Y	
HYPERICUM PROLIFICUM	SHRUBBY ST. JOHNSWORT	51	10%	Y	
RHUS AROMATICA	GRO LOW SUMAC	72	14%	Y	
TOTAL DECIDUOUS SHRUBS		500	100%	100%	
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)		8	5%-30%		
EVERGREEN SHRUBS		QTY	PCT	NATIVE	
JUNIPERUS HORIZONTALIS	CREeping JUNIPER	58	22%	Y	
PINUS MUGO	MUGO PINE	23	8%	N	
TAXUS X MEDIA	DENSE YEW	26	10%	N	
JUNIPERUS VIRGINIANA	EASTERN RED-CEDAR	34	13%	Y	
THUJA OCCIDENTALIS	EASTERN ARBORVITAE	23	8%	Y	
JUNIPERUS CHINENSIS	CHINESE JUNIPER	27	10%	N	
BUXUS KOREANA	KOREAN BOXWOOD	44	17%	N	
BUXUS SEMPERVIRENS	COMMON BOXWOOD	31	12%	N	
TOTAL EVERGREEN SHRUBS		266	100%	43%	
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)		8	5%-30%		
PERENNIALS		QTY	PCT	NATIVE	
BAPTISIA HYBRIDS	FALSE INDIGO	20	27%	Y	
CEANOTHUS AMERICANUS	NEW JERSEY TEA	11	15%	Y	
ECHINACEA PURPUREA	PURPLE CONEFLOWER	8	11%	Y	
SYMPHYOTRICHUM NOVI-BELGII	NEW YORK ASTER	19	25%	Y	
CHELONE GLABRA	WHITE TURTLE-HEAD	17	22%	Y	
TOTAL PERENNIALS		75	100%	100%	
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)		5	10%-40%		

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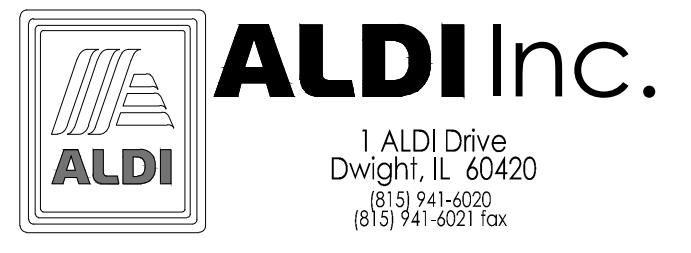


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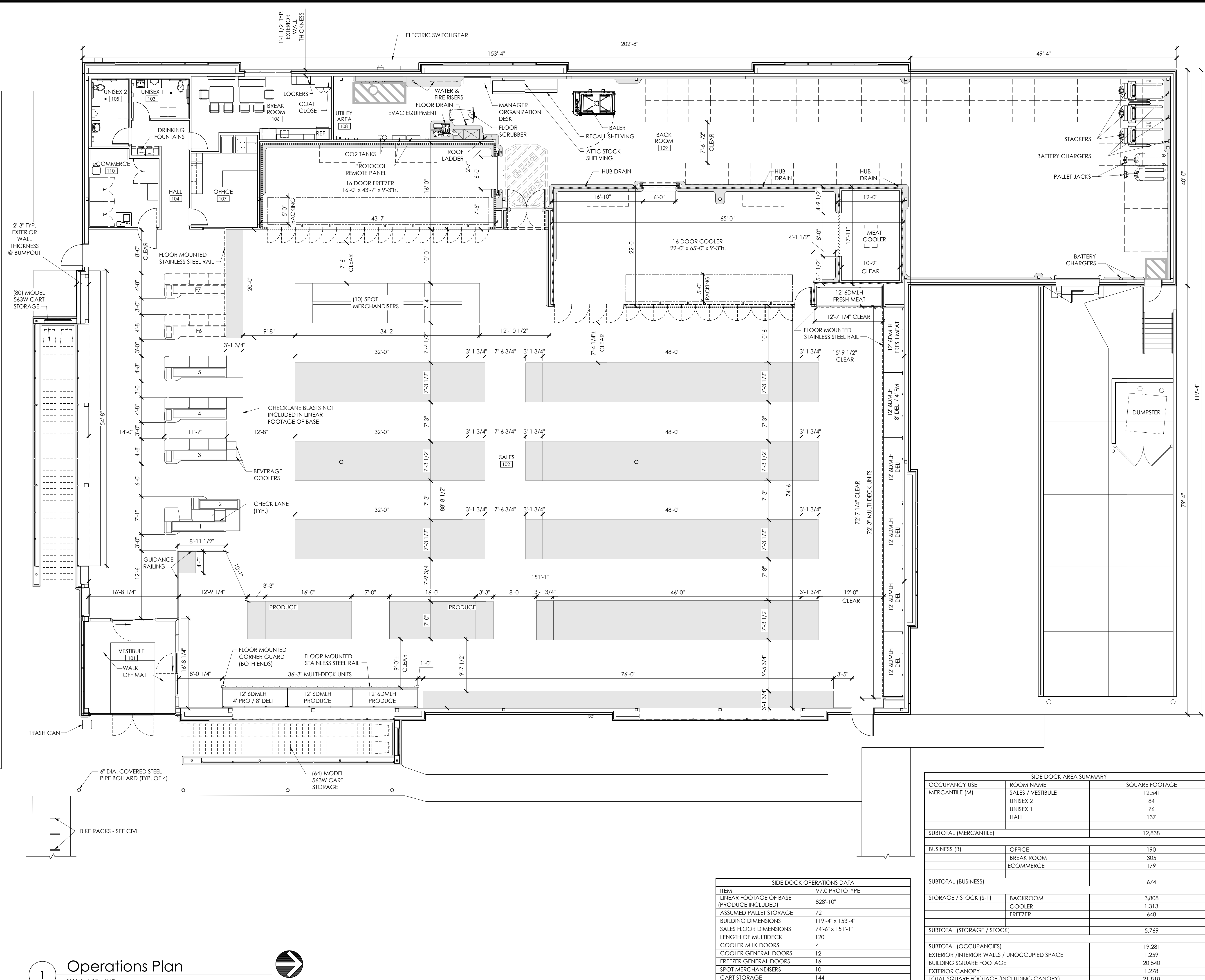
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2. ALL DIMENSIONS TO WALLS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. THIS FACILITY DOES NOT CONTAIN A BAKERY, A BUTCHER, A DELI OR FISH COUNTER.
4. ALL FOOD IS PREPACKAGED. THERE IS NO ON SITE FOOD PREPARATION.
5. GONDOLA LOCATIONS ARE MEASURED FROM THE FACE OF THE STAINLESS STEEL PRICE TAG MOLDING (SSPTM).



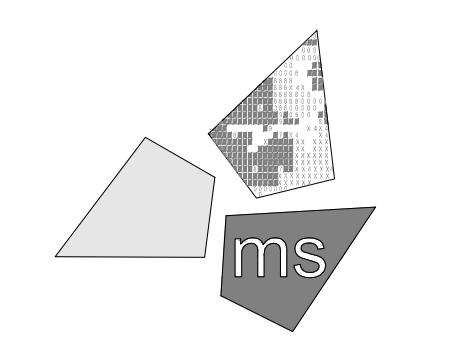
Operations Plan
SCALE: 1/8" = 1'-0"
NORTH

SIDE DOCK OPERATIONS DATA	
ITEM	V7.0 PROTOTYPE
LINEAR FOOTAGE OF BASE (PRODUCE INCLUDED)	828'-10"
ASSUMED PALLET STORAGE	72
BUILDING DIMENSIONS	119'-4" x 153'-4"
SALES FLOOR DIMENSIONS	74'-6" x 151'-1"
LENGTH OF MULTIDECK	120'
COOLER MILK DOORS	4
COOLER GENERAL DOORS	12
FREEZER GENERAL DOORS	16
SPOT MERCHANDISERS	10
CART STORAGE	144

SIDE DOCK AREA SUMMARY		
OCCUPANCY USE	ROOM NAME	SQUARE FOOTAGE
MERCANTILE (M)	SALES / VESTIBULE	12,541
	UNISEX 2	84
	UNISEX 1	76
	HALL	137
SUBTOTAL (MERCANTILE)		12,838
BUSINESS (B)	OFFICE	190
	BREAK ROOM	305
	ECOMMERCE	179
SUBTOTAL (BUSINESS)		674
STORAGE / STOCK (S-1)	BACKROOM	3,808
	COOLER	1,313
	FREEZER	648
SUBTOTAL (STORAGE / STOCK)		5,769
SUBTOTAL (OCCUPANCIES)		19,281
EXTERIOR / INTERIOR WALLS / UNOCCUPIED SPACE		1,259
BUILDING SQUARE FOOTAGE		20,540
EXTERIOR CANOPY		1,278
TOTAL SQUARE FOOTAGE (INCLUDING CANOPY)		21,818

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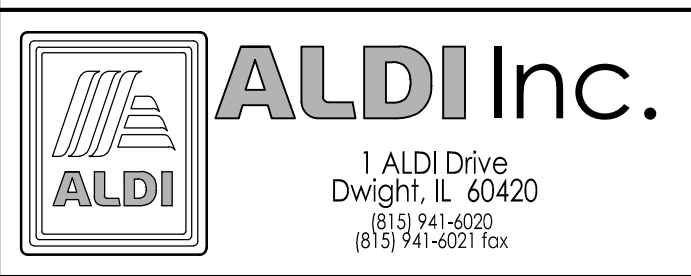
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REVIEWED BY: NAL

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Drawing Name:
Prototype Rls. 06/03/20 Project No. 40200-91

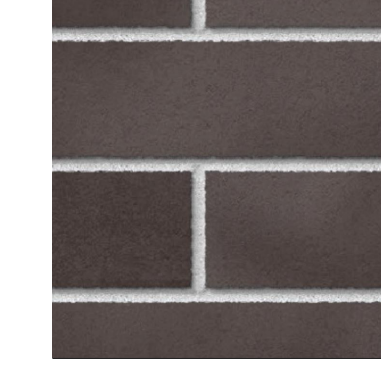
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Scale: As Noted Drawing No. A-131

EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A1	PREFINISHED METAL COPING	A1 - SILVER - AT HIGH ROOF & CANOPY A1a - PETERSEN ALUM - MUSKET GREY - AT BRICK A1b - PETERSEN ALUM - #397C0290 CEDAR - AT NICHIIHA TOWERS A1c - PETERSEN ALUM - MUSKET GREY - AT BRICK ACCENT BUMPPOINTS	
A2	SPEC-BRICK CONCRETE MASONRY VENEER	(A2) 4"Wx4"Hx16"L GARDNER BLEND w/ HOLCIM "SMITH GRAY MORTAR ALT: SOLOMON "85 X DARK CHOCOLATE" (A2a) 4"Wx4"Hx16"L CHESAPEAKE BLEND w/ HOLCIM "SMITH GRAY MORTAR ALT: SOLOMON "85 X DARK CHOCOLATE" (A2b) 4"Wx4"Hx8"L GARDNER BLEND w/ HOLCIM "SMITH GRAY MORTAR ALT: SOLOMON "85 X DARK CHOCOLATE" (A2c) 12"Wx4"Hx16"L GARDNER BLEND w/ HOLCIM "SMITH GRAY MORTAR ALT: SOLOMON "85 X DARK CHOCOLATE"	
A3	PREFINISHED ALUM. SILL FLASHING	A3 - BRIGHT SILVER A3a - PETERSEN ALUM - MUSKET GREY	
A4	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUM.	
A5	MEMBRANE ROOFING	GRAY	TOP OF SLOPED ROOF, CANOPY ROOF, AND BACK OF RAISED ROOF PROJECTIONS
A6	METAL SOFFIT PANELS	A6 - SOLID PANELS - BRIGHT SILVER A6a - 1/2" VENTED PANELS - BRIGHT SILVER	
A7	EXTERIOR PAINT	SHERWIN WILLIAMS #6005 FOLKSTONE (240-C6)	
A8	ALUMINUM CURTAIN WALL SYTEM	ANODIZED ALUMINUM	
A9	ALUMINUM COMPOSITE PANEL	BRIGHT SILVER	PROVIDE PANEL JOINTS AS SHOWN - PROVIDE ONE PIECE TIGHT FIT EXTRUDED MOLDING INSTALLATION SYSTEM WITH CENTER REVEAL TRIM BETWEEN PANELS AND J TRIM AT PANEL EDGES.
A10	NICHIIHA FIBER CEMENT EXTERIOR CLADDING	VINTAGEWOOD "BARK"	PANELS SHALL EXTEND ONTO THE ROOF FOR THE FULL DEPTH OF THE BUMPPOINT
A11	BLRD-2	SAFETY YELLOW	
A12	BLRD-4		
A13	GUARD RAIL TYPE "A"	GALVANIZED STEEL	
A14	GUARD RAIL TYPE "B"	GALVANIZED STEEL	
A15	BLRD-3	GALVANIZED	

EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A16	DOCK LEVELER / SEAL AND BUMPERS	LEVELER - FACTORY FINISH / SEAL AND BUMPERS - FACTORY FINISH - BLACK	
A17	MASONRY CONTROL JOINT		MAX 20' OC
A18	SCUPPER, 14" OVERFLOW SCUPPER & DOWNSPOUT	MATCH COPING ABOVE	
A19	ARCHITECTURAL CAST STONE CAP	TANNERSTONE: AG-1	
A20	ALDI TOWER SIGN	BY SIGN VENDOR	7'-11 1/8" w. x 9'-5 1/2" h.; VERIFY SIGN SIZE PRIOR TO FRAMING OPENING
A21	CRTB	NATURAL	
A22	KNOX BOX	FACTORY FINISH	CONFIRM TYPE AND LOCATION WITH LOCAL FIRE MARSHAL
A23	AUTO DOOR SYSTEM & TRANSOM	ANODIZED ALUMINUM	
A24	NOT USED		
A25	8" X 8" PRE-FINISHED ALUM GUTTER	MATCH PREFINISHED METAL COPING	
A26	8" X 8" PRE-FINISHED ALUM DOWNSPOUT	MATCH PREFINISHED METAL COPING	TERMINATE AT CONC. SPLASH BLOCK
A27	ACP H/J TRIM / JOINT COVER		TYPICAL AT EDGES AND BUTT JOINTS OF ACP
A28	FIBER CEMENT PANEL BASE FLASHING	PETERSEN ALUMINUM - #CEDAR 397C0290 SPAY CODE	
A29	DUMPSTER ENCLOSURE		
A30	BLRD-1	SAFETY YELLOW	6" DIA. BOLLARD AT DUMPSTER GATE
A31	NICHIIHA CONTROL JOINT WITH "H" CLIP		
E1	EXIT DISCHARGE LIGHT	FACTORY FINISH	MOUNT @ 8'-0" A.F.F.
E2	WALL SCNCE	FACTORY FINISH	MOUNT @ 14'-8" A.F.F.
E3	JUNCTION BOX WITH COVER FOR FUTURE CARD READER		MOUNT CENTERED @ 46" A.F.F.
E4	UTILITY METERING & C.T.	FACTORY FINISH	
E5	EXTERIOR WALL PACK	FACTORY FINISH	MAN DOORS - MOUNT @ 9'-0" A.F.F., BREAK ROOM WINDOW @ 10'-0" A.F.F., LOADING DOCK - MOUNT @ 12'-0" A.F.F.
E6	EXTERIOR DUPLEX RECEPTACLE	FACTORY FINISH	MOUNT @ 11'-6" A.F.F. IN 4" SQUARE J-BOX
F1	FIRE DEPT. CONNECTION	FACTORY FINISH	
F2	MOTOR GONG	FACTORY FINISH	



A2 - MASONRY VENEER: GARDNER BLEND



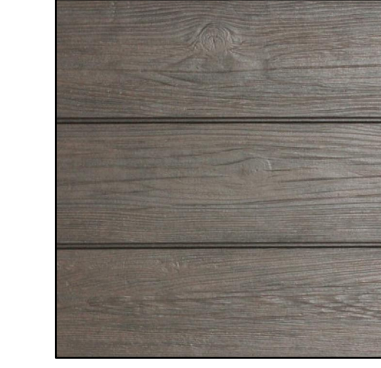
A2a - MASONRY VENEER: CHESAPEAKE BLEND



A4 - ALUMINUM STOREFRONT SYSTEM: ANODIZED



A9 - ALUMINUM COMPOSITE PANEL: SILVER

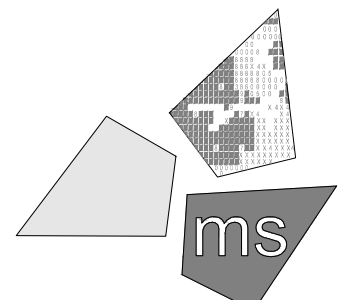


A10 - FIBER CEMENT EXTERIOR CLADDING: BARK

Issued:	Date:
Planning Submittal	05/28/21
Planning Response	08/06/21
Planning Response	10/15/21

Revisions: _____ Date: _____

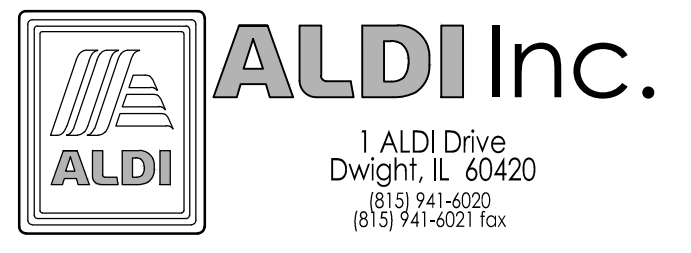
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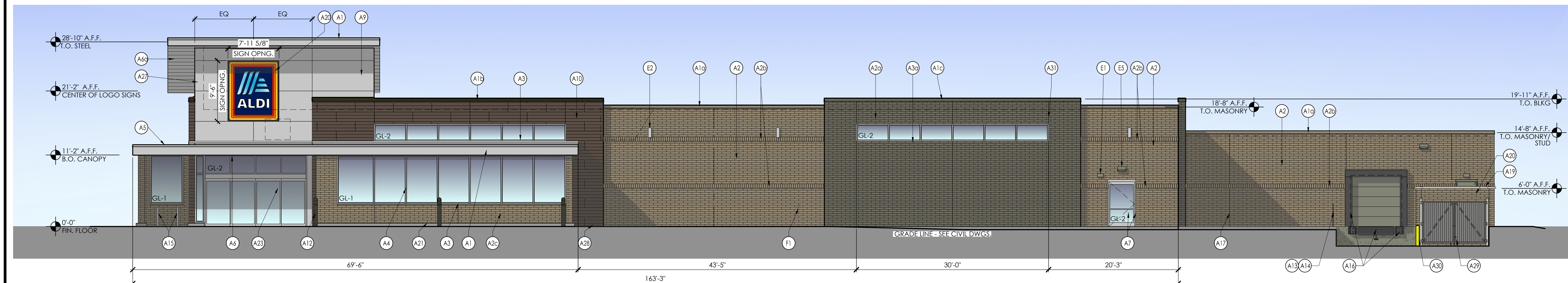
DRAWN BY: MYG/MEM
REVIEWED BY: NAL

Seal



ALDI Inc.
Orland Park, IL
179th Street & Wolf Road
Orland Park, IL 60467
Cook County
PIN: 27-31-202-021-000-022
Project Name & Location:

Exterior Elevations
Drawing Name:
Prototype Rls. 06/03/20
Project No. 40200-91
Type: LHS-D-V7ER
A-201
Scale: As Noted
Drawing No.



2 East Elevation
SCALE: 1/8" = 1'-0"

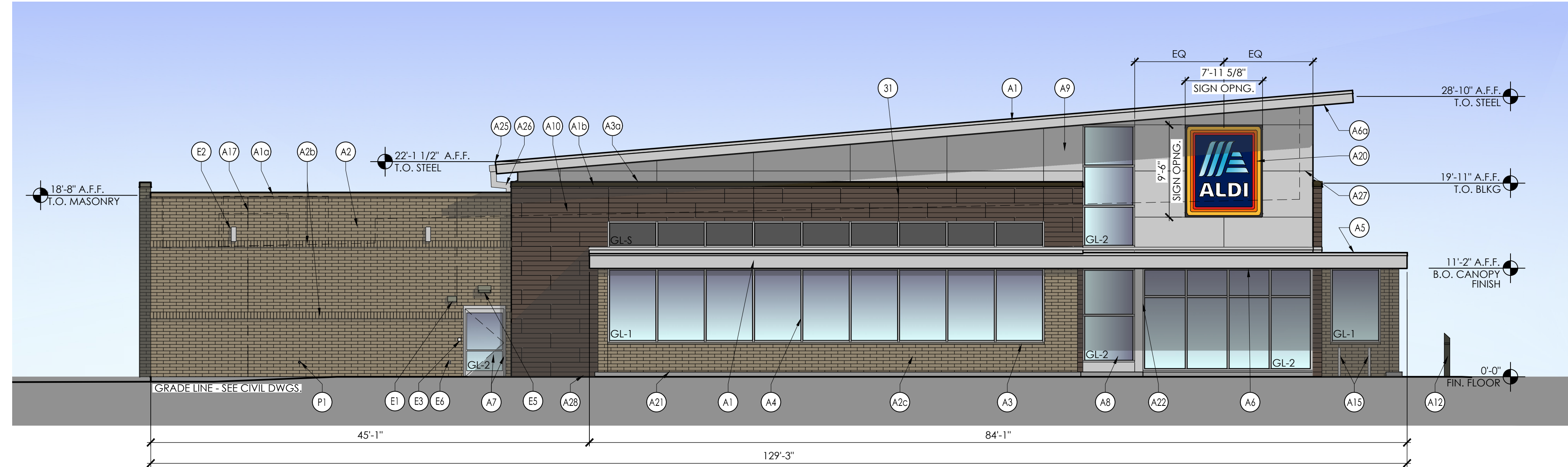
ARCHITECTURAL VARIATIONS - EAST ELEVATION			
DESCRIPTION	LENGTH	FACADE LENGTH	% OF FACADE
WINDOWS & CANOPY	99'-6"	163'-3"	61%
PROJECTIONS	85'-6"	153'-4"	56%

NOTE:
1. ALUMINUM FRAMING:
- EXTERIOR STOREFRONT: 2" X 4 1/2" THERMAL FRONT SET (SINGLE 45 DEGREE MULLION AT CORNERS)
- EXTERIOR VERTICAL MESSAGE TOWER: 2 1/2" X 6" THERMAL FRONT SET CURTAIN WALL
- SPANDREL ABOVE CANOPY: 2" X 4-1/2" NON-THERMAL FRONT SET.
2. ALL MULLIONS TO BE EQUAL SPACED U.N.O.

GLAZING SCHEDULE	
KEY	KEY DESCRIPTION
GL-1	FULLY TEMPERED FLOAT GLASS
GL-2	LOW E, INSULATING GLASS (TEMPERED WHERE REQUIRED BY CODE)
GL-3	SPANDREL GLASS

SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.9	149.8
TOTAL SIGNAGE			149.8

TOTAL SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL.



1 South Elevation
SCALE: 1/8" = 1'-0"

ARCHITECTURAL VARIATIONS - SOUTH ELEVATION			
DESCRIPTION	LENGTH	FACADE LENGTH	% OF FACADE
WINDOWS & CANOPY	84'-1"	129'-3"	65%
PROJECTIONS	58'-10"	119'-6"	49%

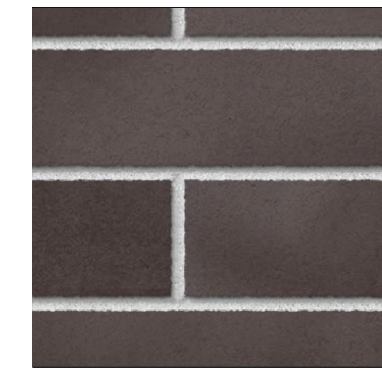
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EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A1	PREFINISHED METAL COPING	A1 - SILVER - AT HIGH ROOF & CANOPY A1a - PETERSEN ALUM - MUSKET GREY - AT BRICK A1b - PETERSEN ALUM - #397C0290 CEDAR - AT NICHIIA TOWERS A1c - PETERSEN ALUM - MUSKET GREY - AT BRICK ACCENT BUMPOUTS	
A2	SPEC-BRICK CONCRETE MASONRY VENEER	(A2) 4"Wx4"Hx16"L GARDNER BLEND w/ HOLCIM "SMITH GRAY MORTAR ALT: SOLOMON "85 X DARK CHOCOLATE" (A2a) 4"Wx4"Hx16"L CHESAPEAKE BLEND w/ HOLCIM "SMITH GRAY MORTAR ALT: SOLOMON "85 X DARK CHOCOLATE" (A2b) 4"Wx4"Hx8"L GARDNER BLEND w/ HOLCIM "SMITH GRAY MORTAR ALT: SOLOMON "85 X DARK CHOCOLATE" (A2c) 12"Wx4"Hx16"L GARDNER BLEND w/ HOLCIM "SMITH GRAY MORTAR ALT: SOLOMON "85 X DARK CHOCOLATE"	
A3	PREFINISHED ALUM. SILL FLASHING	A3 - BRIGHT SILVER A3a - PETERSEN ALUM - MUSKET GREY	
A4	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUM.	
A5	MEMBRANE ROOFING	GRAY	TOP OF SLOPED ROOF, CANOPY ROOF, AND BACK OF RAISED ROOF PROJECTIONS
A6	METAL SOFFIT PANELS	A6 - SOLID PANELS - BRIGHT SILVER A6a - 1/2" VENTED PANELS - BRIGHT SILVER	
A7	EXTERIOR PAINT	SHERWIN WILLIAMS #6005 FOLKSTONE (240-C6)	
A8	ALUMINUM CURTAIN WALL SYTEM	ANODIZED ALUMINUM	
A9	ALUMINUM COMPOSITE PANEL	BRIGHT SILVER	PROVIDE PANEL JOINTS AS SHOWN - PROVIDE ONE PIECE TIGHT FIT EXTRUDED MOLDING INSTALLATION SYSTEM WITH CENTER REVEAL TRIM BETWEEN PANELS AND J TRIM AT PANEL EDGES.
A10	NICHIIA FIBER CEMENT EXTERIOR CLADDING	VINTAGEWOOD "BARK"	PANELS SHALL EXTEND ONTO THE ROOF FOR THE FULL DEPTH OF THE BUMPOUT
A11	BLRD-2	SAFETY YELLOW	
A12	BLRD-4		
A13	GUARD RAIL TYPE "A"	GALVANIZED STEEL	
A14	GUARD RAIL TYPE "B"	GALVANIZED STEEL	
A15	BLRD-3	GALVANIZED	

EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A16	DOCK LEVELER / SEAL AND BUMPERS	LEVELER - FACTORY FINISH / SEAL AND BUMPERS - FACTORY FINISH - BLACK	
A17	MASONRY CONTROL JOINT		MAX 20' OC
A18	SCUPPER, 14" OVERFLOW SCUPPER & DOWNSPOUT	MATCH COPING ABOVE	
A19	ARCHITECTURAL CAST STONE CAP	TANNERSTONE: AG-1	
A20	ALDI TOWER SIGN	BY SIGN VENDOR	7'-11 1/8" w. x 9'-5 1/2" h.; VERIFY SIGN SIZE PRIOR TO FRAMING OPENING
A21	CRTB	NATURAL	
A22	KNOX BOX	FACTORY FINISH	CONFIRM TYPE AND LOCATION WITH LOCAL FIRE MARSHAL
A23	AUTO DOOR SYSTEM & TRANSOM	ANODIZED ALUMINUM	
A24	NOT USED		
A25	8" X 8" PRE-FINISHED ALUM GUTTER	MATCH PREFINISHED METAL COPING	
A26	8" X 8" PRE-FINISHED ALUM DOWNSPOUT	MATCH PREFINISHED METAL COPING	TERMINATE AT CONC. SPLASH BLOCK
A27	ACP H/J TRIM / JOINT COVER		TYPICAL AT EDGES AND BUTT JOINTS OF ACP
A28	FIBER CEMENT PANEL BASE FLASHING	PETERSEN ALUMINUM - # CEDAR 397C0290 SPAY CODE	
A29	DUMPSTER ENCLOSURE		
A30	BLRD-1	SAFETY YELLOW	6" DIA. BOLLARD AT DUMPSTER GATE
A31	NICHIIA CONTROL JOINT WITH "H" CLIP		
E1	EXIT DISCHARGE LIGHT	FACTORY FINISH	MOUNT @ 8'-0" A.F.F.
E2	WALL SCNCE	FACTORY FINISH	MOUNT @ 14'-8" A.F.F.
E3	JUNCTION BOX WITH COVER FOR FUTURE CARD READER		MOUNT CENTERED @ 46" A.F.F.
E4	UTILITY METERING & C.T.	FACTORY FINISH	
E5	EXTERIOR WALL PACK	FACTORY FINISH	MAN DOORS - MOUNT @ 9'-0" A.F.F., BREAK ROOM WINDOW @ 10'-0" A.F.F., LOADING DOCK - MOUNT @ 12'-0" A.F.F.
E6	EXTERIOR DUPLEX RECEPTACLE	FACTORY FINISH	MOUNT @ 1'-6" A.F.F. IN 4" SQUARE J-BOX
F1	FIRE DEPT. CONNECTION	FACTORY FINISH	
F2	MOTOR GONG	FACTORY FINISH	



A2 - MASONRY VENEER: GARDNER BLEND



A2a - MASONRY VENEER: CHESAPEAKE BLEND



A4 - ALUMINUM STOREFRONT SYSTEM: ANODIZED



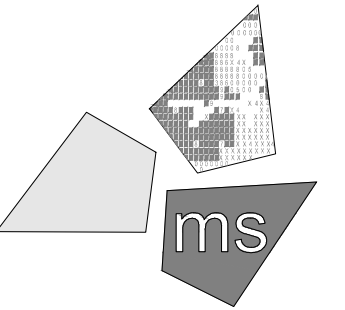
A9 - ALUMINUM COMPOSITE PANEL: SILVER



A10 - FIBER CEMENT EXTERIOR CLADDING: BARK

Issued:	Date:
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Revisions:	Date:

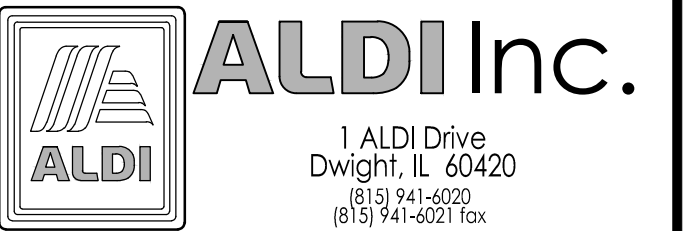
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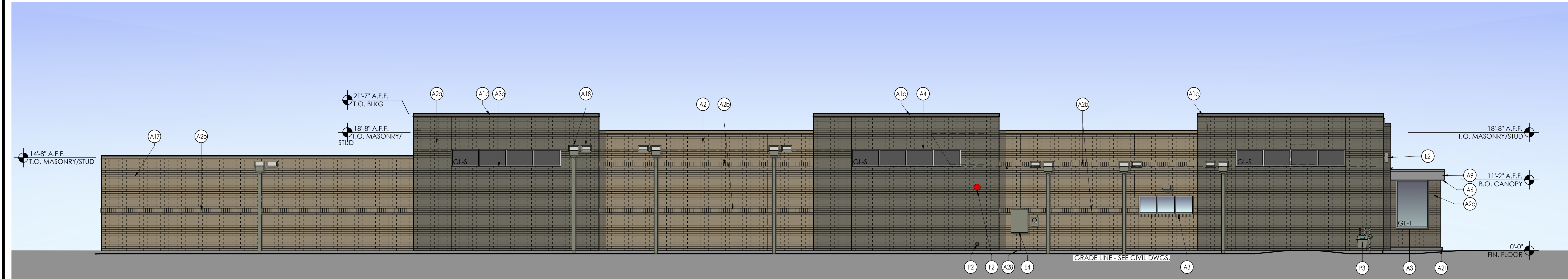
DRAWN BY: MYG/MEM
REVIEWED BY: NAL

Seal



ALDI Inc.
Orland Park, IL
179th Street & Wolf Road
Orland Park, IL 60467
Cook County
PIN: 27-31-202-021-000-022
Project Name & Location:

Exterior Elevations
Drawing Name:
Prototype Rls. 06/03/20
Project No. 40200-91
Type: LHS-D-V7ER
A-202
Scale: As Noted
Drawing No.

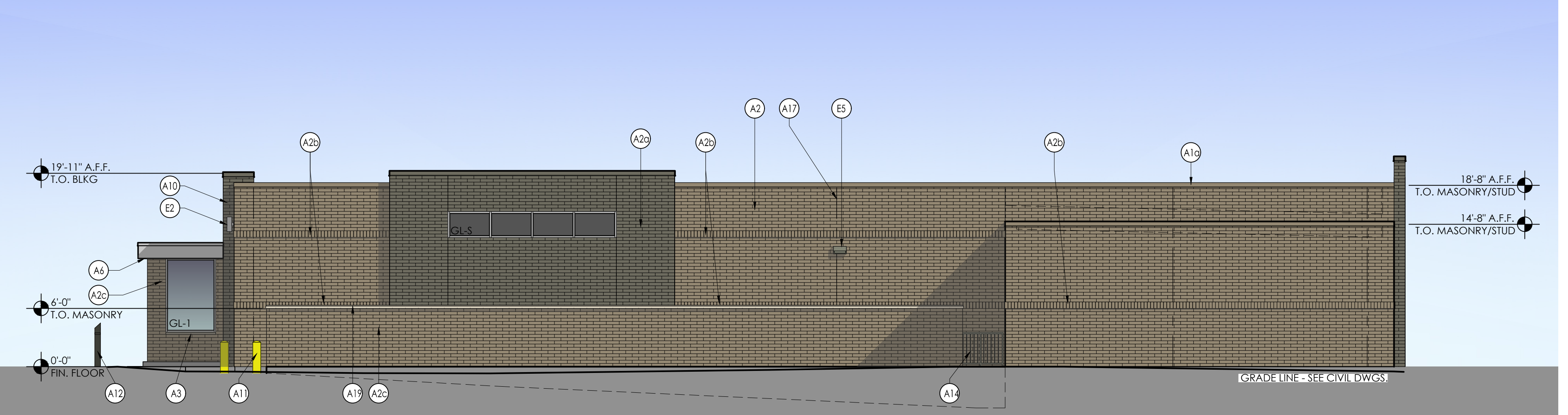


2 West Elevation
SCALE: 1/8" = 1'-0"

ARCHITECTURAL VARIATIONS - WEST ELEVATION			
DESCRIPTION	LENGTH	FACADE LENGTH	% OF FACADE
PROJECTIONS	88'-0"	202'-8"	43%

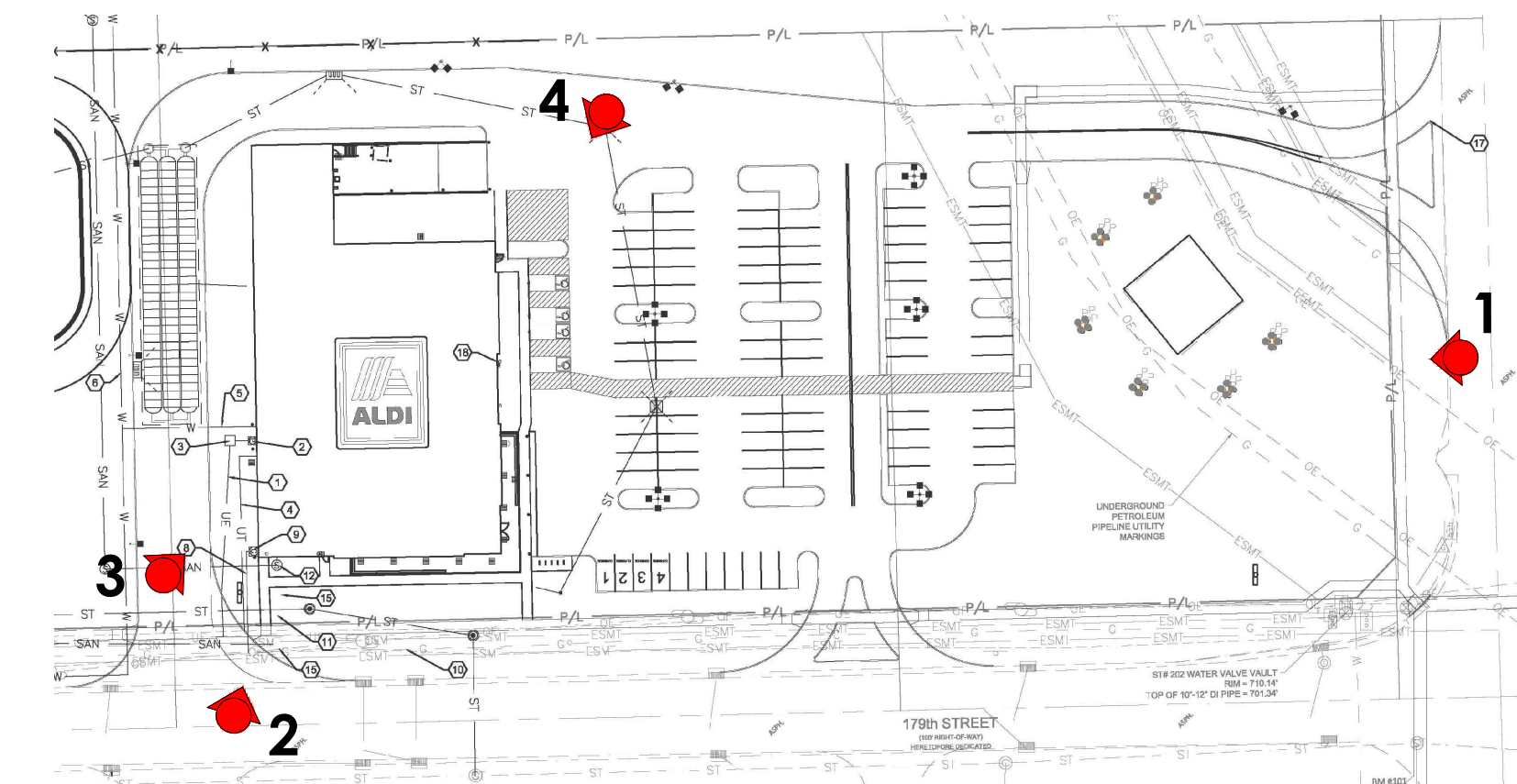
NOTE:
1. ALUMINUM FRAMING:
- EXTERIOR STOREFRONT: 2" X 4 1/2" THERMAL FRONT SET (SINGLE 45 DEGREE MULLION AT CORNERS)
- EXTERIOR VERTICAL MESSAGE TOWER: 2 1/2" X 6" THERMAL FRONT SET CURTAIN WALL
- SPANDREL ABOVE CANOPY: 2" X 4 1/2" NON-THERMAL FRONT SET.
2. ALL MULLIONS TO BE EQUAL SPACED U.N.O.

GLAZING SCHEDULE	
KEY	KEY DESCRIPTION
GL-1	FULLY TEMPERED FLOAT GLASS
GL-2	LOW E INSULATING GLASS (TEMPERED WHERE REQUIRED BY CODE)
GL-3	SPANDREL GLASS

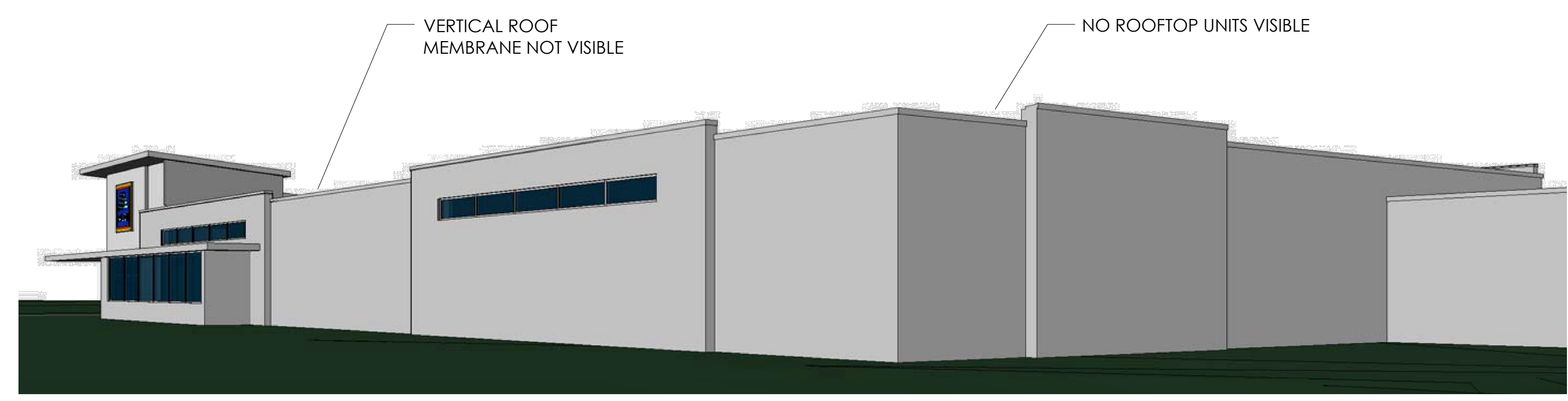


1 North Elevation
SCALE: 1/8" = 1'-0"

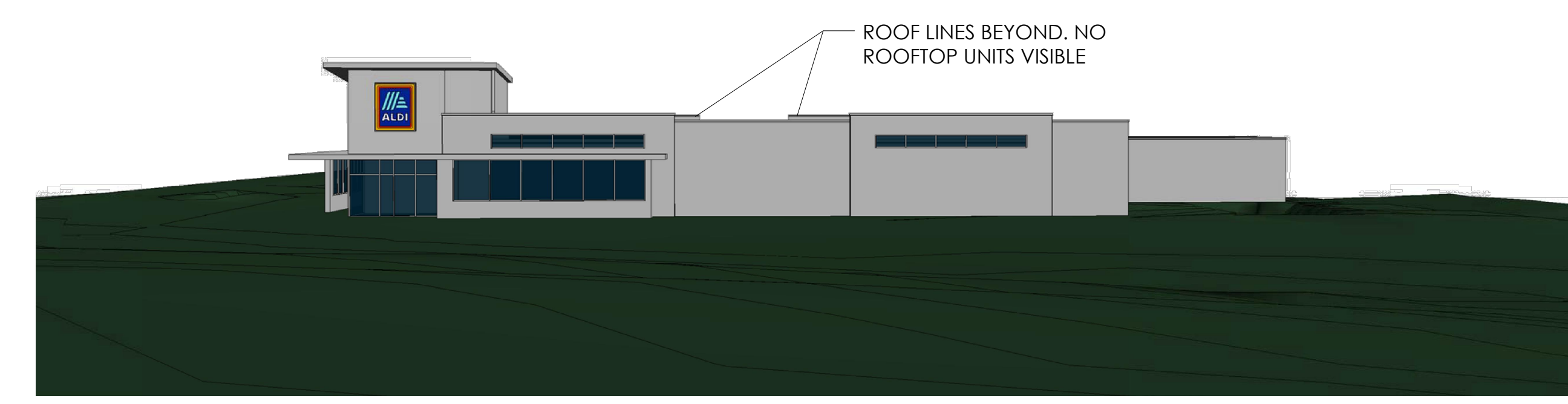
ARCHITECTURAL VARIATIONS - NORTH ELEVATION			
DESCRIPTION	LENGTH	FACADE LENGTH	% OF FACADE
PROJECTIONS	29'-4"	119'-4"	25%



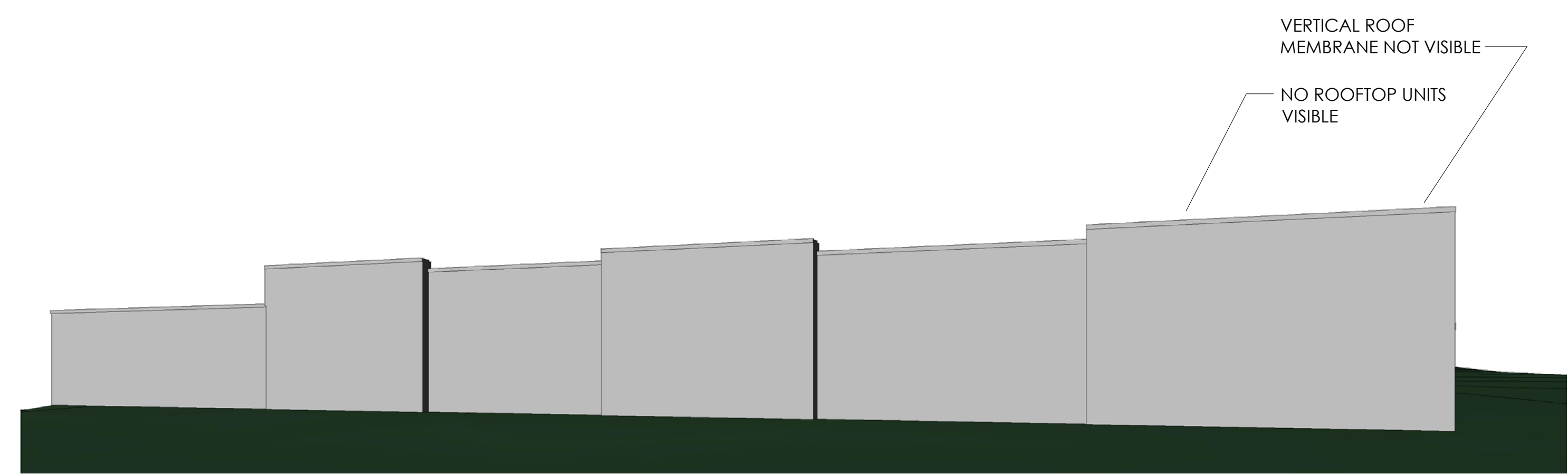
5 Reference Site Plan
N.T.S.



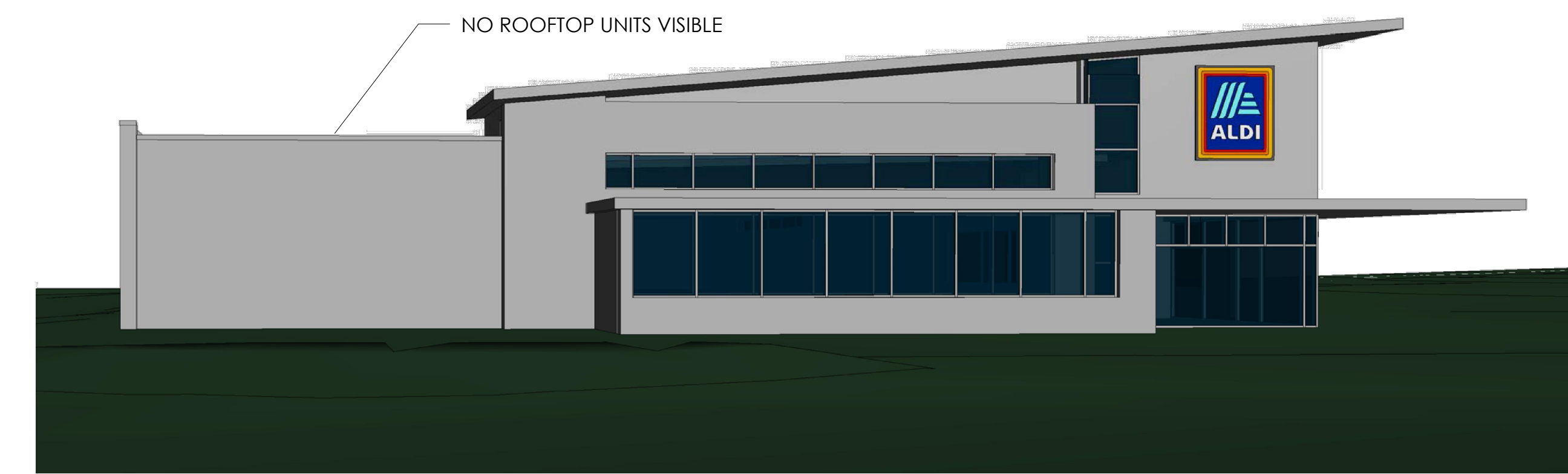
4 View 4



1 View 1



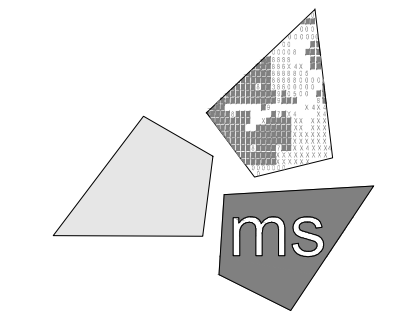
3 View 3



2 View 2

Issued:	Date:
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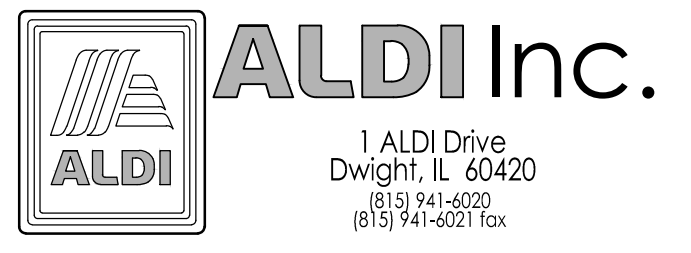
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REVIEWED BY: NAL

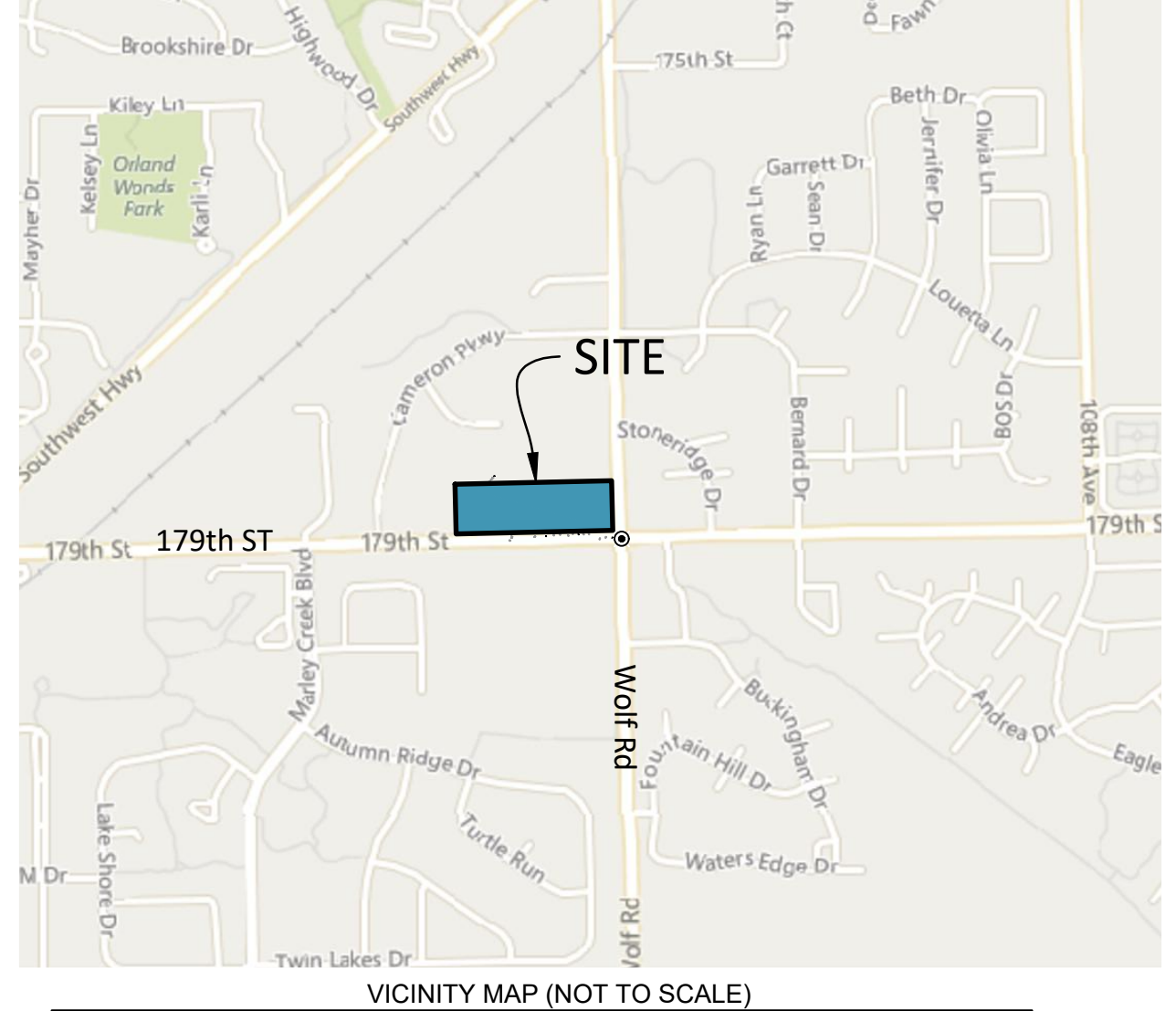
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ALDI Inc.
Orland Park, IL
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Cook County
PIN: 27-31-202-021-000-022
Project Name & Location:

Perspectives

Drawing Name:	
Prototype Rls. 06/03/20	Project No. 40200-91
Type: LHSD-V7ER	
	A-203
Scale: As Noted	Drawing No.



STRUCTURE INFORMATION

Table listing structure details such as storm manholes, water valves, and catch basins with their respective RM, elevations, and notes.

SOURCE BENCHMARK

GPS CONTROL MONUMENT, PID AE2563, DESIGNATION 'WELL COUNTY GPS 526' DESCRIBED AS A STEEL ROD WITH CAST CAP AND STAINLESS LID, AS DESCRIBED BY NATIONAL GEODETIC SURVEY...

SITE BENCHMARKS

- BENCHMARK #100: FOUND CUT CROSS IN TOP OF CONCRETE CURB ON THE NORTH SIDE OF 179TH ST NEAR THE SOUTHWEST CORNER OF PARCEL 2...

LINE LEGEND table mapping symbols to various infrastructure elements like sanitary lines, storm lines, electrical cables, and easements.

ALTA SURVEY STANDARDS - TABLE A NOTES

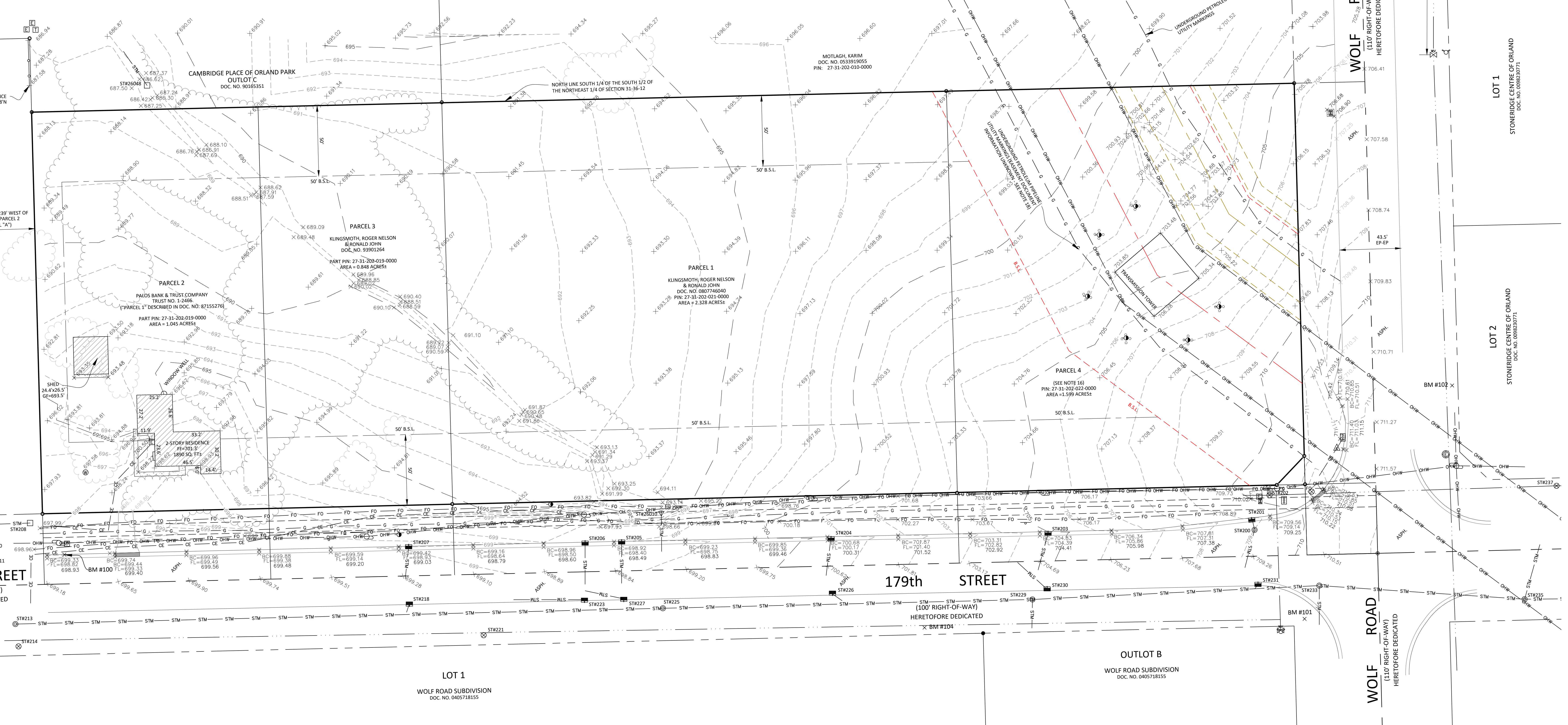
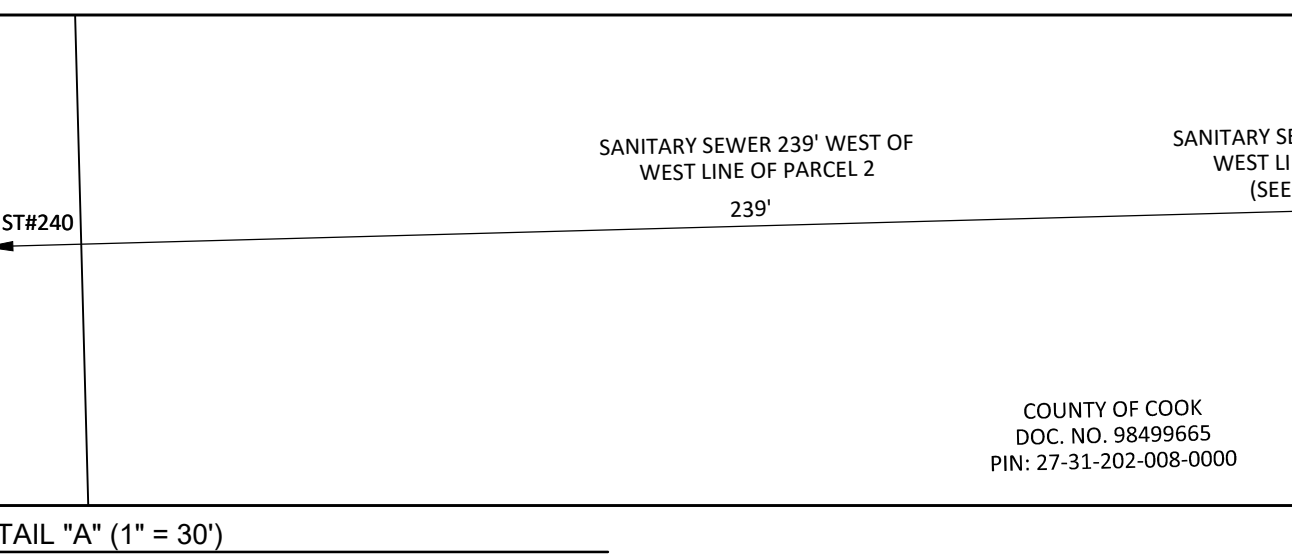
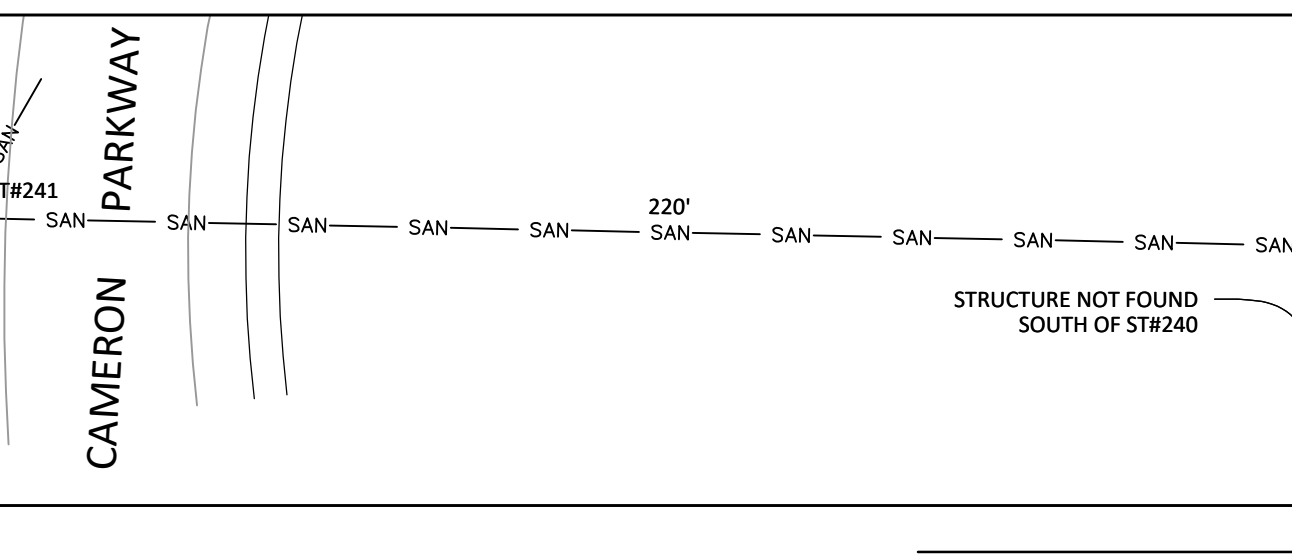
- ITEM 1. FOUND AND SET BOUNDARY MONUMENTS SHOWN HEREON. ITEM 2. NO ADJUSTMENTS OBSERVED IN FIELD. ITEM 3. THE SUBJECT PROPERTY IS WITHIN ZONE X...

LEGAL DESCRIPTION

LEGAL DESCRIPTION (BY THIS SURVEY) PART OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN...

ZONING INFORMATION: E-1 ESTATE RESIDENTIAL DISTRICT

- 1. Minimum Lot Sizes. Except as provided by special use permit, no principal use in the E-1 District shall be permitted. 2. Rainwater Harvesting System...



LEGEND table mapping symbols to infrastructure elements like mail boxes, hand holes, concrete materials, and various pipes.

SURVEY NOTES 1. MEASURED BEARINGS SHOWN HEREON ARE GEODETICALLY REFERENCED TO NORTH BASED ON REAL-TIME GPS OBSERVATIONS... 2. THIS SURVEY SHOULD NOT BE CONSIDERED AN EXCLUSIVE SOURCE OF INFORMATION...

6. TERMS AND PROVISIONS CONTAINED IN ORDINANCE NO. 0246, ANNOXING PROPERTY TO THE VILLAGE OF ORLAND PARK, ILLINOIS, A COPY OF WHICH WAS RECORDED AUGUST 26, 2007 AS DOCUMENT 07232155 AFFECTS LAND AND OTHER PROPERTY.

TITLE COMMITMENT SCHEDULE B EXCEPTIONS FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT ORDER NUMBER: GLW2000394 COMMITMENT DATE: MARCH 4, 2020

SURVEYOR'S CERTIFICATE STATE OF ILLINOIS COUNTY OF DUPAGE TO: FIDELITY NATIONAL TITLE INSURANCE COMPANY PARCEL BANK AND TRUST COMPANY FRANGELLA, FRANK & GINA KLINGENSMITH, ROGER NELSON & RONALD JOHN

Project information including client name (ALDI INC.), address (1 ALDI DRIVE, DWIGHT, IL 60420), survey title (ALTA SURVEY & TOPOGRAPHIC SURVEY), and consultant logo (Weaver Consultants Group).

PRELIMINARY PLAT OF ALDI - ORLAND PARK CONSOLIDATION

BEING A SUBDIVISION OF THAT PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

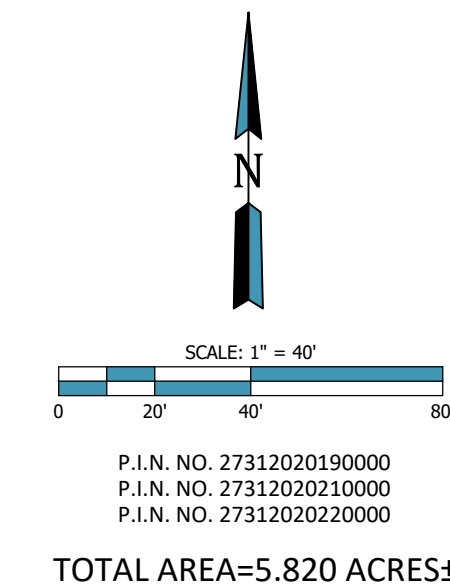
SURVEY NOTES

1. MEASURED BEARINGS SHOWN HEREON ARE GEODETICALLY REFERENCED TO NORTH BASED ON REALTIME, GPS, CORS OBSERVATIONS OF REFERENCE STATIONS MAINTAINED BY TRIMBLE NAVIGATION.
2. THIS SURVEY SHOULD NOT BE CONSIDERED AS AN EXCLUSIVE SOURCE OF INFORMATION REGARDING THE PROPERTY'S LIMITS, RIGHTS OR RESTRICTIONS. THE FINDINGS OF THIS SURVEY ARE LIMITED TO FIELD OBSERVATIONS AND MEASUREMENTS. THE EXAMINATION OF DOCUMENTS PROVIDED TO THE SURVEYOR AND THE SURVEYOR'S PROFESSIONAL OPINION. THERE MAY BE SETBACK LINES, EASEMENTS AND BUILDING RESTRICTIONS NOT SHOWN HEREON OF WHICH THE SURVEYOR HAS NOT BEEN ADVISED. ALWAYS REFER TO YOUR ABSTRACT, DEED AND GUARANTEE POLICY AND LOCAL ORDINANCES.
3. ALL AREAS ARE MORE OR LESS.
4. SURVEY IS BASED UPON FIELD OBSERVATIONS MADE ON SEPTEMBER 21, 22, AND OCTOBER 29, 2020.
5. COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE.
6. NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS, THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
7. ALL STATEMENTS AND INFORMATION SHOWN HEREON ARE TO THE SURVEYOR'S BEST KNOWLEDGE AND BELIEF.
8. COMMITMENT FOR TITLE INSURANCE PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT ORDER NO. GLW2000394, WITH A COMMITMENT DATE OF MARCH 4, 2020 WAS USED IN THE PREPARATION OF THIS SURVEY.

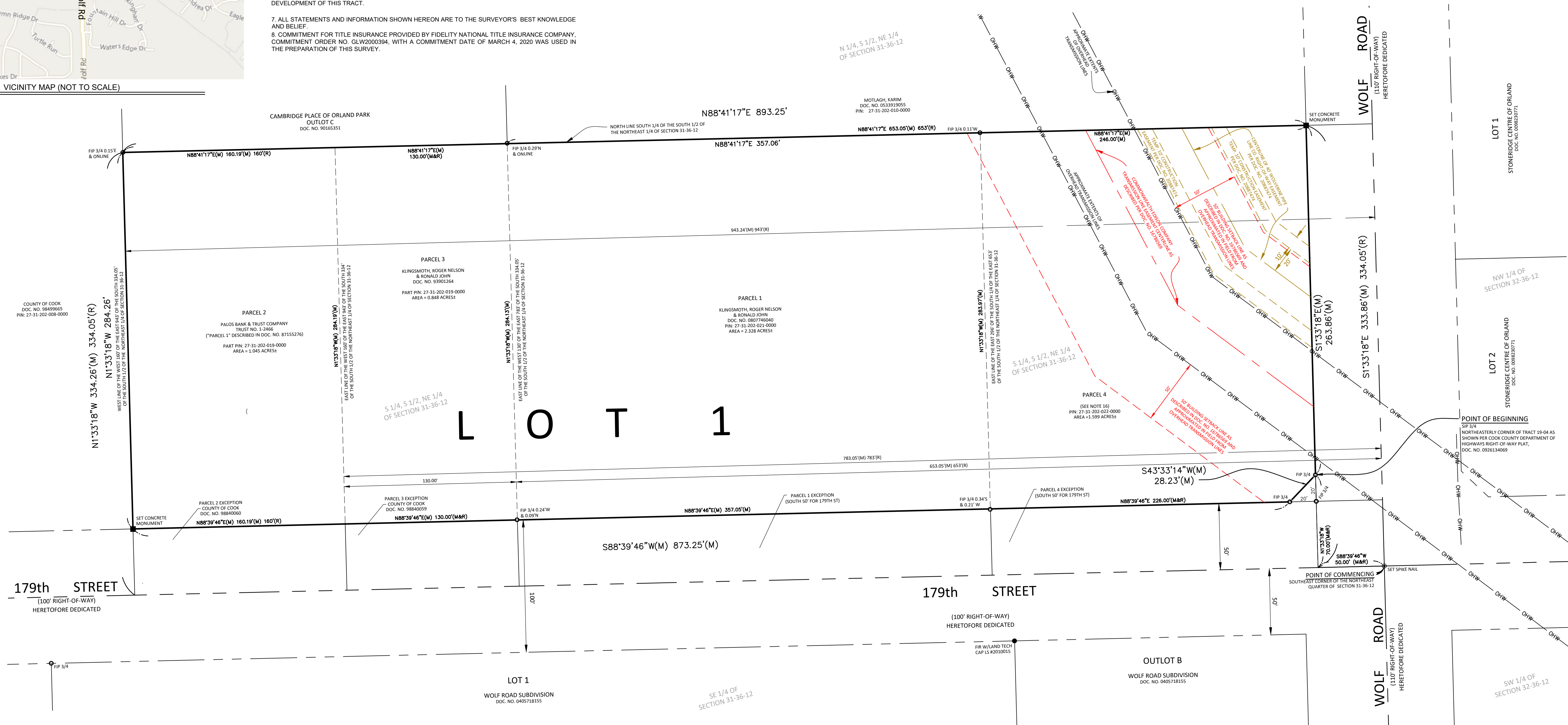
SEND NEW TAX BILL TO:

AFTER RECORDING SEND PLAT TO:

VILLAGE OF ORLAND PARK
 14700 RAVINIA AVENUE
 ORLAND PARK, IL 60462



VICINITY MAP (NOT TO SCALE)



LINE LEGEND

- BOUNDARY
- - - EXISTING LOTS
- - - RIGHT-OF-WAY
- - - EASEMENT CENTERLINE
- - - EASEMENT
- - - TRANSMISSION LINE EASEMENT
- - - TRANSMISSION LINE EASEMENT CENTERLINE
- - - WOLVERINE PIPELINE EASEMENT
- - - WOLVERINE PIPELINE EASEMENT CENTERLINE
- - - BUILDING SETBACK LINE
- - - SECTION LINE

LEGEND

- "PK" / MAGNETIC NAIL
- IRON PIPE
- SET CONCRETE MONUMENT
- IRON ROD
- FIP FOUND IRON PIPE
- SIP SET IRON PIPE
- FIR FOUND IRON ROD
- BM BENCHMARK
- (M) MEASURED DIMENSION
- (R) RECORD DIMENSION
- B.S.L. BUILDING SETBACK LINE

PREPARED FOR:
ALDI INC.
 1 ALDI DRIVE
 DWIGHT, IL 60420

PRELIMINARY PLAT OF ALDI - ORLAND
 PARK CONSOLIDATION
 11200 - 11320 179TH ST
 ORLAND PARK, IL

No.	DATE	REVISION DESCRIPTION
1	07/27/21	REVISED PER INTERNAL REVIEW

Weaver Consultants Group



WEAVER CONSULTANTS GROUP
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DRAWN BY: SP
 REVIEWED BY: MB
 DATE: 05/17/2021
 FILE: 0917-600-09

SHEET 1 OF 2

PRELIMINARY PLAT OF ALDI - ORLAND PARK CONSOLIDATION

BEING A SUBDIVISION OF THAT PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, _____, VILLAGE FINANCE DIRECTOR OF THE VILLAGE OF ORLAND PARK, DO HEREBY CERTIFY THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BE APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT ORLAND PARK, COOK COUNTY, ILLINOIS, THIS _____ DAY OF _____, A.D. 20_____.

FINANCE DIRECTOR

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, _____, A COUNTY CLERK OF COOK COUNTY, ILLINOIS, DO HEREBY CERTIFY THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT CHICAGO, COOK COUNTY, ILLINOIS

THIS _____ DAY OF _____, A.D. 20_____.

COUNTY CLERK

COUNTY RECORDER CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

THIS PLAT WAS FILED FOR RECORD IN THE REORDER'S OFFICE COOK COUNTY, ILLINOIS, ON THE _____ DAY OF _____, A.D. 20_____ AS DOCUMENT NUMBER _____.

COUNTY RECORDER

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE LAND DESCRIBED IN THE ATTACHED PLAT AND HAS CAUSED THE SAME TO BE ANNEXED AS SHOWN BY THE PLAT FOR USES AND PURPOSES AS INDICATED THEREIN, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. FURTHERMORE, PURSUANT TO SECTION 1.005 OF THE PLAT ACT, 765 ILCS 205, THIS DOCUMENT SHALL SERVE AS THE SCHOOL DISTRICT STATEMENT AND TO THE BEST OF THE OWNER'S KNOWLEDGE, THE TRACT OF LAND LEGALLY DESCRIBER HEREON LIES WITHIN THE FOLLOWING SCHOLL DISTRICTS:

ELEMENTARY DISTRICT: 135 HIGH SCHOLL DISTRICT: 230

DATED AT ORLAND PARK, ILLINOIS, THIS _____ DAY OF _____, A.D. 20_____.

OWNER

NOTARY PUBLIC CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, _____, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ WHO IS (ARE) PERSONNALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS(ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (SHE) (THEY) SIGNED AND DELIVERED THE SAID INSTRUMENTS AT HIS (HER) (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES SET FORTH,

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS _____ DAY OF _____, A.D. 20_____.

NOTARY REPUBLIC

COMMISSION EXPIRES

VILLAGE CLERK CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, _____, VILLAGE CLERK OF THE VILLAGE OF ORLAND PARK, ILLINOIS, DO HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO AND BY RESOLUTION DULY APPROVED BY THE BOARD OF TRUSTEES OF SAID VILLAGE AT ITS MEETING HELD ON _____, A.D. 20_____ AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY REGULATIONS OF SAID VILLAGE.

IN WITNESS WHEREOF I HAVE HERETO SET MY HAND AND SEAL OF THE VILLAGE OF ORLAND PARK, ILLINOIS, THIS _____, DAY OF _____, A.D. 20_____.

VILLAGE TREASURER

AUTHORIZATION TO RECORD

DATE: _____

RE: _____

I, MICHAEL D. BYTNER, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, DO HEREBY AUTHORIZE _____, A REPRESENTATIVE OF THE VILLAGE OF ORLAND PARK, ILLINOIS TO RECORD THE FINAL PLAT OF _____ ON MY BEHALF.

SIGNED THIS _____ DAY OF _____, 202_____.

MICHAEL D. BYTNER, P.L.S. #035-003326

SURFACE WATER STATEMENT

STATE OF _____)
) SS
COUNTY OF _____)

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____, 20_____.
DATE MONTH

SIGNATURE - ILLINOIS REGISTERED PROFESSIONAL ENGINEER

STATE REGISTRATION NUMBER

EXPIRATION DATE

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

APPROVED BY THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF ORLAND PARK, COOK COUNTY, ILLINOIS THIS _____ DAY OF _____, A.D. 20_____.

PRESIDENT

VILLAGE CLERK

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, MICHAEL D. BYTNER, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY.

PARCEL 1:

THE SOUTH QUARTER (EXCEPT THE EAST 296.0 FEET THEREOF) OF THE EAST 653.00 FEET OF THE SOUTH HALF (EXCEPT RAILROAD RIGHT OF WAY) OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE SOUTH 50 FEET THEREOF FOR 179TH STREET), IN COOK COUNTY, ILLINOIS.

PARCEL 2:

THE WEST 160.0 FEET OF THE EAST 943.0 FEET OF THE SOUTH 334.05 FEET OF THE FOLLOWING DESCRIBED PARCEL OF LAND, ALL TAKEN AS A TRACT: THE SOUTH 1/2 (EXCEPT RAILROAD RIGHT OF WAY) OF THE FOLLOWING DESCRIBED TRACT: THE NORTHEAST 1/4 AND THE EAST 50.97 ACRES OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 12 (EXCEPT THE WEST 100 ACRES), ALSO (EXCEPT THE NORTH 17 FEET OF THE SOUTH 50 FEET OF THE WEST 160 FEET OF THE EAST 943 FEET OF THE NORTHEAST QUARTER AS DEEDED TO THE COUNTY OF COOK BY DEED RECORDED SEPTEMBER 21, 1998 AS DOCUMENT 98840086) OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 3:

THE WEST 130.0 FEET OF THE EAST 783.0 FEET OF THE SOUTH 334.05 FEET OF THE FOLLOWING DESCRIBED PARCEL OF LAND, ALL TAKEN AS A TRACT: THE SOUTH 1/2 (EXCEPT RAILROAD RIGHT OF WAY) OF THE FOLLOWING DESCRIBED TRACT: THE NORTHEAST 1/4 AND THE EAST 50.97 ACRES OF THE NORTHWEST 1/4 OF SECTION 31, (EXCEPT THE WEST 100 ACRES THEREOF) IN TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, EXCEPTING THEREFROM, THE NORTH 17 FEET OF THE SOUTH 50 FEET OF THE WEST 487 FEET OF THE EAST 783 FEET OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS AS DEEDED TO THE COUNTY OF COOK BY DEED RECORDED SEPTEMBER 21, 1998 AS DOCUMENT 98840059.

PARCEL 4:

THE EAST 296.0 FEET OF THE SOUTH 1/4 OF THE EAST 653.0 FEET OF THE SOUTH 1/2 (EXCEPT RAILROAD RIGHT OF WAY) OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE SOUTH 50 FEET THEREOF FOR 179TH STREET), IN COOK COUNTY, ILLINOIS, EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS:
THAT PART OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTHERLY RIGHT OF WAY LINE OF 66 FOOT 179TH STREET AND THE WESTERLY RIGHT OF WAY LINE OF 110 FOOT WOLF ROAD; THENCE WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE 246 FEET; THENCE NORTH ALONG A LINE PARALLEL WITH SAID WESTERLY RIGHT OF WAY LINE TO ITS INTERSECTION WITH A LINE 17 FEET NORTH OF AND PARALLEL WITH SAID NORTHERLY RIGHT OF-WAY LINE; THENCE EAST ALONG SAID PARALLEL LINE 226 FEET; THENCE NORTHEASTERLY TO A POINT ON SAID WESTERLY RIGHT OF WAY LINE THAT IS 37 FEET NORTH OF THE POINT OF BEGINNING; THENCE SOUTH ALONG SAID WESTERLY RIGHT OF WAY LINE 37 FEET TO THE PLACE OF BEGINNING, IN COOK COUNTY, ILLINOIS.

THE ABOVE PARCELS ALSO BEING DESCRIBED AS FOLLOWS:

PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, IL, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 31;

THENCE SOUTH 88 DEGREES 39 MINUTES 46 SECONDS WEST (BEARINGS BASED UPON NAD 83 ILLINOIS STATE PLANES COORDINATE SYSTEM EAST ZONE) ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 50.00 FEET TO A LINE 50.00 FEET WEST OF, AND PARALLEL WITH THE EAST LINE OF SAID NORTHEAST QUARTER OF SECTION 31;

THENCE NORTH 01 DEGREES 33 MINUTES 18 SECONDS WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 70.00 FEET TO THE NORTHERMOST CORNER OF TRACT 19-04 AS SHOWN ON A COOK COUNTY DEPARTMENT OF HIGHWAYS, RIGHT-OF-WAY PLAT OF 179TH STREET DATED NOVEMBER 26, 1996 AND RECORDED AS DOCUMENT NUMBER 0926134069 FOR A POINT OF BEGINNING;

THENCE SOUTH 43 DEGREES 33 MINUTES 14 SECONDS WEST ALONG THE NORTHWESTERLY LINE OF SAID TRACT 19-04, A DISTANCE OF 28.23 FEET TO A LINE 50.00 FEET NORTH OF THE SOUTH LINE OF THE SAID NORTHEAST QUARTER OF SECTION 31 BEING ALSO THE NORTH LINE OF 179TH STREET AS CONVEYED AND DESCRIBED IN DEEDS RECORDED AS DOCUMENTS 98858065, 98840059 AND 98840060;

THENCE SOUTH 88 DEGREES 39 MINUTES 46 SECONDS WEST ALONG SAID NORTH LINE, A DISTANCE OF 873.25 FEET TO THE EAST LINE OF A PARCEL CONVEYED TO COUNTY OF COOK AS DESCRIBED IN DEED RECORDED AS DOCUMENT NUMBER 98499665;

THENCE NORTH 01 DEGREES 33 MINUTES 18 SECONDS WEST ALONG SAID EAST LINE, A DISTANCE OF 284.26 FEET TO THE SOUTH LINE OF "OUTLOT C," CAMBRIDGE PLACE OF ORLAND PARK SUBDIVISION, RECORDED AS DOCUMENT NUMBER 90165351;

THENCE NORTH 88 DEGREES 41 MINUTES 17 SECONDS EAST ALONG SAID SOUTH LINE AND CONTINUING ALONG THE SOUTH LINE OF A PARCEL CONVEYED TO KARIM MOTLAGH DESCRIBED IN DEED RECORDED AS DOCUMENT NUMBER 0533919055, A DISTANCE OF 893.25 FEET TO A LINE MEASURED 50.00 FEET WEST OF, AND PARALLEL WITH, THE EAST LINE OF SAID NORTHEAST QUARTER OF SECTION 31;

THENCE SOUTH 01 DEGREES 33 MINUTES 18 SECONDS EAST WITH SAID PARALLEL LINE, 263.86 FEET TO THE POINT OF BEGINNING, CONTAINING 5.820 ACRES, MORE OR LESS, IN COOK COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT UPON COMPLETION OF CONSTRUCTION BUT NOT LONGER THAT ONE YEAR FROM THE RECORDING OF THIS PLAT, CONCRETE MONUMENTS AS SHOWN, AND IRON PIPES AT ALL LOT CORNERS AND POINTS OF GEOMETRIC CHANGE WILL BE SET, AS REQUIRED BY THE PLAT ACT (765 ILCS205/0.01 ET SEQ.). THIS IS TO FURTHER CERTIFY THAT THE LAND INCLUDED IN THE ANNEXED PLAT IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF ORLAND PARK, COOK COUNTY, ILLINOIS WHICH HAS AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED.

I DO HEREBY FURTHER CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS ENTIRELY WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF ORLAND PARK, ILLINOIS, WHICH HAS ADOPTED A VILLAGE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS WITHIN ZONE X , AS PER FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 17031C0684J, WITH A MAP EFFECTIVE DATE OF AUGUST 19, 2008.

DATE OF PLAT OR MAP 05/17/2021



MICHAEL D. BYTNER (3326)

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003326
WEAVER CONSULTANTS GROUP

ALL ILLINOIS PROFESSIONAL LAND SURVEYOR LICENSES EXPIRE
NOVEMBER 30, 2022. DESIGN FIRM #184001465



PREPARED FOR:
ALDI INC.
1 ALDI DRIVE
DWIGHT, IL 60420

PRELIMINARY PLAT OF ALD - ORLAND
PARK CONSOLIDATION
11200 - 11320 179TH ST
ORLAND PARK, IL

REVISION DESCRIPTION	DATE	No.
REVISED PER INTERNAL REVIEW	07/27/21	1

Weaver Consultants Group



WEAVER CONSULTANTS GROUP
1318 BOND STREET SUITE 108
NAPERVILLE, ILLINOIS 60563
(630)-717-4848

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REVIEWED BY: MB
DATE: 05/17/2021
FILE: 0917-600-09

SHEET 2 OF 2

Standards for a Special Use

Respond to the Standards for a Special Use, posed as questions below.

Special Use:	Disturbance of Wetland
Zoning District:	E-1 Residential; being rezoned to BIZ General Business District
Incremental Improvements:	Acquiring mitigation credit by payment into a Corp-approved mitigation bank.

Justification:

1. Will the special use be consistent with the purposes, goals, objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations?

Petitioner Response: Yes. The site is located in the Grasslands Planning District, within the Neighborhood Center. The Comprehensive Plan identifies that some of the major roadways have absent sidewalks, including this corner lot. The proposed development will include new sidewalks and an ADA ramp at the intersection to promote pedestrian access. The intersection will also be improved to include crosswalk striping and pedestrian signals. The proposed development will also add natural, native landscaping to fit within the context of the surrounding area.

The Comprehensive Plan identifies this site as a Neighborhood Center with Neighborhood Mixed Use Land Use. Grocery Stores less than 50,000 square feet are identified by the Comprehensive Plan as an Appropriate Land Use within this Land Use type. The ALDI store would be centrally located amongst other commercial businesses and within the surrounding residential developments, providing an affordable, high-quality, quick-and-easy shopping experience for the local population. It would be easily accessible by automobile with access to both Wolf Road and 179th Street, and would also integrate into the surrounding neighborhoods with pedestrian sidewalk access and bicycle parking.

ALDI provides a recessed truck dock with enclosed dumpster and rooftop screening by a dropped roof deck pit and surrounding parapet walls, screening these objectionable features from adjacent properties. The proposed parking lot will utilize an internal pedestrian walkway to promote safe pedestrian access through the parking lot and connecting to the proposed sidewalks along Wolf Road and 179th Street. Landscaping will be provided consistent with Village requirements to soften the building foundation, to screen parking areas, and to provide shade trees within the parking lots.

The existing on-site wetland is not identified on the Orland Park Natural Resources map; however, it was field-delineated by environmental resource professionals. The unavoidable disturbance of the wetland will be offset by a mitigation credit paid into an Army Corp-approved mitigation bank.

2. Will the special use be consistent with the community character of the immediate vicinity of the parcel proposed for development?

Petitioner Response: Disturbance of the existing wetland and associated vegetation will be offset by the inclusion of a stormwater detention system designed to mitigate the increase in stormwater runoff, as well as the planting of required vegetation throughout the site.

3. Will the design of the proposed use minimize adverse effects, including visual impacts on adjacent properties?

Petitioner Response: Yes. The proposed landscaping throughout the site, including the bufferyards along the northern and western property lines, will minimize the adverse effects on adjacent properties.

4. Will the proposed use have an adverse effect on the value of adjacent property?

Petitioner Response: The addition of an ALDI store has been shown to increase the value of nearby properties.

5. Has the applicant demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service?

Petitioner Response: Yes.

6. Has the applicant made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development?

Petitioner Response: ALDI will produce a landscape monitoring and management plan for Village approval and will record the approved plan, as required.

7. Will the development adversely affect a known archaeological, historical or cultural resource?

Petitioner Response: No. The only resource being impacted is the environmental resource of the existing wetland.

8. Will the proposed use comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other applicable requirements of the ordinances of the Village?

Petitioner Response: Yes, with the exception of the proposed variances which are being requested.

Standards for a Variance or Modification

Respond to the Standards for a Variance, posed as questions below.

Code Section:	6-305.D.6 – Parking Lot Area Landscape
Requirement:	One (1) detached landscaped parking lot island is required for every ten (10) parking spaces provided.
Requested Variance/ Modification:	One of the proposed landscaped islands, which is located in ComEd’s electrical easement, will not include trees.
Incremental Improvements:	Federal restrictions prohibit trees from being located within 35’ of the nearest phase wire. One of the proposed parking lot islands, located within the ComEd easement, will only contain shrubs and perennials.

Justification:

1. Can the property in question yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located?

No. In order to ensure that all parking lot islands include a tree, the island in question would need to be relocated, along with the associated row of parking. Shifting the row of parking to the west would require shifting all of the other parking rows, drive aisles, and the building. The ripple effect would encroach into the proposed detention pond area and the remaining undeveloped 0.5-acre portion of the parcel, limiting the potential for future development. Additionally, the proposed full access driveway is aligned with the Jewel-Osco driveway, which would not be the case with a site shift.

2. Is the plight of the owner due to unique circumstances?

Yes. The high voltage transmission lines that pass through the eastern side of the property create a unique circumstance that prohibits trees from being planted within the easement.

3. Will the variation, if granted, alter the essential character of the locality?

No.

4. Due to the particular physical surroundings, shape or topographical conditions of the specific property involved, is there a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations were carried out?

Yes. The existing ComEd easement presents a unique physical restriction on the property. The hardship caused by this physical restriction is the limited development that can occur in this area. Shifting the row of parking to the west to move the parking lot island out of the easement would cause the other parking rows, parking aisles, and the building to shift west. This would encroach into the proposed detention pond area and the remaining undeveloped 0.5-acre portion of the parcel, limiting the potential for future development. Additionally, the proposed full access driveway is aligned with the Jewel-Osco driveway, which would not be the case with a site shift.

5. How are the conditions upon which the petition for a variation is based unique to the property for which the variance is sought and are not applicable, generally, to other property?

The easement in question is a ComEd easement for high voltage (345 kV) transmission lines. The vertical clearance limitations for this type of easement prohibit trees and structures from being located within the easement.

6. Has the alleged difficulty or hardship been caused by these regulations, and not as a result from any act of the applicant or any other person presently having an interest in the property subsequent to the effective date hereof, whether or not in violation of any portion thereof?

Yes. The regulations require trees in all landscaped islands, and due to the location of the ComEd easement, a landscape island that conforms to the regulations cannot be located within the easement. This limits the potential layout of the site by not allowing and parking to be located within the easement area, as a parking lot island would also need to be included.

7. Will the granting of the variation be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located or otherwise be inconsistent with the Comprehensive Plan, any adopted overlay plan or these regulations?

No.

8. Will the proposed variation impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood?

No.

9. Is the variance granted the minimum adjustment necessary for the reasonable use of the land?

Yes. The minimum adjustment (elimination of a single landscape island tree) is being proposed.

10. Are aforesaid circumstances or conditions such that the strict application of the provisions of this Section would deprive the applicant of any reasonable use of his or her land? Mere loss in value shall not justify a variance; there must be deprivation of all beneficial use of land.

Yes. In order to ensure that all parking lot islands include a tree, the island in question would need to be relocated, along with the associated row of parking. Shifting the row of parking to the west would require shifting all of the other parking rows, drive aisles, and the building. The ripple effect would encroach into the proposed detention pond area and the remaining undeveloped 0.5-acre portion of the parcel, limiting the potential for future development. Additionally, the proposed full access driveway is aligned with the Jewel-Osco driveway, which would not be the case with a site shift.

Standards for a Variance or Modification

Respond to the Standards for a Variance, posed as questions below.

Code Section:	6-207.F.4 – Uses Not Permitted in Building Setbacks Along Streets
Requirement:	Parking lots or structures, drive-thru facilities, loading facilities, or trash enclosures are not allowed within the setback area between the building façade and the street.
Requested Variance/ Modification:	The parking lot will be located between the building and Wolf Road.
Incremental Improvements:	Landscape screening will be provided between the parking lot and the adjacent roadways.

Justification:

1. Can the property in question yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located?

No. The building cannot be located within the ComEd easement and rearranging the site so that the parking lot is on the west side of the building is not possible without limiting the return yield. The rearrangement would encroach into the detention pond area and the undeveloped 0.5-acre portion of the parcel, limiting the potential for future development. Additionally, the proposed full access driveway is aligned with the Jewel-Osco driveway, which would not be the case with a site rearrangement.

2. Is the plight of the owner due to unique circumstances?

Yes. There are three existing utility easements located on the eastern side of the property, Wolverine Pipeline, Enbridge, and ComEd. The ComEd easement is for high voltage (345 kV) transmission lines.

3. Will the variation, if granted, alter the essential character of the locality?

No. Nearby commercial developments also include parking between the building and the roadway.

4. Due to the particular physical surroundings, shape or topographical conditions of the specific property involved, is there a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations were carried out?

Yes. The presence of the easements limits the arrangement of the site, particularly the ComEd easement which is the largest and most restrictive of the utility easements. The hardship caused by this physical restriction is the limited development that can occur in this area. Rearranging the site to put the parking lot on the west of the building would encroach into the detention pond area and the undeveloped 0.5-acre portion of the parcel, limiting the potential for future development. Additionally, the proposed full access driveway is aligned with the Jewel-Osco driveway, which would not be the case with a site rearrangement.

5. How are the conditions upon which the petition for a variation is based unique to the property for which the variance is sought and are not applicable, generally, to other property?

The easement causing the biggest issue is a ComEd easement for high voltage (345 kV) transmission lines. The vertical clearance limitations for this type of easement prohibit trees and structures from being located within the easement.

6. Has the alleged difficulty or hardship been caused by these regulations, and not as a result from any act of the applicant or any other person presently having an interest in the property subsequent to the effective date hereof, whether or not in violation of any portion thereof?

Yes. The regulations require the building to be located between the parking lot and the roadway. The presence of the utility easements on the eastern side of the property and the existing Jewel-Osco driveway limits the arrangement of the site.

7. Will the granting of the variation be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located or otherwise be inconsistent with the Comprehensive Plan, any adopted overlay plan or these regulations?

No.

8. Will the proposed variation impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood?

No.

9. Is the variance granted the minimum adjustment necessary for the reasonable use of the land?

Yes. For the proper operation and pedestrian movement throughout the site, the entire parking lot needs to be located on one side of the building; therefore, the minimum adjustment has been made. If an alternative would be considered such as leaving a single row of parking between the building and the utility easement, while moving the remainder of the spaces to the west of the building, pedestrian store access and safety would be jeopardized.

10. Are aforesaid circumstances or conditions such that the strict application of the provisions of this Section would deprive the applicant of any reasonable use of his or her land? Mere loss in value shall not justify a variance; there must be deprivation of all beneficial use of land.

Yes. A rearrangement of the site would encroach into the detention pond area and the 0.5-acre undeveloped portion of the parcel, limiting the potential for future development. If the parking lot were to be split so that spaces were provided on both the east and west of the building, pedestrian store access and safety would be jeopardized. Additionally, the driveway alignment with the Jewel-Osco driveway would be lost.

DATE: December 7, 2021

REQUEST FOR ACTION REPORT

File Number: **2021-0867**

Orig. Department:

File Name: **Memo: New Petitions**

BACKGROUND:

BUDGET IMPACT:

REQUESTED ACTION:



Memorandum

To: Plan Commission
From: Ed Lelo, Director of Development Services
Date: December 7, 2021
Subject: New Petitions & Appearance Reviews

Below, please find a summary of recently petitioned projects and appearance reviews. Petitioned projects are currently under review by staff and may or may not be on a future Plan Commission agenda. These projects have been petitioned to the Village but may not have obtained all the approvals required to begin work. Projects sometimes are terminated without moving forward for a variety of reasons. Appearance Reviews and Certificates of Appropriateness are reviewed and approved administratively. The below list does not include cell tower or solar panel projects. Please contact me with any questions regarding the below projects.

Appearance Review Petitions

Dunkin' Donuts – Bollards and fence panels around patio – 15615 Harlem Avenue

Yasini Jewelers – Decorative bollards – 30 Orland Square Drive

Chuck Lager America's Tavern – Exterior Façade Improvements – 14035 LaGrange Road

Development Petitions

Certificate of Appropriateness Petition

Peony Place – Lot 2 – COA for single family house – 14420 Third Avenue

Board Approved Petitions

Hashem Restaurant – Special Use – 8600 159th Street, Suite 4