

# VILLAGE OF ORLAND PARK

14700 Ravinia Avenue  
Orland Park, IL 60462  
[www.orlandpark.org](http://www.orlandpark.org)



## Meeting Agenda

Wednesday, September 2, 2020

6:00 PM

Special Meeting

Village Hall

## Plan Commission

*Nick Parisi, Chairman*

*Edward Schussler, Vice Chairman*

*Commissioners: John J. Paul, Laura Murphy, Patrick Zomparelli, Yousef Zaatar  
and Daniel Sanchez*

*Short Agenda Council Boiler*

**CALLED TO ORDER/ROLL CALL**

**APPROVAL OF MINUTES**

[2020-0593](#) Minutes of August 18, 2020 Plan Commission Meeting

**Attachments:** [08-18-2020 PC Meeting Minutes](#)

**PUBLIC HEARINGS**

**OPEN PUBLIC HEARING**

[2020-0216](#) Orland Fire Protection District Training Facility - Development Petition for Site Plan, Elevations, Landscape Plan, Special Use Permit Amendment with Modifications

**Attachments:** [Plat of Survey](#)  
[Site Demolition Plan](#)  
[Preliminary Site Plan](#)  
[Preliminary Engineering Plan](#)  
[Preliminary Engineering Plan - Detention Pond](#)  
[Building Elevations](#)  
[Special Use Standards](#)  
[Orland Fire Protection District Training Facility Overview](#)  
[Lot Coverage Exhibit](#)  
[Preliminary Landscape Plan](#)  
[Fence Specifications](#)

**CLOSE PUBLIC HEARING**

**NON-PUBLIC HEARINGS**

**OTHER BUSINESS**

[2020-0594](#) Memo: New Petitions

**Attachments:** [09-02-2020 Plan Commission Memo](#)

**NON-SCHEDULED CITIZENS & VISITORS**

**ADJOURNMENT**

DATE: September 2,  
2020

## **REQUEST FOR ACTION REPORT**

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File Number: **2020-0593**

Orig. Department:

File Name: **Minutes of August 18, 2020 Plan Commission Meeting**

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**BACKGROUND:**

**BUDGET IMPACT:**

**REQUESTED ACTION:**

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# VILLAGE OF ORLAND PARK

*14700 Ravinia Avenue  
Orland Park, IL 60462  
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## **Meeting Minutes**

**Tuesday, August 18, 2020**

**7:00 PM**

**Village Hall**

## **Plan Commission**

*Nick Parisi, Chairman*

*Edward Schussler, Vice Chairman*

*Commissioners: John J. Paul, Laura Murphy, Patrick Zomparelli, Yousef Zaatar  
and Daniel Sanchez*



**CALLED TO ORDER/ROLL CALL**

- Present:** 6 - Chairman Parisi; Vice Chairman Schussler; Member Paul; Member Zomparelli; Member Zaatar, Member Sanchez
- Absent:** 1 - Member Murphy

**APPROVAL OF MINUTES**

**2020-0577 Minutes for August 4, 2020 Plan Commission Meeting**

**A motion was made by Vice Chairman Edward Schussler, seconded by Member Patrick Zomparelli, that this matter be APPROVED. The motion carried by the following vote:**

- Aye:** 5 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zomparelli and Member Zaatar
- Nay:** 0
- Abstain:** 1 - Member Sanchez
- Absent:** 1 - Member Murphy

**PUBLIC HEARINGS**

**OPEN PUBLIC HEARING**

**A motion was made by Chairman Nick Parisi, seconded by Member Patrick Zomparelli, that this matter be APPROVED. The motion carried by the following vote:**

- Aye:** 6 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zomparelli, Member Zaatar and Member Sanchez
- Nay:** 0
- Absent:** 1 - Member Murphy

**2020-0476 Charleton Highlands - Development Petition for an Amendment to the Special Use Permit with Modifications, Plat of Subdivision, Site Plan, and Landscape Plan**

Staff presentation was given by James Harris in accordance with the written report dated August 18, 2020. Ed Lelo and David Sosin on behalf of the Petitioner were also present.

The Commission, the petitioner, and staff attended the public hearing.

Chairman Parisi swore in David Sosin.

David Sosin explained that this was originally the Sheffield Highlands subdivision and the developer took the project over a number of years ago. Mr. Sosin further

clarified that there are no additional lots being added, but rather a few lot lines are being shifted. He continued by explaining the reason for the change is that over the last fourteen years, with regard to the last five available lots, people are requesting different types of homes. He explained that Lifetime Fitness has landscaping along the west perimeter that contains large trees and that the original plan proposed a sidewalk along the west end. Mr. Sosin further commented that the sidewalk did not lead anywhere and that there were concerns that the sidewalk would cause damage to the subdivision landscaping as well as the landscaping that belongs to Lifetime Fitness. Mr. Sosin clarified the houses on the west side will all have first floor master bedrooms, which is the current market trend. He explained that the subdivision is diverse with different style houses, price points and is centrally located. Mr. Sosin also indicated that the streets are due to be completed in two weeks and the curbs were repaired last week, and as such the subdivision improvements are ready to be accepted by the Village.

Commissioner Zaatar asked if the notices were sent via certified mail to every neighbor. Mr. Sosin indicated that the notices were indeed sent via certified mail to the residents within 350 feet, which is above the requirement of 300 feet. Commissioner Zaatar requested clarification on the condition of the residents needing to screen their mechanical units at grade level. James Harris explained that this was a code requirement that all mechanical units are screened. Ed Lelo further clarified that typically the Village would request that the units be screened and that the actual plans would have to be reviewed.

Commissioner Sanchez indicated that he had no further questions.

Commissioner Paul asked if the lots being reduced in size are existing or new. Mr. Harris clarified that the reduction was only for Lot 10 and that the owner of the lot purchased it with that exception. Commissioner Zaatar requested clarification on why there were three lots listed as being reduced on the notices that were sent out. Mr. Harris explained that the only lot that was being reduced in terms of size was Lot 10 and that the other lots were impacted by the setbacks. Mr. Sosin explained that there is still seven feet on either side of the house and by shifting it over, the house is now able to have a main level master bedroom. Mr. Harris indicated that the reason for the discrepancy in the staff report is due to the fact that the Assessor's Office had incorrect data listed. Mr. Lelo expressed that if there is a mistake in the report that it can be adjusted and as long as it is not in the motion that is being voted on, then it can be corrected as the project moved along. Chairman Parisi asked that this information get corrected. Mr. Lelo said that this data will be updated as the project moves along the process.

Mr. Sosin stated that the developer was required to put in extra landscaping and there is a bench being installed next to Lot 17 by the pond so that people may sit down and enjoy the view of the pond.

Commissioner Zomparelli expressed that ranches with first floor bedrooms are “very hot” right now. He further indicated support for the project and that the screening near Lifetime Fitness is perfect.

Vice Chairman Schussler pointed out that he would like staff to notify the Assessor that they are showing incorrect information. He also asked for further clarification on the mechanical screening. Mr. Lelo explained that the units would need to be screened based on what the code requires and if it is visible from a public right-of-way. He further expressed that it is difficult to determine without an actual plan and a lot of the times it happens after the fact or after the unit is installed. Commissioner Schussler asked if the code required air conditioning units located on the side of the house to be screened. Mr. Lelo clarified that it needs to be screened if viewable from a public right-of-way.

Mr. Sosin expressed that the air conditioning units originally were placed on the side of the homes. He further explained that the Village requested the air conditioning condensers be placed in the back of the houses for noise control. Mr. Sosin continued that the air conditioning units will be screened by placing a couple of bushes in front of the units. Vice Chairman Schussler clarified that we will no longer require the houses to be one story and that the listed condition should be removed from the motion being voted on. He expressed he had no problem with it and that it seemed like minor adjustments based on the current market conditions.

Chairman Parisi indicated that his questions had previously been answered and expressed his support.

Overall, the Plan Commission expressed support of the project.

Regarding Case Number 2020-0476, also known as Charleton Highlands, I move to accept and make findings of fact as discussed at this Plan Commission meeting and within the Staff Report dated August 18, 2020.

And

I move to recommend to the Village Board approval of the Preliminary Site Plans for Lots 5, 12, 13, and 16 titled “Site Development Plans”, prepared by KDC Consultants, INC., dated May 7, 2019, May 9, 2019, December 23, 2019, and November 12, 2019 respectively, subject to the following conditions:

1. Meet all building code requirements and final engineering requirements, including required permits from outside agencies.
2. Screen all mechanical equipment either at grade or at rooftop with landscaping or parapets respectively.
3. The proposed single-family homes must conform to all Village codes and ordinances, including the bulk requirements of the COR Mixed Use District per

Section 6-210 of the Land Development Code and the Building Code, with the exception of the approved Modifications.

4. The petitioner shall install a bench on Outlot A and provide detailed plans to the Development Services Department for review and approval.

And

I move to recommend to the Village Board of Trustees approval of the Preliminary Landscape Plan, titled "Landscape Plan", prepared by J.G.S. Landscape Architects, dated July 22, 2020, subject to the following conditions:

1. Submit a final landscape plan meeting all Village Codes and all required supporting documentation addressing all outstanding landscape items in conjunction with the final engineering submittal.
2. Prior to final approval, comply with Section 6-305.6.b regulations for plant diversity, and revise the landscape plan accordingly.
3. Prior to final approval, provide a revised landscape cost estimate.
4. All missing landscaping included on the 2007 Board approved landscape plan shall be planted on Lots 1, 5, 11, 12, 13 and 16 prior to the issuance of a certificate of occupancy.

And

I move to recommend to the Village Board approval of the Plat of Subdivision for Lots 10, 11 and 12 titled "Charleton Highlands Resubdivision - Three", prepared by KDC Consultants, INC., dated March 6, 2020 respectively, subject to the following conditions:

1. Submit a Record Plat of Subdivision to the Village for approval, execution, and recording.

And

I move to recommend to the Village Board approval of a Special Use Permit Amendment to the Charleton Highlands Planned Development (Ordinance No. 4043) located in the COR Mixed Use District, subject to the same conditions as outlined in the Preliminary Site Plan motion. Modifications to the Special Use permit include:

1. A reduction in the east corner side yard setback of Lot 16 from the approved 22.5 feet to a proposed 20 feet;
2. A reduction in west interior side yard setback of Lots 5 and 12 from the approved 30 feet to a proposed 20 feet; and
3. A reduction in the landscape bufferyard located along the west interior lot lines of Lots 5 and 12 from the approved 30 feet to a proposed 20 feet.

**A motion was made by Vice Chairman Schussler, seconded by Chairman Parisi, that this matter be APPROVED. The motion carried by the following vote:**

**Aye:** 6 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zomparelli, Member Zaatar and Member Sanchez

**Nay:** 0

**Absent:** 1 - Member Murphy

**CLOSE PUBLIC HEARING (Audio: 32:23)**

**A motion was made by Chairman Nick Parisi, seconded by Vice Chairman Edward Schussler, that this matter be APPROVED. The motion carried by the following vote:**

**Aye:** 6 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zomparelli, Member Zaatar and Member Sanchez

**Nay:** 0

**Absent:** 1 - Member Murphy

**NON-PUBLIC HEARINGS**

**OTHER BUSINESS**

**2020-0578 Memo: New Petitions**

**NON-SCHEDULED CITIZENS & VISITORS**

**ADJOURNMENT**

Meeting adjourned at 7:35 p.m.

**A motion was made by Chairman Nick Parisi, seconded by Vice Chairman Edward Schussler, that this matter be ADJOURNED. The motion carried by the following vote:**

**Aye:** 6 - Chairman Parisi, Vice Chairman Schussler, Member Paul, Member Zomparelli, Member Zaatar and Member Sanchez

**Nay:** 0

**Absent:** 1 - Member Murphy

Respectfully submitted,

Gerianne Flannery  
Recording Secretary

DATE: September 2,  
2020

## **REQUEST FOR ACTION REPORT**

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File Number: **2020-0216**  
Orig. Department: **Development Services Department**  
File Name: **Orland Fire Protection District Training Facility - Development Petition for Site Plan, Elevations, Landscape Plan, Special Use Permit Amendment with Modifications**

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### **BACKGROUND:**

#### **QUICKFACTS**

##### **Project**

Orland Fire Protection District Training Facility - 10728 W. 163<sup>rd</sup> Place  
2020-0216

##### **Petitioner**

Michael Schofield - Fire Chief, Orland Park Fire Protection District

##### **Purpose**

The petitioner proposes to construct a three-story tall fire training prop structure, an asphalt driving pad, a new parking lot area, and a privacy fence on a 4.99-acre site currently used as a regional fire training facility for the Orland Fire Protection District located at 10728 W. 163<sup>rd</sup> Place. The proposed project also includes landscaping improvements and alterations to the existing detention pond on the 1.65-acre parcel located directly to the north of the Training Facility site.

**Requested Actions:** Site Plan, Elevations, Landscape Plan, Special Use Permit Amendment with Modifications to the Land Development Code

**Address:** 10728 W. 163<sup>rd</sup> Place

**P.I.N.:** 27-20-400-011-8001; 27-20-202-006-0000; 27-20-207-007-0000

##### **Parcel Size:**

*Parcel 1 (Training Facility): 4.9 acres*

*Parcel 3 (Detention Pond): 1.6 acres*

**Comprehensive Plan Planning District & Designation:** Centennial Planning District with Community & Institutional Designation / Manufacturing Employment Emphasis

**Existing Zoning:** MFG Manufacturing District

**Existing & Proposed Land Use:** Fire Training Facility and Detention Pond

##### **Surrounding Land Uses & Zoning:**

North: E-1 Residential Estate & MFG Manufacturing District - (across Norfolk Southern Railroad) Light Industrial/Warehouse/Offices

South: MFG Manufacturing District - (across 163<sup>rd</sup> Place) Multi-tenant Office/Warehouse

East: MFG Manufacturing District - Motor Vehicle Services/Multi-tenant Office/Warehouse/Light Industrial

West: E-1 Residential Estate District - (across Norfolk Southern Railroad) Light

Industrial/Warehouse/Office; OS Open Lands District - (across 108<sup>th</sup> Avenue and Norfolk Southern

Railroad) Village-owned Detention Pond; R-3 Residential District (across 108<sup>th</sup> Avenue and Norfolk

Southern Railroad) - Single-family detached residential in the Kingsport South Subdivision

#### **BACKGROUND**

On June 23, 1986, the Village Board approved a Special Use Permit to allow for a Fire Training Facility

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on the subject property by Ordinance No. 1544. On February 16, 2009, the Village Board approved an Amendment to the Special Use Permit to create a Planned Development to allow for multiple buildings on a single lot by Ordinance No. 4461 (Legistar File ID 2008-0670). As part of the project, the Orland Fire Protection District (OFPD) was granted approval to construct a new 11,234 square foot Training Facility building on site. At that time, the site contained a 7,354 square foot vehicle maintenance building and other structures used for fire training purposes. Modifications were also approved to allow for a front setback of 37.5 feet and to permit parking between the building and the street.

The OFPD is currently working toward constructing a new vehicle maintenance and repair facility at 10704 W. 163<sup>rd</sup> Place, approximately 160 feet to the east of the subject property, which will replace the existing, outdated vehicle maintenance building located at the Training Facility site. The OFPD Maintenance Building project was approved by the Board of Trustees on August 17, 2020 (Legistar File ID 2020-0319).

A large cell tower currently exists on site. Several Special Use Permits and Appearance Reviews have been granted to allow for the construction of and alterations to the cell tower (Special Use Permit by Ordinance No. 1759 approved May 2, 1998; Amendment to the Special Use Permit by Ordinance No. 3239 approved April 5, 1999; Appearance Review 2009-0389 administratively approved September 8, 2009; Appearance Review 2012-0361 administratively approved July 26, 2012).

### **PROJECT DESCRIPTION**

The petitioner proposes to construct a three-story tall fire training prop structure, a 30,481 square foot asphalt driving pad, and a new expanded parking lot on a 4.99-acre site located at 10728 W. 163<sup>rd</sup> Place (PINs 27-20-400-011-800 and 27-20-202-006-0000). The proposed project also includes landscaping improvements, the installation of an eight (8) foot tall privacy fence along 163<sup>rd</sup> Place to screen the proposed operations and outdoor storage on site, and alterations to the existing detention pond on the 1.65-acre parcel (PIN 27-20-207-007-0000) located directly to the north of the training facility site.

The site is currently occupied by the Orland Fire Protection District (OFPD) and is used as a regional fire training facility where emergency responders, public and private sector employees, and administrators train and prepare for emergency events and disaster situations. The proposed improvements will help further develop the site into an all hazards training facility, where emergency responders can train in areas such as Firefighting, Hazardous Materials, Confined Space Rescue, Trench Rescue, Water Rescue, Driver Operator, Incident Command, National Incident Management System (NIMS), Leadership, Officer Training, Safety Classes, Emergency Medical Services and Disaster Preparedness. The petitioner has submitted a handbook outlining the types of training props currently on site, how they are used, and certifications that can be obtained through related training classes.

The petitioner seeks approval of an Amendment to a Special Use Permit for a Planned Development (Ordinance No. 1544 and Ordinance No. 4461) to allow for multiple buildings on a single lot, a Special Use Permit to allow for Outdoor Storage not meeting the requirements of Section 6-208.B, Site Plan, Elevations, Landscape Plan, and Modifications from the Land Development Code, including the following:

1. Number of Parking Spaces. Increase the number of parking spaces from thirty-seven (37) to forty-six (46) spaces (Section 6-306.B)
  2. Parking between the Building and the Street. To allow for a parking lot and driving training pad to be located between the building façade and the street (Section 6-208.F.4)
  3. Outdoor Storage and Screening. To allow for outdoor storage to be partially screened from view, to exceed the height of the screening, and be located to the sides and rear of the principal buildings (Section 6-302.I; Section 6-208.H; Section 6-308.J)
  4. Building Materials. To allow for a three-story training prop to be constructed of metal shipping containers instead of the required anchored brick, stone or similar masonry materials extending from the adjacent grade to the top of each story with minor accents allowed in place of masonry subject to meeting Building Codes (Section 6-308.F)
  5. Detention Pond Setbacks and Landscape Area. Reduce the required detention pond setback and landscape area from twenty-five (25) feet to as little as zero (0) feet (Section 6-409.E.18.d; Section 6-
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412.D.1; Section 6-305.D.8)

6. Detention Pond Maintenance Area. Reduce the required detention pond vehicle maintenance area from eight (8) feet to as little as zero (0) feet (Section 6-409.E.18.o; Section 6-305.D.8)

7. Detention Pond Slope. Increase the maximum pond slope from 4:1 to 3:1 (Section 6-409.E.18.d)

The subject property is currently located in the MFG Manufacturing District. Government Uses, Motor Vehicle Services, and Offices are considered permitted uses in the MFG Manufacturing District. Planned Developments and Outdoor Storage not meeting the requirements of Section 6-208.B are considered Special Uses.

With the exception of the requested Modifications, the project conforms to the Village's Comprehensive Plan, Land Development Codes and policies for this area.

### **SITE PLAN**

The site currently includes an 11,234 square foot training facility building, a 7,354 square foot vehicle maintenance building, burn towers, and several other types of training props. The existing site also includes a landscaped berm on the west side of the site, which measures approximately four (4) feet tall and provides screening from 108<sup>th</sup> Avenue.

The proposed site plan consists of a new driving pad, strip mall training prop, parking lot expansion, fencing, landscaping improvements, and alterations to the existing detention pond. The proposed improvements are discussed in detail below.

**Driving Pad** - A 30,481 square foot asphalt driving pad is proposed at the southwest corner of the site in an existing grass area to the west of the driveway. The driving pad will primarily be used to train fire department personnel and other emergency responders on how to operate large fire apparatus and emergency vehicles. The driving pad will be setback approximately 68 feet to 135 feet from the western lot lines and setback 43 feet from the south lot line along 163<sup>rd</sup> Place, which meets the setback requirements per the Land Development Code. As shown on the proposed site plan, the area to the southwest of the proposed driving pad will remain as green space and will be utilized as a Kids Camp and Picnic Area. A stormwater volume control unit will be constructed underneath the proposed driving pad area.

**Parking Lot Expansion** - Six (6) parking spaces currently located to the west of the existing cell tower and to the east of the driveway will be removed. A new parking lot area with a total of eleven (11) spaces will be constructed on the west side of the Training Facility building. The pavement at the northwest corner of the parking lot on both sides of the driveway will be striped in order to create a dedicated drive aisle, provide a directional route for vehicular traffic, and allow for a larger turning radius for fire apparatus using the driving pad to the west.

As a result of the parking lot expansion, a total of forty-six (46) parking spaces are proposed on site. The petitioner is proposing a 20% increase to the total number of parking spaces required per Section 6-306.B, which requires approval of a Modification to the Land Development Code. Approval of a Modification is also required to allow for the proposed driving pad and parking lot to be located between the buildings/structures and the street, as required by Section 6-208.F.4. Additional information is provided in the "Parking" and "Modifications" sections of this report.

**Strip Mall Training Prop** - The petitioner is proposing to construct a new three-story tall strip mall training prop structure measuring approximately 7,520 square feet in size. The proposed strip mall training prop will be located on the north side of the new asphalt driving pad to the west of the existing driveway serving the site. At its widest points, the base of the training prop will measure 100 feet by 56 feet. The structure will be setback approximately 110 feet from the west lot line and 135 feet from the south lot line.

**Fencing** - Approximately 500 lineal feet of existing chain link fencing located around the existing asphalt pavement area, driveway, and near the Training Facility building will be removed. An eight (8) foot tall

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solid privacy fence and gate will be constructed along 163<sup>rd</sup> Place to screen the proposed operations and outdoor storage on site. The proposed fence will extend from the southwest corner of the Training Facility building approximately 475 lineal feet to the west along the south side of the new parking lot, asphalt driving pad, and kids camp and picnic area. There are no proposed changes to the existing chain link fence along the east side of the site.

As shown on Sheet LP-3.0, two alternative fence types are being proposed for this site depending on the final project budget. Both proposed options are opaque, privacy fences that measure eight (8) feet in height. The petitioner will construct either a composite fence by Trex in a Woodland Brown color or a wood fence stained Sherwin Williams Riverwood (SW 3507). The petitioner has provided additional specification sheets showing the proposed fencing color and design. The specification sheet for the proposed Trex fencing shows the overall height of the fence slightly taller than eight (8) feet. If this fence option is constructed, the fence and gate must be no taller than eight (8) feet as required by code, unless a separate variance is approved at a later date.

A sliding gate matching the chosen fencing material will extend over the driveway. A condition of approval has been added to the recommended motion that the petitioner shall submit the final fencing details to the Development Services Department as part of the building permit application for review and approval to ensure the proposed fencing meets code requirements. The proposed gate must match whichever fencing material is selected.

The project requires approval of a Special Use Permit for Outdoor Storage not meeting the MFG Manufacturing District requirements listed in Section 6-208.B.12. Additionally, approval of a Modification is required to allow for outdoor storage to be partially screened from view, to exceed the height of the screening, and be located to the sides and rear of the principal buildings. Refer to the "Special Use Permit" and "Modifications" sections of this report below for additional details.

**Detention Pond** - Stormwater and detention will be provided within the existing detention pond owned by the OFPD and located on the 1.65-acre parcel directly to the north of the OFPD Training Facility site (PIN 27-20-207-007-0000). Volume control will be provided on site underneath the new asphalt driving pad.

In 2013, the Village transferred ownership of the detention pond to the OFPD (Legistar File ID 2013-0615). In the future, the OFPD intends to convert the existing dry pond into a wet pond and use it for diver training. Any future changes to the pond must be reviewed and approved by the Village as well as any applicable outside agencies.

The petitioner is proposing to regrade areas of the pond to increase stormwater volume and install new landscaping. The existing pond is considered legal non-conforming pond as it does not comply with current Village requirements, such as high water line setbacks and landscaping. The pond was originally constructed in the 1980s as part of the Beemsterboer Planned Development under different stormwater requirements. As a result, the petitioner has requested several Modifications to allow for reduced setbacks between the high water line and adjacent property lines, reduced landscape area and maintenance area, and increased side slopes. Additional details are provided in "Modification" section of this report below.

The proposed changes to the detention pond will incorporate stormwater for both the OFPD Training Facility site and the new OFPD Maintenance Building to be constructed at 10704 W. 163<sup>rd</sup> Place, approximately 160 feet to the east of the OFPD Training Facility. The Maintenance Building project was approved by the Board of Trustees on August 17, 2020. At the time of approval, the petitioner was coordinating with MWRD on pond requirements and was working on finalizing plans to improve the existing detention pond. The changes to the detention pond were intended to be included in the separate development petition for the OFPD Training Facility and are presented as part of this submittal package.

## **MOBILITY**

### **Vehicular/Traffic**

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The property is accessible from an existing driveway off of 163<sup>rd</sup> Place, a local street under the Village's jurisdiction. The site is also located to the east of 108<sup>th</sup> Avenue, a Major Collector street under the jurisdiction of Cook County, but does not have direct access to this street. The Norfolk Southern railroad is located along the west side of the site.

### **Pedestrian Access**

Sidewalks are not currently provided or required throughout the Beemsterboer Industrial Park area. As a result, no sidewalks are proposed for this site. A short walkway will be provided at the northeast corner of the building to connect the new parking lot area and bike parking to the entrance of the Training Facility.

### **Bicycle Parking**

Five (5) bicycle parking spaces are proposed within a new concrete pad located to the west of the existing cell tower and to the north of the new parking lot area. As proposed, the bicycle parking meets the code requirements per Section 6-306.H.

### **Parking**

Existing: Forty-one (41), including (2) accessible spaces

Required: Thirty-seven (37), including two (2) accessible spaces

Provided: Forty-six (46) spaces, including two (2) accessible spaces

Per Section 6-306.B, Government Uses - Fire/Police are required to provide one (1) parking space per five-hundred (500) square feet of floor area. In this case, a total of thirty-seven (37) parking spaces are required on site to accommodate the existing 11,234 square foot training facility building and the 7,354 square foot maintenance building.

Six (6) parking spaces located to the west of the existing cell tower will be removed to allow for the construction of a new parking lot area with eleven (11) parking spaces to the west of the training facility building, resulting in a total of forty-six (46) spaces on site. The petitioner has requested a Modification to increase the required number of parking spaces by nine (9) spaces, which amounts to a 24.3% increase to the required parking spaces on site. Any request exceeding a 20% increase in the total number of parking spaces permitted on the lot requires approval via a Modification to the Land Development Code under the Special Use Permit.

As noted above, the petitioner has also requested a Modification to allow for the new parking lot and the asphalt driving pad to be located between the buildings and 163<sup>rd</sup> Place. Per Section 6-208.F.4, parking lots or structures are not allowed within the setback area between the building facade and the street. Refer to the "Modifications" section of this report below for additional information.

### **BUILDING ELEVATIONS**

The proposed three-story strip mall training prop will be constructed of metal shipping containers painted in a dark gray/brown color. The proposed building materials and color scheme are indicated on the elevations submitted by the petitioner.

The proposed structure will have a tiered height ranging from one to three stories. The north elevation includes three stacked containers with an overall height of 25 feet 6 inches and central stair case. The height is reduced to two-stories (17 feet in height) in the center of the structure and then to one-story on the southernmost elevation closest to 163<sup>rd</sup> Place (8 feet 6 inches in height). Each elevation includes cut-out openings for windows and doors. Approval of a Modification is required to allow for the building to be constructed of metal shipping containers rather than of the required masonry materials per code. Refer to the "Modifications" section of this report for additional details.

### **LANDSCAPE PLAN**

The preliminary landscape plan has been approved by the Village's landscape consultant. The petitioner must submit a final landscape plan for separate review in conjunction with final engineering. All conditions included in the most recent comment letter must be addressed during final landscape plan review. It is imperative that the landscape design professional and project engineer coordinate their work

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to provide the grading required for landscape compliance.

The landscaping requirements for Landscape Parkways, Landscape Corridors, Landscape Bufferyards, Foundation and Interior Landscape, and Parking Lot Area Landscape have been met and will be confirmed during the final landscape plan review phase. The final landscape plan must address all previous comments, including for the Stormwater Management Area and Signage Landscaping.

As shown on the submitted landscape plan, trees and landscaping will be provided in the Parkway and Corridor along 163<sup>rd</sup> Place. Additional landscaping will also be provided within the existing berm and along the west side of the site to screen the proposed parking areas, outdoor storage, and site operations from view. No additional landscaping is proposed on the east or northern areas of the Training Facility site as part of this project. These areas are considered existing non-conforming with current landscape code requirements.

Landscaping is also proposed around the existing detention pond. Because the petitioner is requesting a reduction to the 25 foot setback and an increase to the side slopes of the pond, the proposed landscape area around the pond does not meet all of the Stormwater Management Area Landscape requirements of Section 6-305.D.8.

Approximately ten (10) trees will be removed as part of the project. All tree mitigation and tree preservation requirements per Section 6-305.F of the Land Development Code must be met. When required mitigation trees cannot be provided on site, the petitioner will be required to pay the required cash in lieu amount for tree mitigation. If required, final tree mitigation requirements will be determined during the final landscape plan review and payment shall be required prior to issuance of a building permit.

## **DETAILED PLANNING DISCUSSION**

### **Preliminary Engineering**

Preliminary engineering approval has not been granted for this project by the Village's engineering consultant due to the request for pond variances. This is standard practice for any project requesting a variance. All other preliminary engineering items have been met. Final engineering submittal must address all previous review letter comments as well as any future engineering comments.

Detention/Retention - As noted above, stormwater and detention will be provided within the existing detention pond located directly to the north of the OFPD Training Facility site (PIN 27-20-207-007-0000). Volume control will be provided on site underneath the new asphalt driving pad. The detention pond will incorporate stormwater for both the OFPD Training Facility site and the new OFPD Maintenance Building to be constructed at 10704 W. 163<sup>rd</sup> Place (Legistar File ID 2020-0319). The existing pond is considered legal non-conforming and does not comply with several current code requirements. As a result, the petitioner has requested Modifications to allow for reduced setbacks between the high water line and property lines, reduced landscape area and maintenance area, and increased side slopes.

Utilities - Nearby tie-ins are available from 163<sup>rd</sup> Place. As part of the project, the petitioner is proposing to reroute segments of the water main, sanitary sewer, and storm sewer lines to accommodate the proposed changes to the site plan.

### **Comprehensive Plan**

According to the Village's Comprehensive Plan, the Training Facility site is located in the Centennial Planning District and is designated as Community & Institutional. The detention pond to the north of the Training Facility site is designated Manufacturing Employment Emphasis. Government facilities, emergency services, fire stations, and training facilities are considered appropriate land uses within this designation.

### **Land Use/Compatibility**

The OFPD Training Facility contains Government, Motor Vehicle Services, and Office uses, all of which are considered permitted uses in the MFG Manufacturing District. A Special Use Permit was previously

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granted for a Planned Development for the site as it includes more than two buildings and uses. The OFPD also offers certification programs for fire department personnel, emergency responders, and other public and private sector employees. As a result, the site could also be considered as a Vocational School per the Land Development Code, as it provides skills and technical training for a specific job trade. Vocational Schools are classified as a permitted use in the MFG Manufacturing District. Outside Storage not meeting the requirements of Section 6-208.B in the MFG District is considered a Special Use, which has been requested for approval as part of this petition.

The existing and proposed uses are compatible with the MFG Manufacturing District, the surrounding existing land uses and zoning district, and the Comprehensive Plan designation for this area. The surrounding area is comprised of a mix of uses, including vehicle repair, warehouse, contractor offices and sales, light manufacturing, and office uses. The nearest residential lot is located approximately 240 feet to the west and is separated from the OFPD Training facility site by the Norfolk Southern railroad, 108<sup>th</sup> Avenue, privately-owned a landscaped lot. The existing berm located on the west side of the property also provides significant shielding from adjacent residential lots.

### **Special Use Permit**

A Special Use Permit was previously approved by Ordinance No. 1544 on June 23, 1986 to allow for a Fire Training Facility on the subject property. On February 16, 2009, the Village Board approved an Amendment to the Special Use Permit by Ordinance No. 4461 to create a Planned Development to allow for multiple buildings on a single lot, the construction of a new 11,234 square foot training facility building, and Modifications to allow for a front setback of 37.5 feet and to permit parking between the building and the street.

The petitioner seeks approval of an Amendment to the Special Use Permit for a Planned Development (Ordinance No. 1544; Ordinance No. 4461) to allow for multiple buildings on a single lot, a Special Use Permit to allow for Outdoor Storage not meeting the requirements of Section 6-208.B, and Modifications from the Land Development Code.

A Special Use Permit is required for Outdoor Storage that does not meet the MFG Manufacturing District requirements listed in Section 6-208.B.12. Outside Storage is considered permitted when the storage area does not exceed fifty percent (50%) of the area of the lot, is located at the rear of the principal building, is screened on all sides, and the height of the stored materials, equipment or vehicles does not exceed the height of the screening. Otherwise, a Special Use Permit must be approved.

Per Section 5-105.E. of the Land Development Code, the Plan Commission shall consider the extent to which the proposed project will meet the eight Special Use standards listed in the Code. The petitioner has provided responses to the Special Use standards, which are attached for review.

### **Modifications**

As part of the Special Use Permit, the petitioner is requesting the following Modifications to the Land Development Code, which are discussed in the responses to the Special Use Standards submitted by the petitioner:

1. Increase the number of parking spaces from thirty-seven (37) to forty-six (46) spaces (Section 6-306.B)

The petitioner has requested a Modification to increase the required number of parking spaces by nine (9) spaces, which amounts to a 24.3% increase to the required parking spaces on site. Any request exceeding a 20% increase in the total number of parking spaces permitted on the lot requires approval via a Modification under a Special Use Permit. Because the site serves as a regional training facility, there may be instances where additional parking spaces are needed to accommodate specific training events and classes. The parking requirements for "Government Uses - Fire/Police" are oriented toward sites where the primary use is a fire station and parking is intended largely for fire department personnel. However, in this case, the site is also utilized as a training facility and is intended to attract visitors during training events. The additional parking spaces will help meet parking demands during training events and prevent overflow parking on the streets within the area. The existing and new parking areas will be

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screened from the 163<sup>rd</sup> Place by an eight (8) foot tall fence and landscaping.

2. Allow for a parking lot and driving training pad to be located between the building façade and the street (Section 6-208.F.4)

Per Section 6-208.F.4, parking lots or structures are not allowed within the setback area between the building facade and the street. The petitioner is proposing to locate a new parking lot area and an asphalt driving pad between 163<sup>rd</sup> Place and the existing maintenance building, existing training props, and the proposed strip mall prop. Because other training props are currently located on the northern portion of the site, there is limited space to construct the proposed asphalt driving pad and parking lot within these areas. A Modification was previously approved under the Special Use Permit by Ordinance No. 4461 for parking to be located between the building and the street. With the construction of the new driving training pad, parking lot expansion, and the strip mall prop, approval of a new Modification under the Special Use Permit Amendment is required. To minimize visual impacts, an opaque fence and additional landscaping will be installed around the south and west sides of the property. The existing landscaped berm along the west side of the site, which measures about 4 feet in height and includes established trees, also helps to screen the parking lot areas and internal operations on site.

3. Allow for outdoor storage to be partially screened from view, to exceed the height of the screening, and be located to the sides and rear of the principal buildings (Section 6-302.I; Section 6-208.H; Section 6-308.J)

Per the Land Development Code, outdoor storage is classified as the overnight placement, not in a building, of materials, equipment and/or vehicles other than employee and visitor parking. Several of the training props and equipment on site may be considered outdoor storage. In addition to the approval of a Special Use Permit to allow for Outdoor Storage not meeting the MFG District requirements listed in Section 6-208.B.12, the project requires approval of a Modification related to screening and outdoor storage. Several Sections of the Land Development Code include regulations on outdoor storage and screening requirements:

- Section 6-302.I (Accessory Structures and Uses) states “Outside storage shall be located at the rear of the principal building. It shall be screened on all sides. Stored materials, equipment or vehicles shall not exceed the height of the screening, and shall not be visible from any adjacent streets or residential areas.”

- Section 6-208.H (Required Conditions in the MFG Manufacturing District) states “All production, fabricating, servicing, assembling, testing, repair, processing and outdoor storage, including all accessory uses and structures, shall be conducted wholly within an enclosed building or behind a uniform solid fence eight (8) feet in height.”

- Section 6-308.J (Design Standards) requires storage areas and other potentially unattractive places to be completely screened from view on all sides so that no portion of such areas are visible from streets, drives, and adjacent properties. Screening shall be accomplished by the use of walls, fencing, landscaping, or a combination of measures. Screening shall be equally effective in the winter and the summer seasons. Screening shall be architecturally compatible with the principal building in terms of design type, materials, and colors.

The training props are unique structures that are necessary to provide certification classes and training for emergency responders. The proposed eight (8) foot tall opaque fence will be unable to fully screen the existing training props and the proposed strip mall training prop from view because most of the props have a height greater than 8 feet. Due to the financial costs of installing an opaque fence to screen the entire site, the petitioner is proposing additional landscaping along 163<sup>rd</sup> Place and within certain areas on the west side of the site to help lessen visual impacts from 108<sup>th</sup> Avenue. The existing berm, established landscaping, and trees on the west side of the property will also help screen the storage and operations from view. Landscaping may be more effective in the long term for screening the outdoor storage areas and training props compared to the eight (8) foot tall fence as the height of a fence is unable to fully screen the training props on site and the selected landscaping will be able to grow taller than eight (8) feet.

4. Allow for a three-story training prop to be constructed of metal shipping containers instead of the required anchored brick, stone or similar masonry materials extending from the adjacent grade to the top

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of each story with minor accents allowed in place of masonry subject to meeting Building Codes (Section 6-308.F)

Per Section 6-308.F (Design Standards), "Brick or other masonry materials shall be used for all sides of all nonresidential development and shall be installed per Village Building Code specifications. At a minimum: For two or three-story structures, anchored brick, stone or similar masonry materials as approved by Development Services Department shall extend from the adjacent grade to the top of each story with minor accents allowed in place of masonry subject to meeting building codes."

Per the petitioner, the proposed design of the strip mall training prop is similar to training props constructed in other municipalities for training emergency responders. The use of shipping containers for the construction of the strip mall prop has become increasingly popular because they are cost-effective and provide flexibility in the overall design and layout. The training prop will be painted with an earth tone color that compliments the existing structures currently onsite. Additionally, an eight (8) foot tall, solid fence and landscaping will be provided to help partially screen the training prop from view from adjacent properties and streets. The proposed prop will be compatible with other training props on site that are not constructed of masonry materials.

The petitioner may be required to obtain variances to the Building Code, if necessary, prior to the construction of the proposed training prop.

5. Reduce the required detention pond setback and landscape area from twenty-five (25) feet to as little as zero (0) feet (Section 6-409.E.18.d; Section 6-412.D.1; Section 6-305.D.8)

A setback of at least twenty-five (25) feet is required around all detention ponds, as measured from the high water line to all adjacent development and property lines. Detention ponds are also required to meet Stormwater Management Area Landscape requirements per Section 6-305.D.8. The petitioner is proposing as little as a zero (0) foot setback from the high water line on the east and south sides of the pond. In general, a ten (10) foot setback is maintained along the west side of the pond and the high water line is setback roughly eighty (80) feet from the northernmost lot line.

As previously noted, the detention pond was originally constructed in the 1980s as part of the Beemsterboer Planned Development and was conveyed to the OFPD from the Village in 2013. The existing pond is considered legal non-conforming. Due to the limited size of the parcel, existing pond design, and existing conditions on site, the pond cannot meet the current code requirements. The required stormwater detention will be provided within the pond, but the required setbacks and landscaping cannot be met. Approval of the requested Modifications for the pond will allow for the construction of the proposed improvements to both the Training Facility and Maintenance Building sites. The pond will remain privately owned and maintenance by the OFPD.

6. Reduce the required detention pond vehicle maintenance area from eight (8) feet to as little as zero (0) feet (Section 6-409.E.18.o; Section 6-305.D.8)

Due to the limitations of the detention pond design and site size, the requirements for the vehicle maintenance area cannot fully be met. The petitioner has designated a thirty (30) foot area along south property line to allow for access to and maintenance of the detention basin. Per the petitioner, the detention basin has been designed with a maximum 3:1 side slope and will be planted with a low profile native seed mix to reduce mowing. The bottom of the basin will be planted with a wetland seed mix and an underdrain to allow for infiltration into the soils and the reduction of ponding areas should they occur. This overall design will allow for a reduced mowing schedule and less overall maintenance.

7. Increase the maximum pond slope from 4:1 to 3:1 (Section 6-409.E.18.d)

The increased slope will help prevent the need for retaining walls to achieve adequate storm water capacity. Due to the limitations of the detention parcel and the existing basin, a 4:1 side slope does not provide sufficient storage for the development. However, stormwater volume requirements can be met with a 3:1 slope and a native planting seed mix for the side slopes. Per the petitioner, the proposed design will not impact future maintenance.

**Signage**

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No new signage is proposed as part of this project. The petitioner proposes to provide landscaping around the existing dual post ground sign located near the driveway entrance along 163<sup>rd</sup> Place. Landscaping shall meet the Signage Landscape requirements per Section 6-305.D.7. All signs are subject to a separate sign permit review by the Development Services Department and must comply with Section 6-307 of the Land Development Code.

### **Mechanicals/Utility Conduits**

All mechanical equipment must be screened, either at grade level with landscaping or hidden behind the roofline. All roof-mounted and ground-based mechanical equipment must be fully screen to meet the code requirements listed in Section 3-608.J of the Land Development Code.

### **Exactions and/or Incentives**

All exaction fees, including but not limited to transportation, parks and schools, are to be paid to the Village per Code requirements.

### **Bulk Requirements**

#### Lot Size

Minimum - 20,000 square feet

Existing (Parcel 1 - Training Facility) - 217,264 square feet (4.99 acres)

Existing (Parcel 3 - Detention Pond) - 71,675 square feet (1.65 acres)

#### Lot Width

Minimum - 100 feet

Existing (Parcel 1 - Training Facility) - 594.67 feet

Existing (Parcel 3 - Detention Pond) - 280.55 feet

#### Lot Coverage

Maximum - 80%

Proposed (Parcel 1 - Training Facility) - 72%

Proposed (Parcel 3 - Detention Pond) - 88.7%

Combined (Parcel 1 and Parcel 3) - 71.3%

#### Floor Area Ratio (FAR)

Maximum - 1.5

Proposed - 0.179 for all buildings and structures on Parcel 1

#### Building Height

Maximum - 3 stories or 40 feet, whichever is higher

Proposed - 25 feet 6 inches

#### Setbacks (Parcel 1 - Training Facility)

Front Setback (163<sup>rd</sup> Place - South):

Required - 25 feet

Existing - 36.22 feet

Side Setback (West):

Required - 15 feet

Existing - 22.05 feet

Side Setback (East):

Required - 15 feet

Existing - 30.09 feet

Rear Setback (North):

Required - 20 feet

Existing - 18.65 feet

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This case is now before Plan Commission for consideration.

**BUDGET IMPACT:**

**REQUESTED ACTION:**

Regarding Case Number **2020-0216**, also known as **Orland Fire Protection District Training Facility**, I move to accept and make findings of fact as discussed at this Plan Commission meeting and within the Staff Report dated September 2, 2020.

And

I move to recommend to the Village Board approval of the **Preliminary Site Plan** titled "Preliminary Site Plan" (Sheet C-1.0), prepared by Knight E/A, Inc., dated and last revised August 18, 2020, and the "Preliminary Engineering Plan" (Sheet C-2.0), the "Preliminary Engineering Detention Basin" (Sheet C-2.1), and the "Landscape - Gate Details" (Sheet LP-3.0), all prepared by Knight E/A, Inc., and all dated and last revised August 27, 2020, subject to the following conditions:

1. Meet all building code requirements and final engineering requirements, including required permits from outside agencies.
2. All ground-based and roof-mounted mechanical equipment must be fully screened from view and shall meet the code requirements listed in Section 3-608.J.
3. Submit fence specifications to the Development Services Department for final approval prior to the issuance of a building permit. The proposed opaque, privacy fencing and gate shall have a height of eight (8) feet and shall meet all code requirements listed in Section 6-310. The gate must match the fence in terms of style, design, material, color and height.
4. All vehicles, equipment, training props, and outdoor storage must be maintained in an orderly fashion at all times, must remain within limits of the Training Facility site, and shall not be located within the limits of the pond property.
5. The petitioner may be required to obtain variances to the Building Code, if necessary, prior to the issuance of a building permit and to the construction of the three-story tall strip mall training prop.

And

I move to recommend to the Village Board approval of the **Elevations** titled "Elevations", Sheet A-3.0, prepared by Knight E/A, Inc., dated and last revised August 27, 2020, and the colored renderings dated February 24, 2020, subject to the following conditions:

1. Meet all final engineering and building code requirements.
2. All ground-based and roof-mounted mechanical equipment must be fully screened from view and shall meet the code requirements listed in Section 3-608.J.
3. The petitioner may be required to obtain variances to the Building Code, if necessary, prior to the issuance of a building permit and to the construction of the three-story tall strip mall training prop.

And

I move to recommend to the Village Board of Trustees approval of the **Preliminary Landscape Plan**, titled "Landscape Plan Building" (Sheet LP-2.0), "Landscape Plan Pond" (Sheet LP-2.1), "Landscape Details and Notes" (Sheet LP-2.2), and "Tree Survey" (Sheets LP-1.0 and LP-1.1), prepared by Knight E/A, Inc., dated and last revised August 27, 2020, subject to the following conditions:

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1. Submit a final landscape plan meeting all Village Codes and all required supporting documentation addressing all outstanding landscape items in conjunction with the final engineering submittal.
  2. Meet all tree mitigation and tree preservation requirements per Section 6-305.F. The petitioner shall be required to pay cash in lieu of tree mitigation, as determined during the final landscape plan review process.

And

I move to recommend to the Village Board approval of an **Amendment to the Special Use Permit** for a Planned Development (Ordinance No. 1544 and Ordinance No. 4461) for the Orland Fire Protection District to allow for multiple buildings on a single lot and for a Special Use Permit to allow for Outdoor Storage not meeting the requirements of Section 6-208.B, subject to the same conditions outlined in the motions for the Preliminary Site Plan, Elevations, and Preliminary Landscape Plan. **Modifications** to the Special Use Permit include:

1. Increase the number of parking spaces from thirty-seven (37) to forty-six (46) spaces (Section 6-306.B)
  2. Allow for a parking lot and driving training pad to be located between the building façades and the street (Section 6-208.F.4)
  3. Allow for outdoor storage to be partially screened from view, to exceed the height of the screening, and be located to the sides and rear of the principal buildings (Section 6-302.I; Section 6-208.H; Section 6-308.J)
  4. Allow for a three-story training prop to be constructed of metal shipping containers instead of the required anchored brick, stone or similar masonry materials extending from the adjacent grade to the top of each story with minor accents allowed in place of masonry subject to meeting Building Codes (Section 6-308.F)
  5. Reduce the required detention pond setback and landscape area from twenty-five (25) feet to as little as zero (0) feet (Section 6-409.E.18.d; Section 6-412.D.1; Section 6-305.D.8)
  6. Reduce the required detention pond vehicle maintenance area from eight (8) feet to as little as zero (0) feet (Section 6-409.E.18.o; Section 6-305.D.8)
  7. Increase the maximum pond slope from 4:1 to 3:1 (Section 6-409.E.18.d)
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# PLAT of SURVEY

LEGEND	
	SANITARY SEWER MANHOLE
	EXISTING COMBINED SANITARY/STORM MANHOLE
	SANITARY SEWER LINE (Flow)
	WATER VALVE IN VAULT
	WATER VALVE
	WATER LINE
	FIRE HYDRANT
	STORM SEWER INLET
	STORM SEWER CATCH BASIN
	STORM SEWER MANHOLE
	STORM SEWER LINE (Flow)
	POWER POLE
	TRANSFORMER BOX/PAD
	LIGHT
	SOIL BORING
	TRAFFIC SIGNAL
	HAND HOLE
	TELEPHONE (SBC)
	GAS VALVE
	UNDERGROUND TELEPHONE CABLE
	UNDERGROUND ELECTRIC CABLE
	UNDERGROUND GAS LINE
	UNDERGROUND LIGHT CABLE
	UNDERGROUND FIBER OPTICS LINE
	OVERHEAD ELECTRIC LINE
	CONCRETE CURB & GUTTER
	DEPRESSED CURB
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	SIGN
	FENCE LINE
	DECIDUOUS TREE
	EVERGREEN
	BUSH/HEDGE
	PINE TREES
	REGULAR PARKING SPACE
	HANDICAP PARKING SPACE
	EXISTING GROUND ELEVATION
	EXISTING CONTOUR GRADE
	RECORDED DISTANCE
	NOTES CORRESPONDING TO SCHEDULE B

## PARCEL 1:

A TRACT OF LAND IN THE EAST HALF OF SECTION 20, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF 163RD PLACE AND THE EAST LINE OF 108TH AVENUE AS DEDICATED AND RECORDED DECEMBER 23, 1986, AS DOCUMENT NO. 86613984; THENCE NORTH 00°00'00" EAST 163.91 FEET ALONG THE LAST SAID EAST LINE TO THE SOUTHEASTERLY LINE OF THE NORFOLK AND SOUTHERN RAILROAD RIGHT-OF-WAY LINE; THENCE NORTHEASTERLY ON A CURVE CONVEX TO THE NORTHWEST HAVING A RADIUS OF 5696.65 FEET, AN ARC DISTANCE OF 162.16 FEET TO A POINT OF TANGENT; THENCE NORTH 29°03'29" EAST 133.13 FEET ALONG LAST SAID SOUTHEASTERLY RIGHT-OF-WAY LINE TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 20; THENCE SOUTH 89°44'06" EAST 57.05 FEET ALONG LAST SAID SOUTH LINE; THENCE NORTH 29°03'29" EAST 133.97 FEET; THENCE SOUTH 89°42'40" EAST 308.64 FEET; THENCE SOUTH 00°17'21" WEST 427.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SAID 163RD PLACE; THENCE NORTH 89°42'40" WEST 222.41 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ON A CURVE CONVEX TO THE NORTH HAVING A RADIUS OF 330.00 FEET, AN ARC DISTANCE OF 174.45 FEET TO A POINT OF TANGENT; THENCE SOUTH 60°00'00" WEST 104.82 FEET TO A POINT OF CURVE; THENCE WESTERLY ON A CURVE CONVEX TO THE SOUTH HAVING A RADIUS OF 120.00 FEET, AN ARC DISTANCE OF 63.44 FEET TO A POINT OF TANGENT; THENCE NORTH 89°42'40" WEST 29.55 FEET ALL ALONG THE NORTHERLY LINE OF SAID 163RD PLACE TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

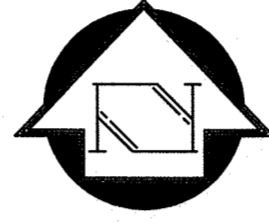
## PARCEL 2:

A 50 FOOT WIDE STRIP OF LAND IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EASTERLY OF THE NORFOLK SOUTHERN RAILROAD RIGHT-OF-WAY (FORMERLY THE WABASH RAILROAD) DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID NORTHEAST QUARTER AND THE EAST RIGHT-OF-WAY LINE OF SAID RAILROAD; THENCE NORTH 29°03'29" EAST 878.00 FEET ALONG SAID EAST RIGHT-OF-WAY LINE TO THE SOUTH LINE OF LOT 37 IN BEEMSTERBOER INDUSTRIAL PARK PHASE 5; THENCE SOUTH 60°56'31" EAST 50.00 FEET ALONG SAID SOUTH LINE; THENCE SOUTH 29°03'29" WEST 850.52 FEET ALONG A LINE 50 FEET EAST OF AND PARALLEL TO THE EAST RIGHT-OF-WAY LINE OF SAID RAILROAD TO THE SAID SOUTH LINE OF THE NORTHEAST QUARTER; THENCE NORTH 89°44'06" WEST 57.05 FEET ALONG LAST SAID SOUTH LINE TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

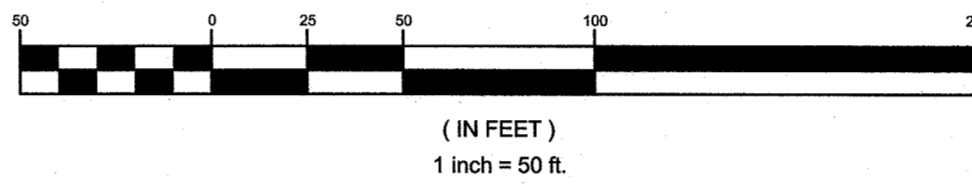
## PARCEL 3:

OUTLOT 45 OF BEEMSTERBOER INDUSTRIAL PARK PHASE 5, BEING A SUBDIVISION OF PART OF THE EAST HALF OF SECTION 20, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 1 = P.I.N. 27-20-400-011-8001 & P.I.N. 27-20-202-006-0000	177,269 Sq. Ft. (4.070 Acres)	39,995 Sq. Ft. (0.918 Acres)
PARCEL 2 = P.I.N. 27-20-202-007-0000	43,213 Sq. Ft. (0.992 Acres)	
PARCEL 3 = P.I.N. 27-20-207-007-0000	71,675 Sq. Ft. (1.645 Acres)	
LAND AREA =	332,152 Sq. Ft. (7.625 Acres) More or Less	

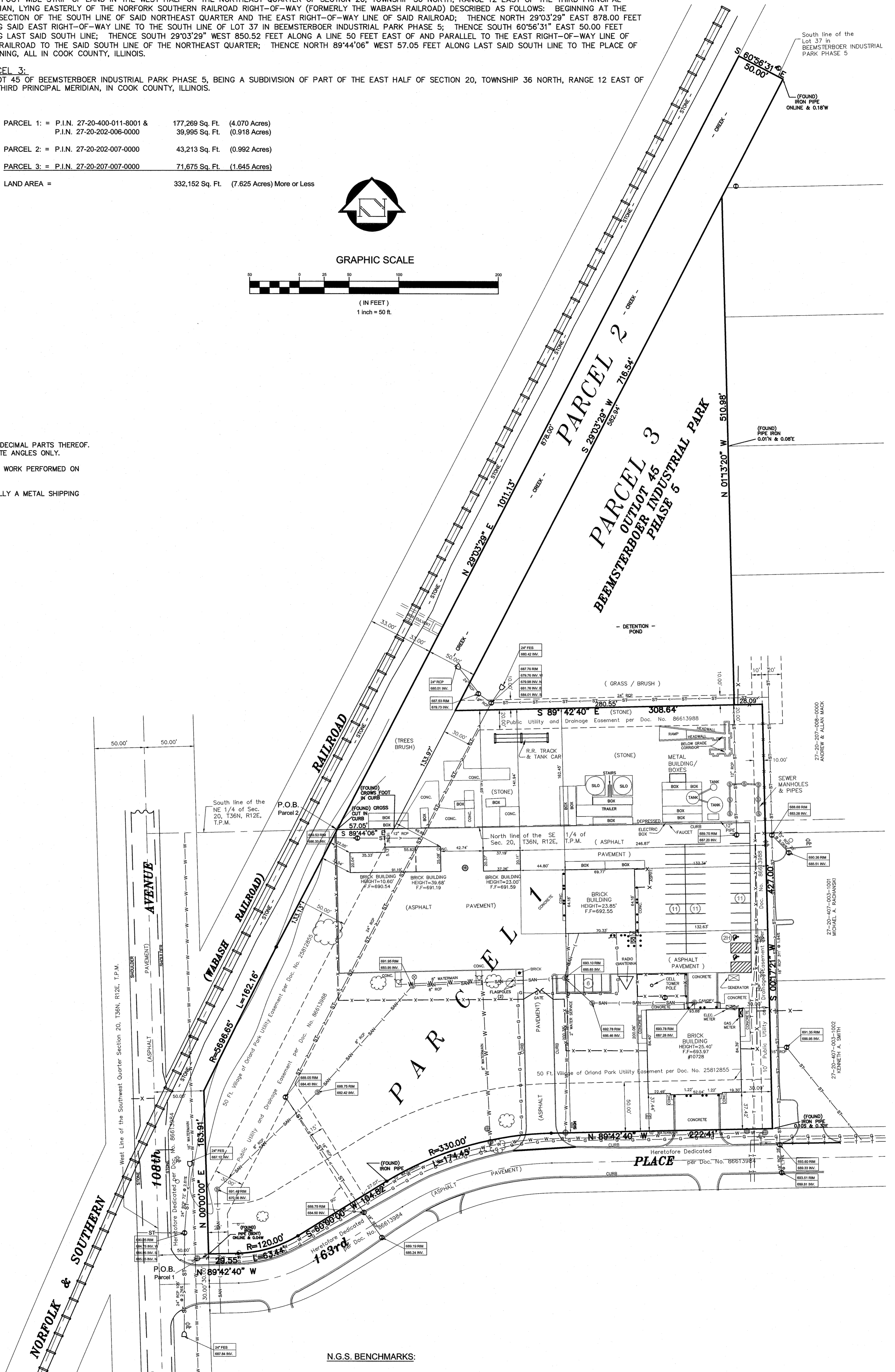


GRAPHIC SCALE



## NOTES:

- DIMENSIONS ON THE PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BEARINGS ARE ASSUMED MERIDIAN AND USED TO DENOTE ANGLES ONLY.
- PLAT REPRESENTS EXISTING CONDITIONS BASED ON FIELD WORK PERFORMED ON DECEMBER 17, 2019.
- INFORMATION INDICATED ON SURVEY AS "BOX" IS TYPICALLY A METAL SHIPPING CONTAINER.



## N.G.S. BENCHMARKS:

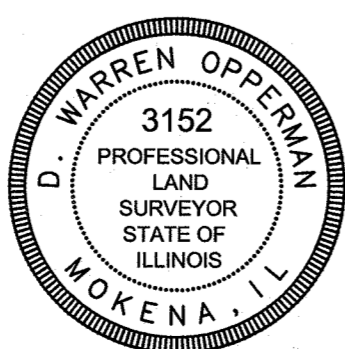
AJ2767: 107.3 FEET SOUTHWEST OF A POWERPOLE LOCATED EAST OF ROUTE 6 ELEVATION=711.28 (NAVD88)

AJ2769: 76 FEET NORTH OF THE ENTRANCE TO ADDRESS 16125 ROUTE 6 ELEVATION=714.57 (NAVD88)

STATE OF ILLINOIS }  
COUNTY OF WILL } S.S.

JOSEPH A. SCHUDT AND ASSOCIATES HEREBY CERTIFY THAT THEY HAVE SURVEYED THE PROPERTY DESCRIBED HEREON, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS IN FEET AND DECIMAL PARTS THEREOF.

MOKENA, ILLINOIS, **JUNE 8<sup>TH</sup>**, A.D. 2020.  
JOSEPH A. SCHUDT & ASSOCIATES (184-001172)



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Joseph A. Schudt & Associates

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PHONE: 708-720-1000 FAX: 708-720-1065  
e-mail: survey@jaseng.com http://www.jaseng.com

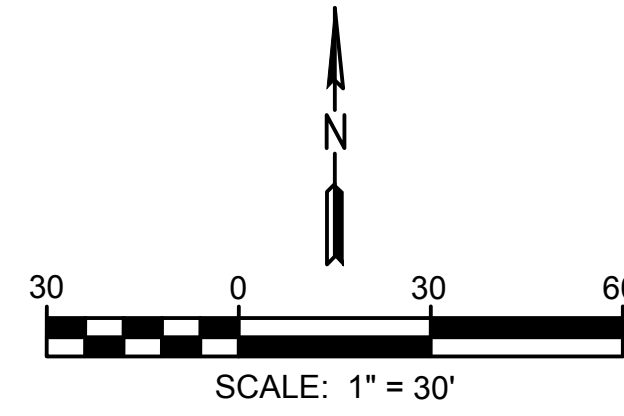
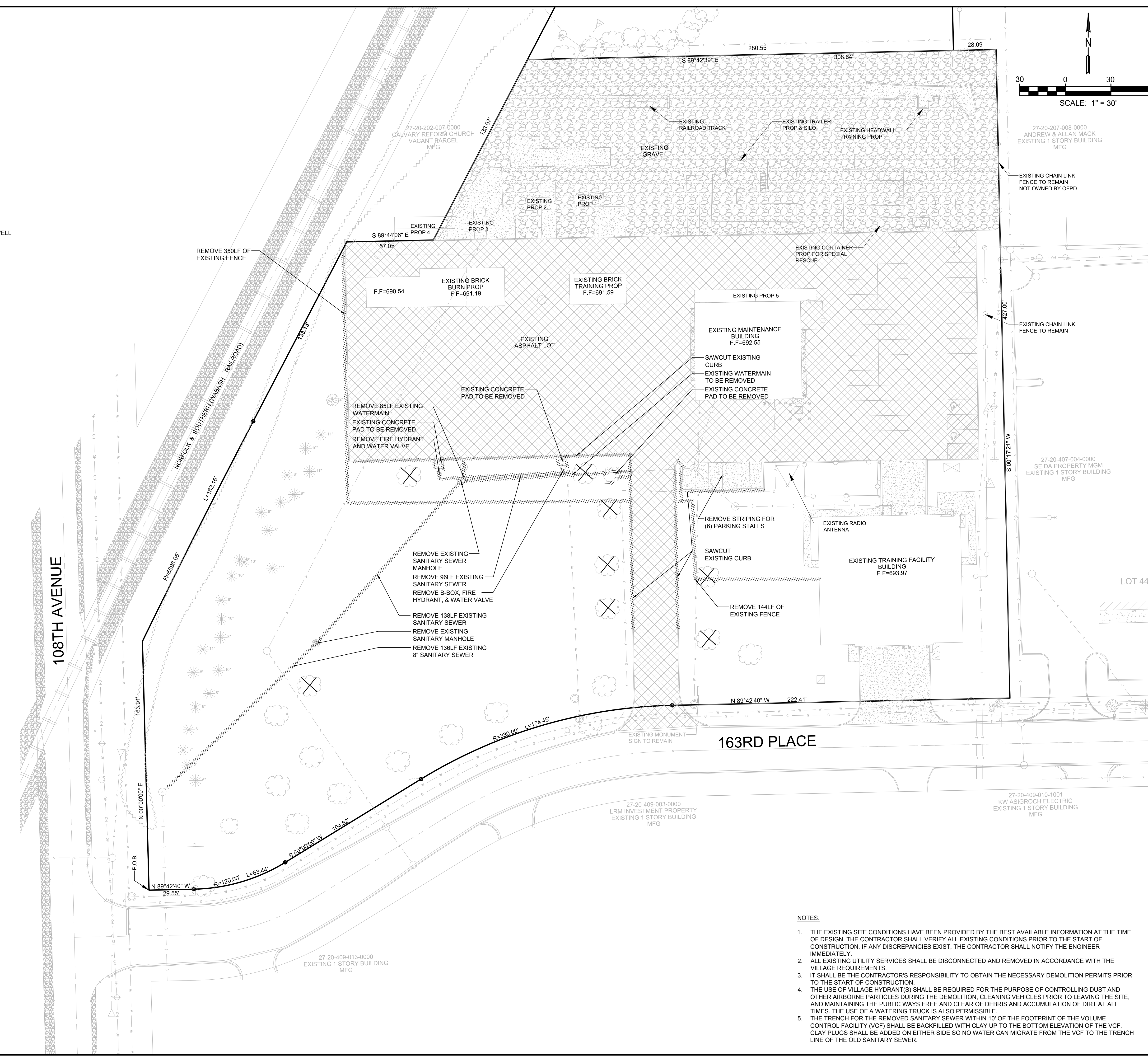
ORDERED BY: KNIGHT E/A INC.  
ADDRESS: ORLAND FIRE PROTECTION DISTRICT  
10728 163RD PLACE  
ORLAND PARK, ILLINOIS  
ORDER NO.: 08-006-001B

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.  
VERIFY ALL POINTS BEFORE BUILDING AND REPORT ANY DISCREPANCIES. CONSULT DEED OR TITLE REPORT FOR EASEMENTS AND RESTRICTIONS.



**LEGEND:**

EXISTING	DESCRIPTION
	WATER MAIN
	GAS MAIN
	STORM SEWER
	SANITARY SEWER
	OVERHEAD UTILITY
	FENCE
XX.XX	SPOT ELEVATIONS
	CONTOUR
	VALVE VAULT
	STORM CATCH BASIN
	STORM INLET
	MANHOLE - OPEN LID
	MANHOLE - CLOSED LID
	SPECIAL CATCH BASIN/ DRYWELL
	TREE W/ SIZE
	BOLLARDS
	FIRE HYDRANTS
	UTILITY POLE
	HAND HOLE
	STREET SIGN
	86-12 CURB & GUTTER
	BARRIER CURB
	CONCRETE PAVEMENT
	GRAVEL
	ASPHALT PAVEMENT ONSITE



**KNIGHT**  
 Engineers & Architects  
 Knight E/A, Inc.  
 631 E. Boughton Road  
 Suite 205  
 Bolingbrook, IL 60440  
 Phone: (708) 342-1250  
 knightea.com

**PROJECT:**  
 ORLAND FIRE PROTECTION DISTRICT TRAINING FACILITY  
 10728 W. 163RD PLACE  
 ORLAND PARK, IL 60467  
**CLIENT:**  
 ORLAND FIRE PROTECTION DISTRICT  
 9790 W. 151ST. STREET  
 ORLAND PARK, IL 60462

- NOTES:**
1. THE EXISTING SITE CONDITIONS HAVE BEEN PROVIDED BY THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
  2. ALL EXISTING UTILITY SERVICES SHALL BE DISCONNECTED AND REMOVED IN ACCORDANCE WITH THE VILLAGE REQUIREMENTS.
  3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY DEMOLITION PERMITS PRIOR TO THE START OF CONSTRUCTION.
  4. THE USE OF VILLAGE HYDRANT(S) SHALL BE REQUIRED FOR THE PURPOSE OF CONTROLLING DUST AND OTHER AIRBORNE PARTICLES DURING THE DEMOLITION, CLEANING VEHICLES PRIOR TO LEAVING THE SITE, AND MAINTAINING THE PUBLIC WAYS FREE AND CLEAR OF DEBRIS AND ACCUMULATION OF DIRT AT ALL TIMES. THE USE OF A WATERING TRUCK IS ALSO PERMISSIBLE.
  5. THE TRENCH FOR THE REMOVED SANITARY SEWER WITHIN 10' OF THE FOOTPRINT OF THE VOLUME CONTROL FACILITY (VCF) SHALL BE BACKFILLED WITH CLAY UP TO THE BOTTOM ELEVATION OF THE VCF. CLAY PLUGS SHALL BE ADDED ON EITHER SIDE SO NO WATER CAN MIGRATE FROM THE TRENCH LINE OF THE OLD SANITARY SEWER.

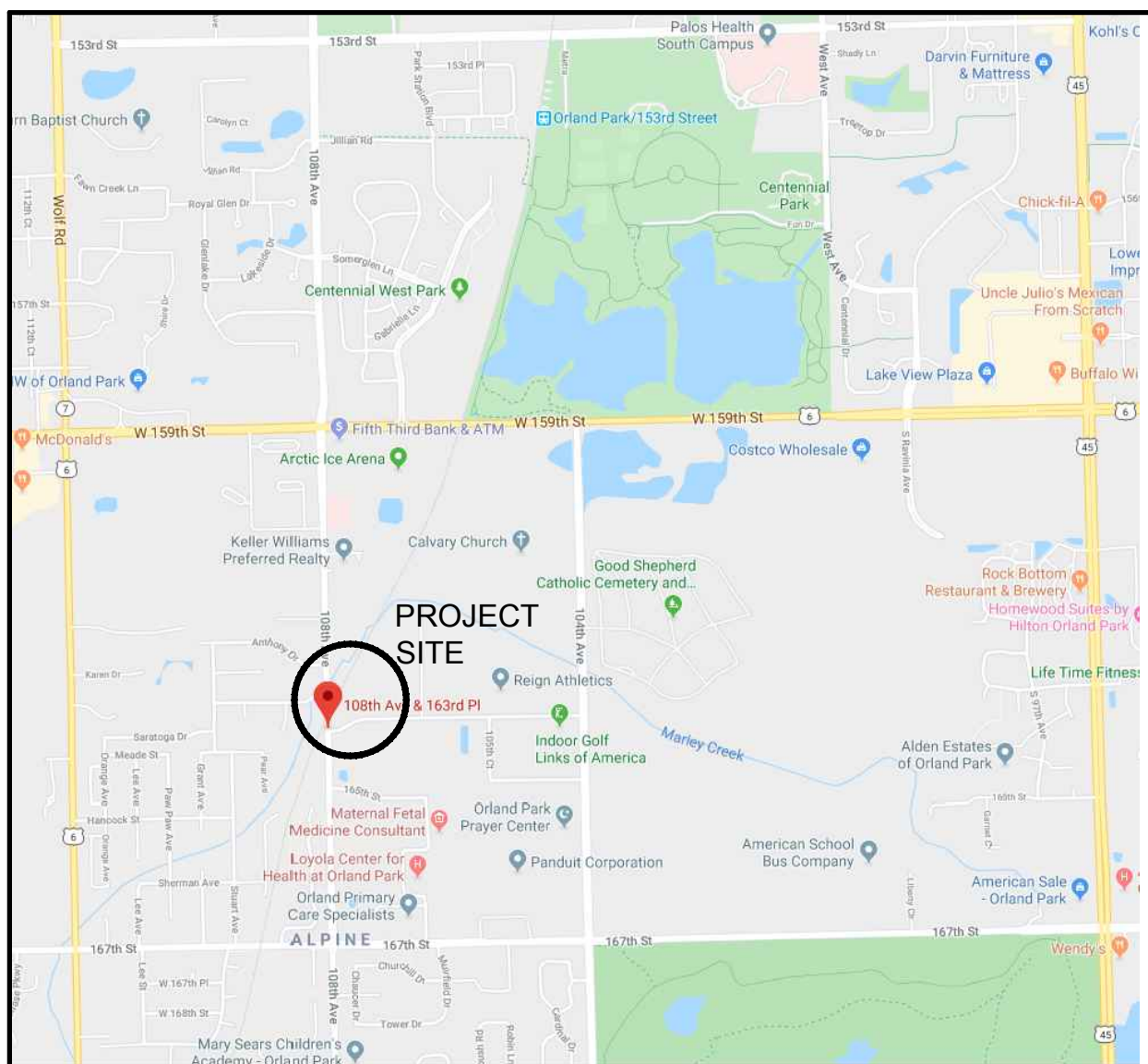
7-27-20 PER VILLAGE REVIEW (7-7)  
 6-9-20 PER VILLAGE REVIEW

**PRELIMINARY  
 SITE DEMO  
 PLAN**

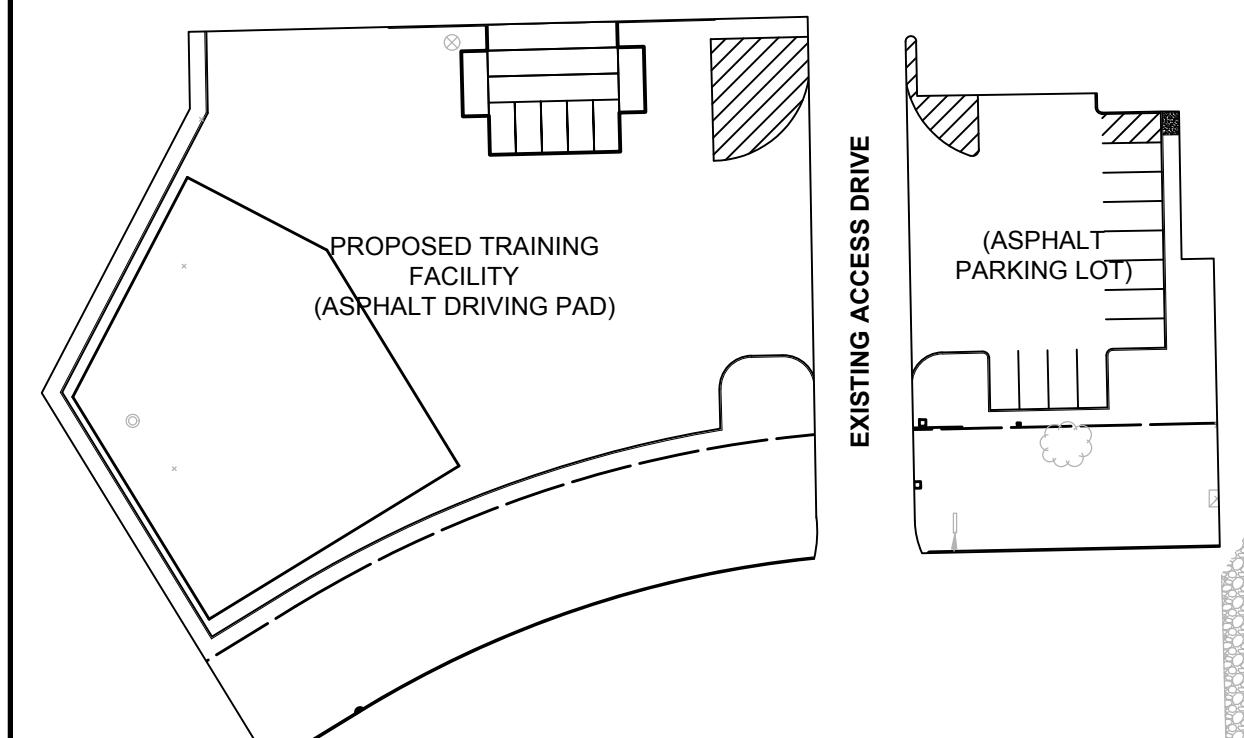
PROJECT #: 7208.06      DATE: 7-27-20

**CD-1.0**  
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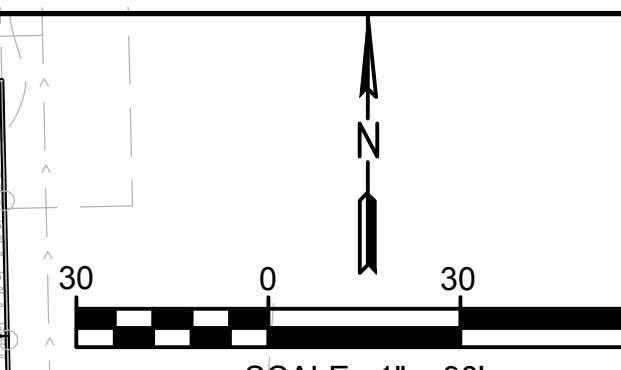
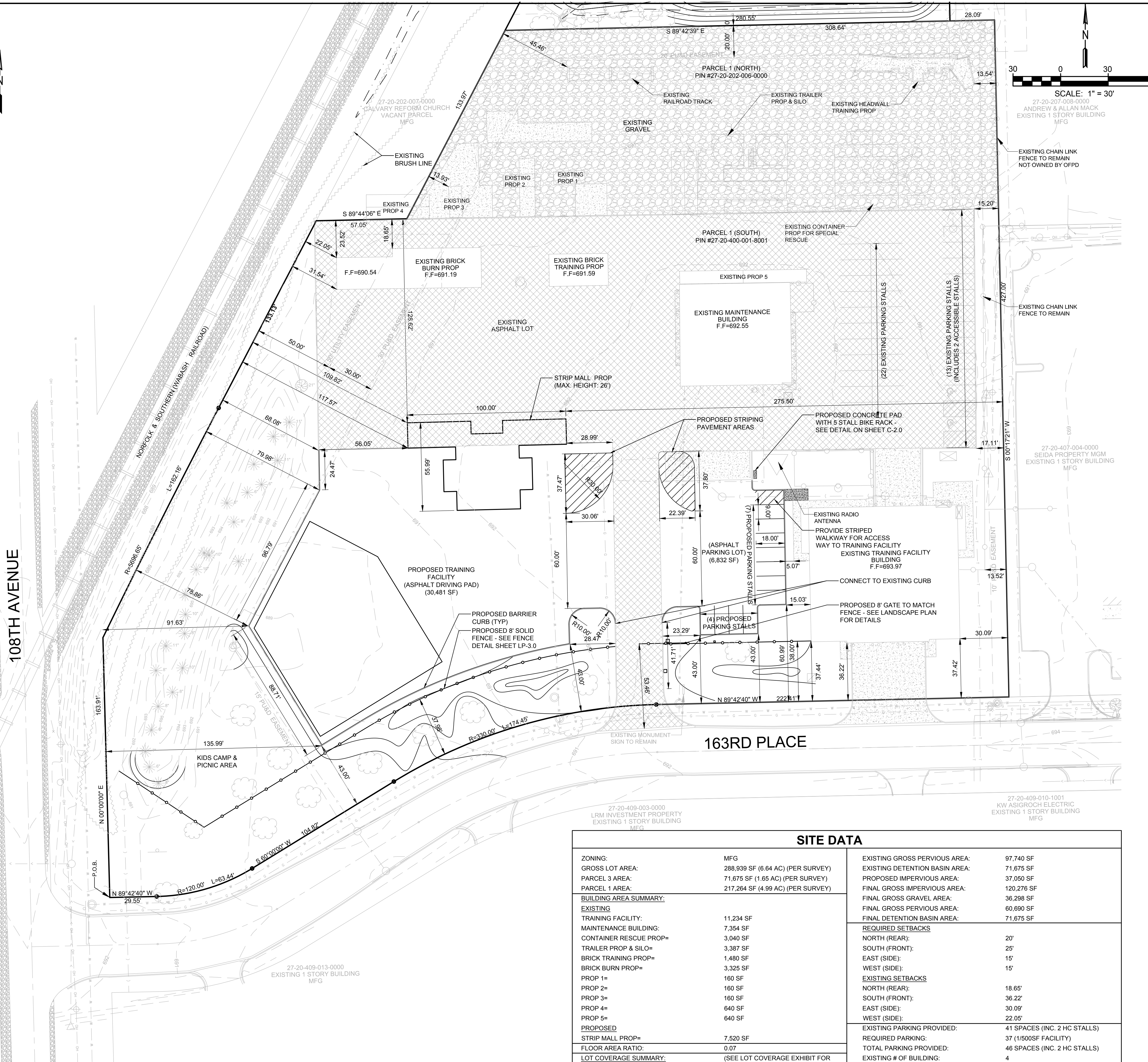
**LOCATION MAP**  
N.T.S.



**DEVELOPMENT AREA**  
N.T.S.

**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
		WATER MAIN
		GAS MAIN
		STORM SEWER
		SANITARY SEWER
		OVERHEAD UTILITY
		FENCE
		CONTOUR
		VALVE VAULT
		STORM CATCH BASIN
		STORM INLET
		MANHOLE - OPEN LID
		MANHOLE - CLOSED LID
		SPECIAL CATCH BASIN/ DRYWELL
		TREE W/ SIZE
		BOLLARDS
		FIRE HYDRANTS
		UTILITY POLE
		HAND HOLE
		STREET SIGN
		B6-12 CURB & GUTTER
		BARRIER CURB
		TOP CURB ELEVATION
		BOTTOM CURB ELEVATION
		CONCRETE PAVEMENT
		GRAVEL
		ASPHALT



**SITE DATA**

ZONING:	MFG	EXISTING GROSS PERVIOUS AREA:	97,740 SF
GROSS LOT AREA:	288,939 SF (6.64 AC) (PER SURVEY)	EXISTING DETENTION BASIN AREA:	71,675 SF
PARCEL 3 AREA:	71,675 SF (1.65 AC) (PER SURVEY)	PROPOSED IMPERVIOUS AREA:	37,050 SF
PARCEL 1 AREA:	217,264 SF (4.99 AC) (PER SURVEY)	FINAL GROSS IMPERVIOUS AREA:	120,276 SF
<b>BUILDING AREA SUMMARY:</b>		FINAL GROSS GRAVEL AREA:	36,298 SF
<b>EXISTING</b>		FINAL GROSS PERVIOUS AREA:	60,690 SF
TRAINING FACILITY:	11,234 SF	FINAL DETENTION BASIN AREA:	71,675 SF
MAINTENANCE BUILDING:	7,354 SF	<b>REQUIRED SETBACKS</b>	
CONTAINER RESCUE PROP#:	3,040 SF	NORTH (REAR):	20'
TRAILER PROP & SILO#:	3,387 SF	SOUTH (FRONT):	25'
BRICK TRAINING PROP#:	1,480 SF	EAST (SIDE):	15'
BRICK BURN PROP#:	3,325 SF	WEST (SIDE):	15'
PROP 1#:	160 SF	<b>EXISTING SETBACKS</b>	
PROP 2#:	160 SF	NORTH (REAR):	18.65'
PROP 3#:	160 SF	SOUTH (FRONT):	36.22'
PROP 4#:	640 SF	EAST (SIDE):	30.09'
PROP 5#:	640 SF	WEST (SIDE):	22.05'
<b>PROPOSED</b>		<b>EXISTING PARKING PROVIDED:</b>	
STRIP MALL PROP#:	7,520 SF	41 SPACES (INC. 2 HC STALLS)	
FLOOR AREA RATIO:	0.07	<b>REQUIRED PARKING:</b>	
<b>LOT COVERAGE SUMMARY:</b>		37 (1/600SF FACILITY)	
(SEE LOT COVERAGE EXHIBIT FOR GREEN SPACE CALCULATION)		<b>TOTAL PARKING PROVIDED:</b>	
EXISTING GROSS IMPERIOUS AREA:	83,226 SF	46 SPACES (INC. 2 HC STALLS)	
EXISTING GROSS GRAVEL AREA:	36,298 SF	<b>EXISTING # OF BUILDING:</b>	
		4	
		<b>BICYCLE PARKING REQUIRED:</b>	
		5 (3/1ST 30 SPACES + 1/10 SPACES)	
		<b>BICYCLE PARKING PROVIDED:</b>	
		5	

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10728 W. 163RD PLACE  
ORLAND PARK, IL 60467

**CLIENT:** ORLAND FIRE PROTECTION DISTRICT  
9790 W. 151ST. STREET  
ORLAND PARK, IL 60462

**PRELIMINARY SITE PLAN**

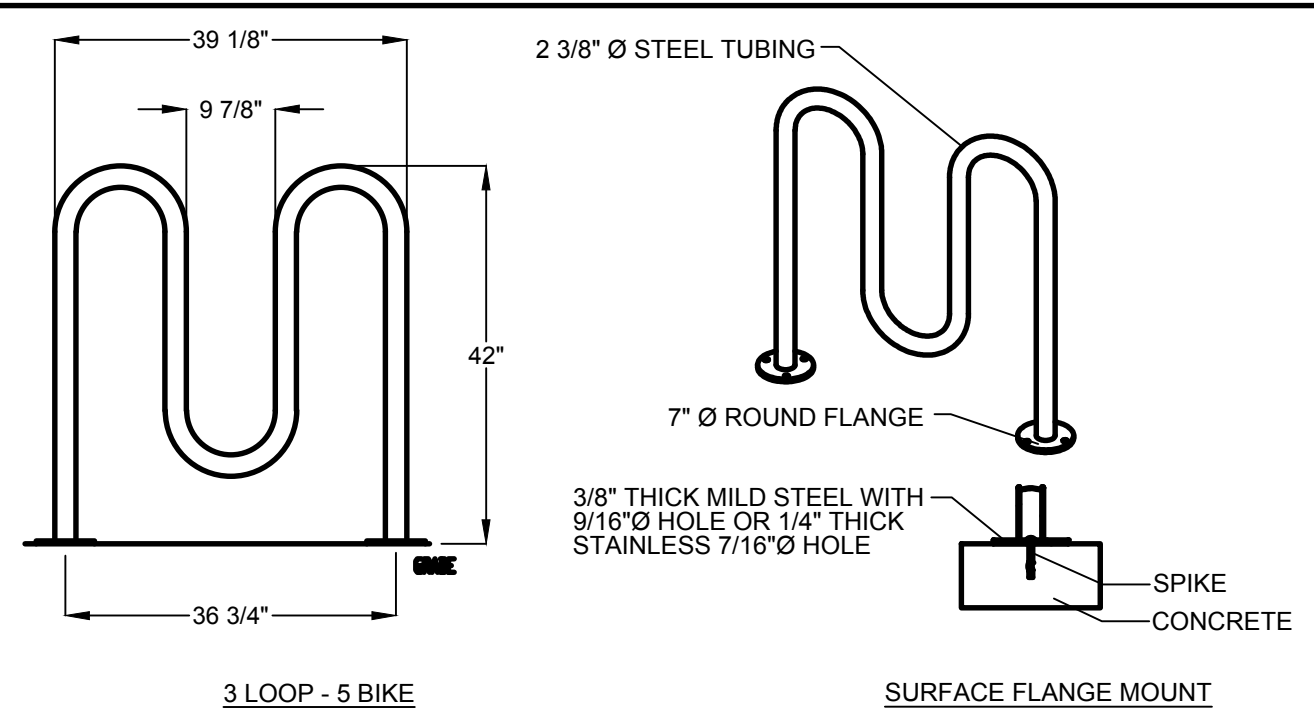
8-18-20	PER VILLAGE REVIEW (8-10)
7-27-20	PER VILLAGE REVIEW (7-7)
6-9-20	PER VILLAGE REVIEW

<b>PROJECT #:</b> 7208.06	<b>DATE:</b> 8-18-20
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**C-1.0**

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- NOTE:**
- PROVIDE 10 GA. BLACK POWDER COATED BIKE RACK WITH CAPACITY FOR (5) BICYCLES.
  - INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
  - SEE SITE PLAN FOR LOCATION.
  - BASIS OF DESIGN: PRODUCT: MADRAX HW238-5-IG(SF)

**BIKE RACK**  
N.T.S.

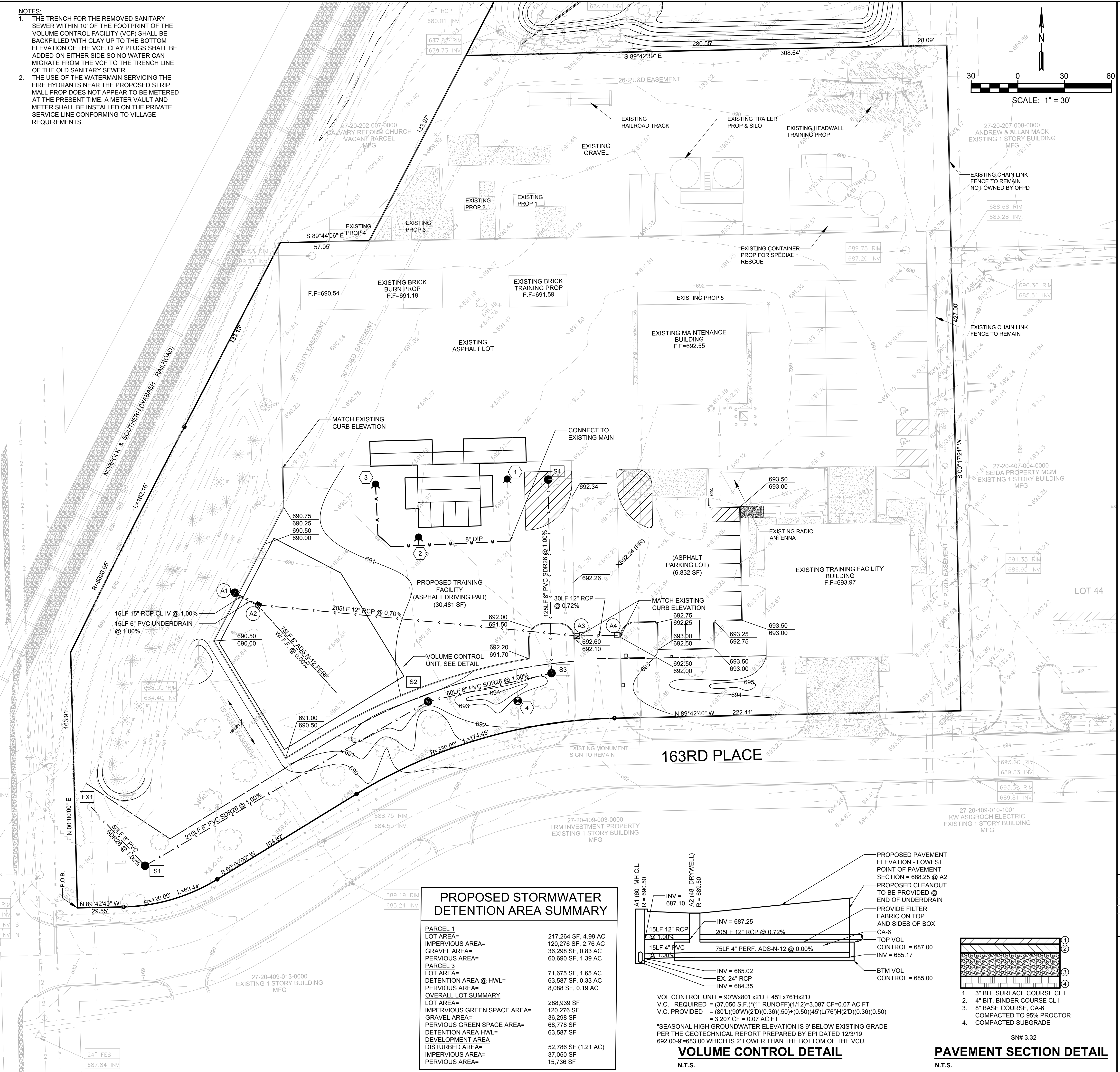
**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
---	---	WATER MAIN
---	---	GAS MAIN
---	---	STORM SEWER
---	---	SANITARY SEWER
---	---	UNDERDRAIN
---	---	OVERHEAD UTILITY
---	---	FENCE
xx.xx	xx.xx	SPOT ELEVATIONS
---	---	CONTOUR
⊗	⊗	VALVE VAULT
○	○	STORM CATCH BASIN
□	□	STORM INLET
○	○	MANHOLE - OPEN LID
○	○	MANHOLE - CLOSED LID
⊕	⊕	SPECIAL CATCH BASIN/ DRYWELL
○	○	TREE W/ SIZE
○	○	BOLLARDS
⊕	⊕	FIRE HYDRANTS
⊕	⊕	UTILITY POLE
⊕	⊕	HAND HOLE
⊕	⊕	STREET SIGN
---	---	B6-12 CURB & GUTTER
---	---	BARRIER CURB
---	---	TOP CURB ELEVATION
---	---	BOTTOM CURB ELEVATION
---	---	CONCRETE PAVEMENT
---	---	GRAVEL

STORM	SANITARY
A1 60" MANHOLE CL RIM = 690.50 INV = 685.02 (4" UNDERDRAIN) (SE) INV = 687.10 (12" RCP) (SE) INV = 684.35 (EX)(24")	EX1 EXISTING MANHOLE REMOVE AND PLUG EXISTING NE PIPE CONNECTION PROVIDE EXTERNAL DROP FOR NEW CONNECTION RIM = 691.46 INV = 670.56 (NE,S) INV = 680.35 (SE)(PR) INV = 671.25 (SE DROP)(PR)
A2 48" DRYWELL OL RIM = 689.50 INV = 684.50 (4" PVC UNDERDRAIN) (NW, NE, SE) INV = 687.25 (12" RCP) (NW)	S1 48" MANHOLE C.L. RIM = 692.25 INV = 680.85
A3 24" INLET OL RIM = 692.10 INV = 688.78	S2 48" MANHOLE C.L. RIM = 692.25 INV = 682.95
A4 24" INLET OL RIM = 692.00 INV = 689.00	S3 48" MANHOLE C.L. RIM = 692.50 INV = 683.75
WATER	S4 48" MANHOLE C.L. TO BE INSTALLED ONLINE OF EXISTING SEWER RIM = 692.35 INV = 685.00
1 PROPOSED FIRE HYDRANT FLANGE=692.25	
2 PROPOSED FIRE HYDRANT FLANGE=691.50	
3 PROPOSED FIRE HYDRANT FLANGE=691.50	
4 PROPOSED VAULT W/ WATER METER TO BE INSTALLED PER VILLAGE REQUIREMENTS R=693.00	

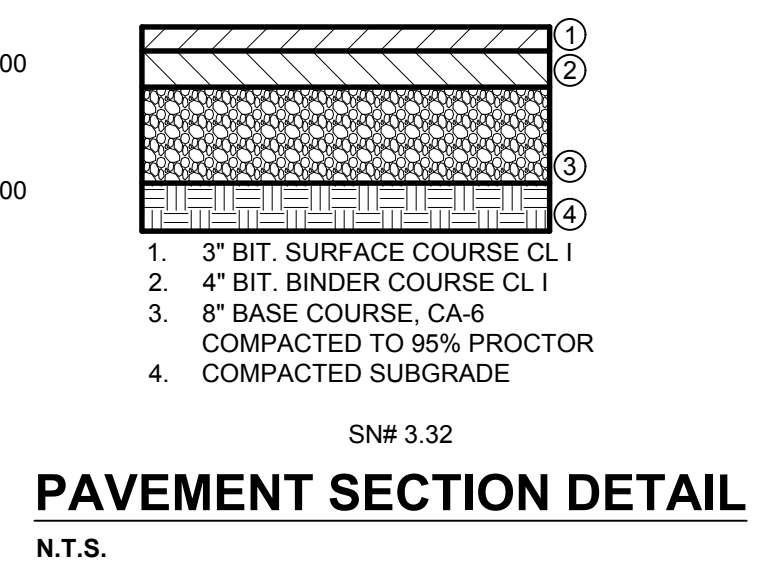
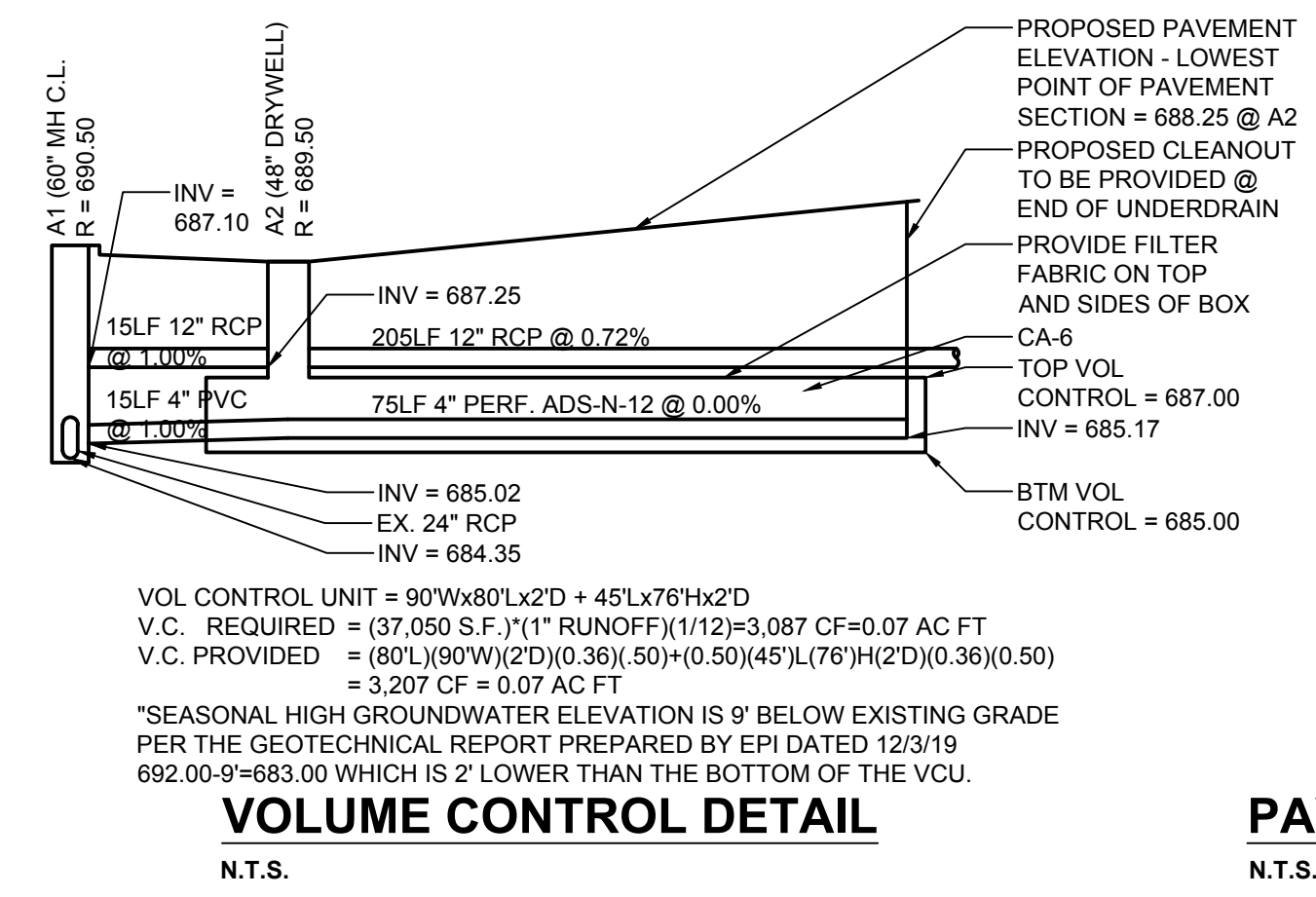
- NOTES:**
- THE TRENCH FOR THE REMOVED SANITARY SEWER WITHIN 10' OF THE FOOTPRINT OF THE VOLUME CONTROL FACILITY (VCF) SHALL BE BACKFILLED WITH CLAY UP TO THE BOTTOM ELEVATION OF THE VCF. CLAY PLUGS SHALL BE ADDED ON EITHER SIDE SO NO WATER CAN MIGRATE FROM THE VCF TO THE TRENCH LINE OF THE OLD SANITARY SEWER.
  - THE USE OF THE WATERMAIN SERVICING THE FIRE HYDRANTS NEAR THE PROPOSED STRIP MALL PROP DOES NOT APPEAR TO BE METERED AT THE PRESENT TIME. A METER VAULT AND METER SHALL BE INSTALLED ON THE PRIVATE SERVICE LINE CONFORMING TO VILLAGE REQUIREMENTS.

108TH AVENUE



**PROPOSED STORMWATER DETENTION AREA SUMMARY**

PARCEL 1	217,264 SF, 4.99 AC
LOT AREA=	217,264 SF, 4.99 AC
IMPERVIOUS AREA=	120,276 SF, 2.76 AC
GRAVEL AREA=	36,298 SF, 0.83 AC
PERVIOUS AREA=	60,690 SF, 1.39 AC
PARCEL 3	71,675 SF, 1.65 AC
LOT AREA=	71,675 SF, 1.65 AC
DETECTION AREA @ HWL=	63,587 SF, 0.33 AC
PERVIOUS AREA=	8,088 SF, 0.19 AC
OVERALL LOT SUMMARY	
LOT AREA=	288,939 SF
IMPERVIOUS GREEN SPACE AREA=	120,276 SF
GRAVEL AREA=	36,298 SF
PERVIOUS GREEN SPACE AREA=	68,778 SF
DETECTION AREA @ HWL=	63,587 SF
DEVELOPMENT AREA	52,786 SF (1.21 AC)
DISTURBED AREA=	37,050 SF
IMPERVIOUS AREA=	15,736 SF



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CLIENT: **ORLAND FIRE PROTECTION DISTRICT**  
9790 W. 151ST. STREET  
ORLAND PARK, IL 60462

7-27-20 PER VILLAGE REVIEW (7-7)  
6-9-20 PER VILLAGE REVIEW

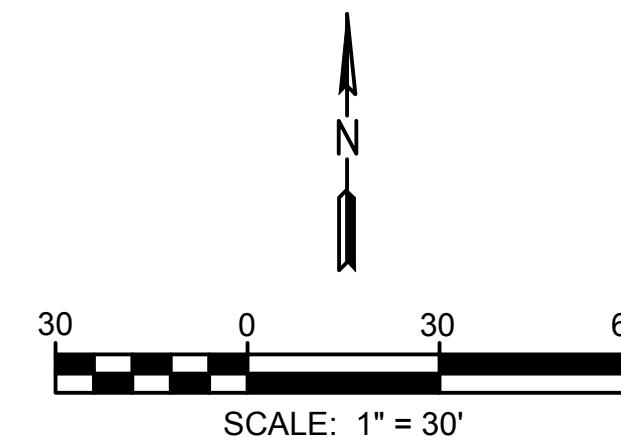
**PRELIMINARY ENGINEERING PLAN**

PROJECT #: 7208.06 DATE: 7-27-20

**C-2.0**

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7-27-20 PER VILLAGE REVIEW (7-7)  
 6-9-20 PER VILLAGE REVIEW

**PRELIMINARY  
 ENGINEERING  
 DETENTION  
 BASIN**

PROJECT #: 7208.06 DATE: 7-27-20

**C-2.1**

DETENTION SUMMARY	
EXISTING BASIN VOLUME:	5.48 AC. FT.
EXISTING DETENTION REQUIRED:	6.442 AC. FT.
PROPOSED DETENTION REQ.:	0.42 AC. FT. (FOR IMPROVEMENTS)
PROPOSED VOLUME CONTROL REQ.:	0.07 AC. FT. (FOR IMPROVEMENTS)
PROPOSED DETENTION REQ.:	0.40 AC. FT. (* FUTURE DEVELOPMENT)
PROPOSED VOLUME CONTROL REQ.:	0.07 AC. FT. (* FUTURE DEVELOPMENT)
TOTAL DETENTION REQ.:	7.262 AC. FT.
TOTAL VOL. CONTROL REQ.:	0.14 AC. FT.
DETENTION PROVIDED:	
(IN BASIN)	7.17 AC. FT.
(IN VOL. CONTROL)	0.06 AC. FT.
(IN VOL. CTRL. - * FUTURE)	0.06 AC. FT.
TOTAL PROVIDED:	7.29 AC. FT.
VOLUME CONTROL PROVIDED:	
(FOR IMPROVEMENTS)	0.07 AC. FT.
(* FUTURE DEVELOPMENT)	0.07 AC. FT.
TOTAL PROVIDED:	0.14 AC. FT.
*ADDITIONAL DETENTION PROVIDED TO ACCOMMODATE FUTURE DEVELOPMENT OF 10704 163RD PLACE, PIN# 27-20-407-001-0000	
HWL=688.00	
EXISTING MWRD PERMIT# 89-757, RL91-005, 09-014	

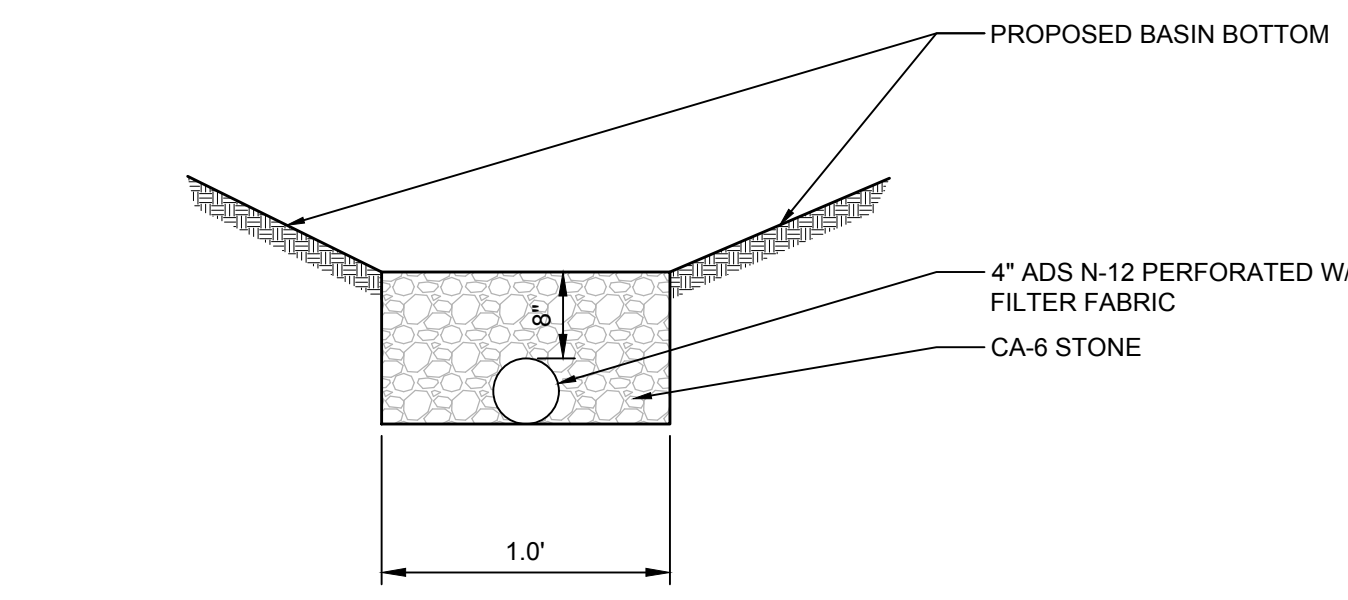
STORAGE CALCULATION				
ELEVATION (FT)	AREA (FT <sup>2</sup> )	VOLUME (FT <sup>3</sup> )	COM. VOL. (FT <sup>3</sup> )	TOTAL VOL. (AC. FT)
682	41,854	0	0	
683	44,816	43,335	43,335	
684	47,833	46,325	89,660	
685	51,614	49,724	139,384	
686	55,519	53,566	192,950	
687	59,614	57,566	250,516	
688	64,645	62,130	313,646	7.17

**STORM**

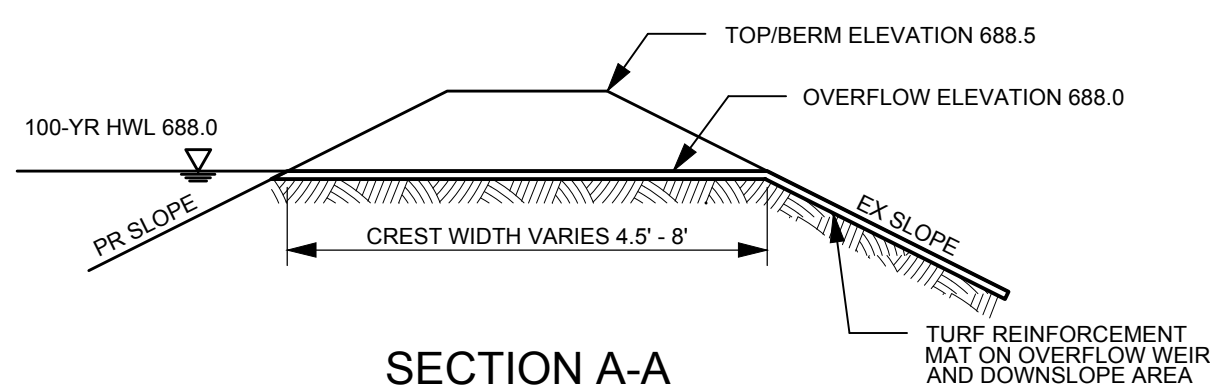
- (EX) EXISTING F.E.S.  
INV = 680.01 (24")
- (EX2) EXISTING MANHOLE C.L.  
RIM = 687.53  
INV = 679.73 (24" E.W.)
- (EX3) EXISTING MANHOLE W/  
RESTRICTOR (8.7" ORIFICE)  
RIM = 687.76  
INV = 679.76 (12" W)  
INV = 679.98 (24" N)  
INV = 681.76 (24" S)  
INV = 684.01 (24" S)  
INV = 680.00 (4" UNDERDRAIN)
- (EX4) EXISTING F.E.S.  
INV = 680.42 (24")

**NOTES:**

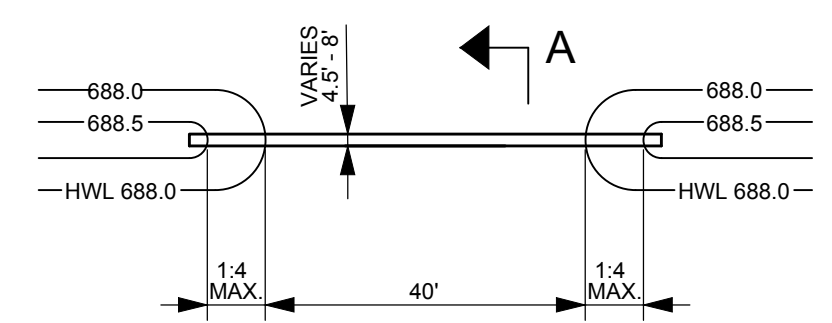
1. THE BASIN SEED MIX SHALL BE INSTALLED WITHIN THE DISTURBED AREA OF THE BASIN. SEE SEED MIX SPECIFICATIONS AS PROVIDED FOR ON THE LANDSCAPE PLAN. AN EROSION CONTROL BLANKET SHALL BE INSTALLED WITH THE BASIN SEEDING.



**UNDERDRAIN DETAIL**



**SECTION A-A**



**PLAN VIEW**

**OVERFLOW WEIR DETAIL**

LIMITS OF FLOODWAY & FLOODPLAIN (BY BASE FLOOD ELEVATION)

TURF REINFORCEMENT MAT - SEE OVERFLOW WEIR DETAIL

688.0 OVERFLOW WEIR ELEVATION - SEE DETAIL THIS SHEET

EXISTING BOX CULVERT

DETENTION BASIN (TO BE MODIFIED & SEEDED PER LANDSCAPE PLAN)  
 HWL=688.00  
 EX. VOL=5.48 AC. FT.  
 PR. VOL=7.17 AC. FT.

4" UNDERDRAIN IN TRENCH  
 INV = 680.26  
 TOP OF TRENCH = 681.26

LIMITS OF FLOODPLAIN (HYDRAULICALLY CONNECTED TO MARLEY CREEK)

END EXPOSED STONE TRENCH - SWITCH TO SOLID WALL UNDERDRAIN WITH 6" CA-6 BACKFILL & 2" SOIL/SEED MIX. EXTEND PIPE TO EX3 AND CONNECT INV=680.11  
 TOP OF TRENCH=681.11  
 CONNECT UNDERDRAIN TO EXISTING STRUCTURE

45 LF 4" ADS UNDERDRAIN @ 0.25% SLOPE

EXISTING RAILROAD TRACK

EXISTING TRAILER PROP & SILO

EXISTING HEADWALL TRAINING PROP

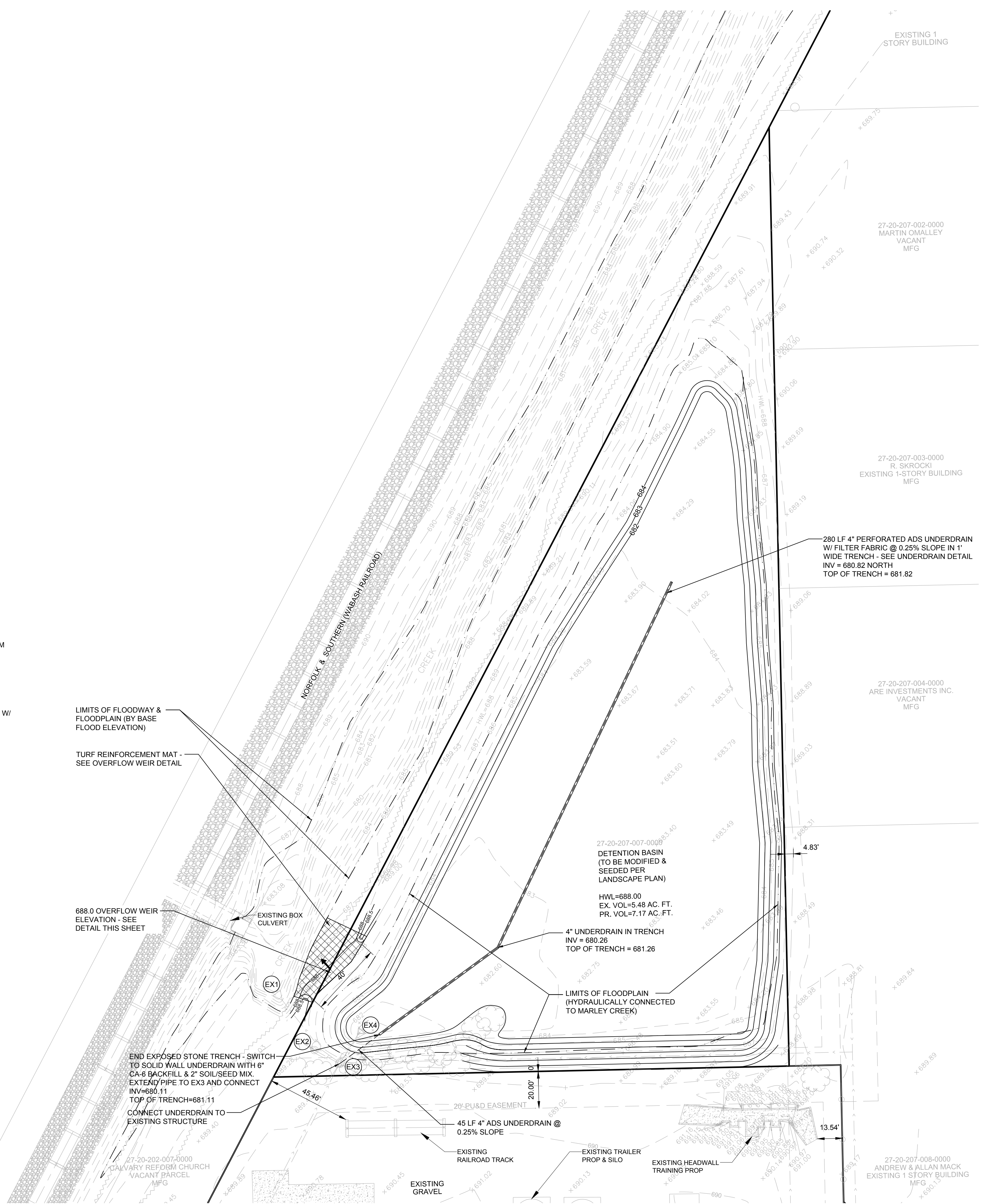
27-20-207-008-0000 ANDREW & ALLAN MACK EXISTING 1-STORY BUILDING MFG

27-20-207-004-0000 ARE INVESTMENTS INC. VACANT MFG

27-20-207-003-0000 R. SKROCKI EXISTING 1-STORY BUILDING MFG

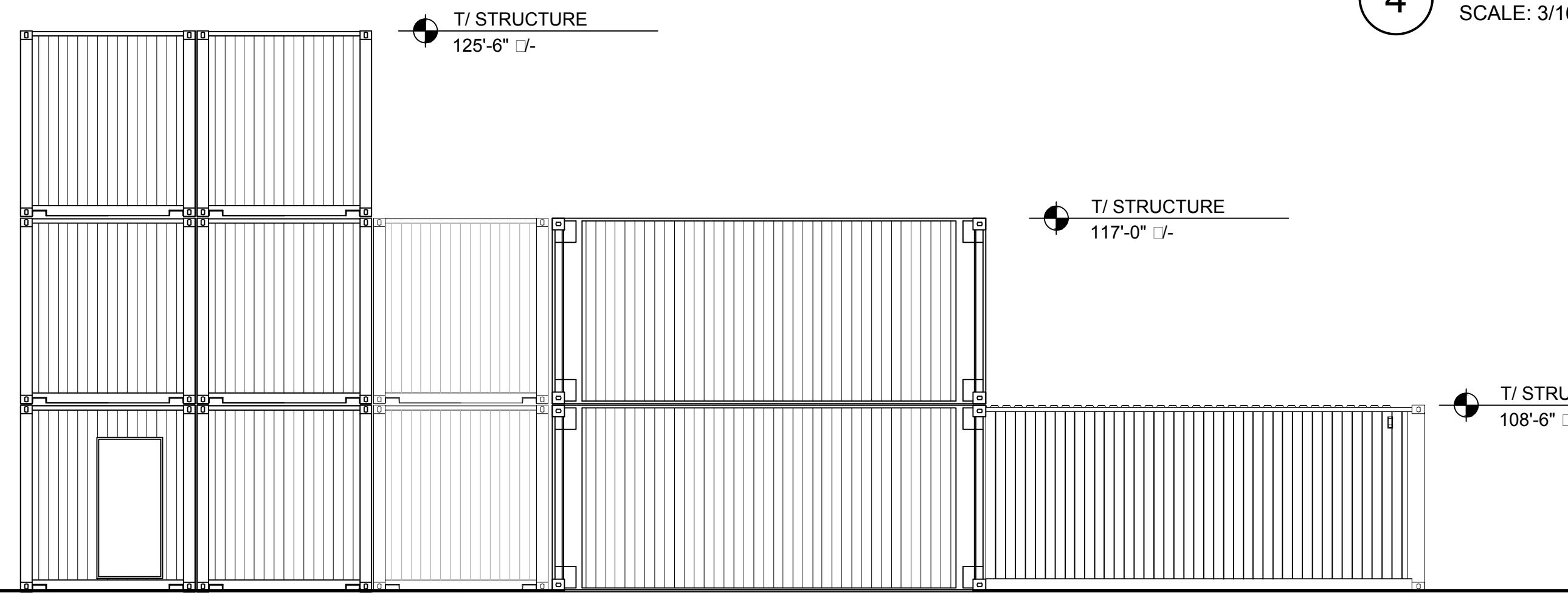
27-20-207-002-0000 MARTIN O'MALLEY VACANT MFG

EXISTING 1-STORY BUILDING

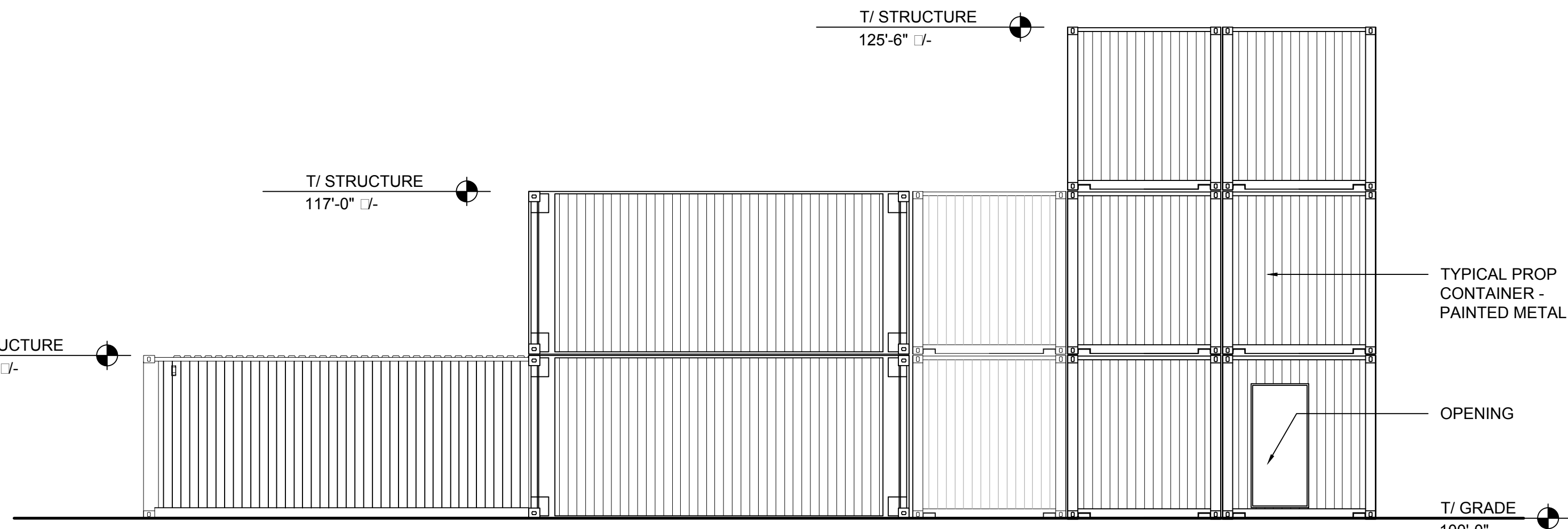




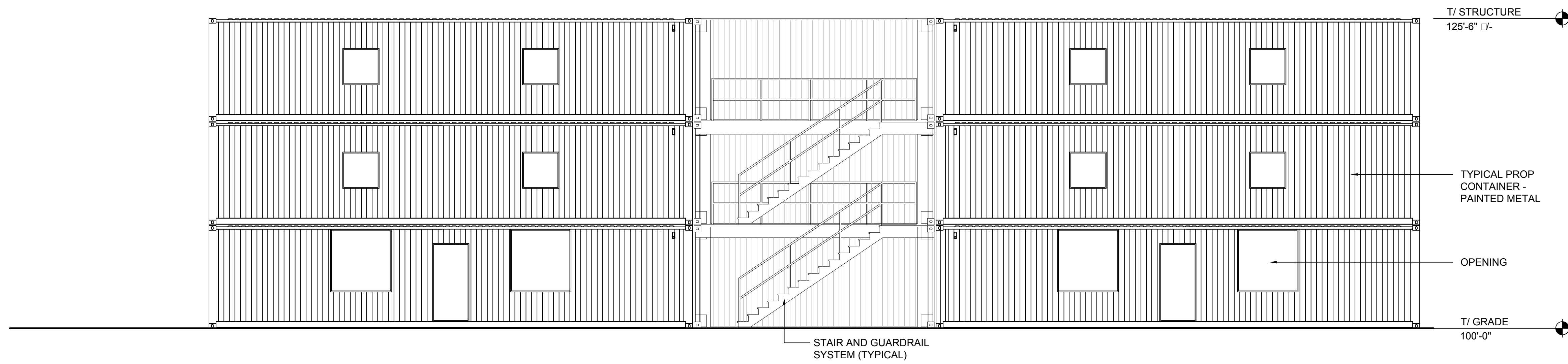
**4 SOUTH ELEVATION**  
 SCALE: 3/16" = 1'-0"



**3 WEST ELEVATION**  
 SCALE: 3/16" = 1'-0"



**2 EAST ELEVATION**  
 SCALE: 3/16" = 1'-0"



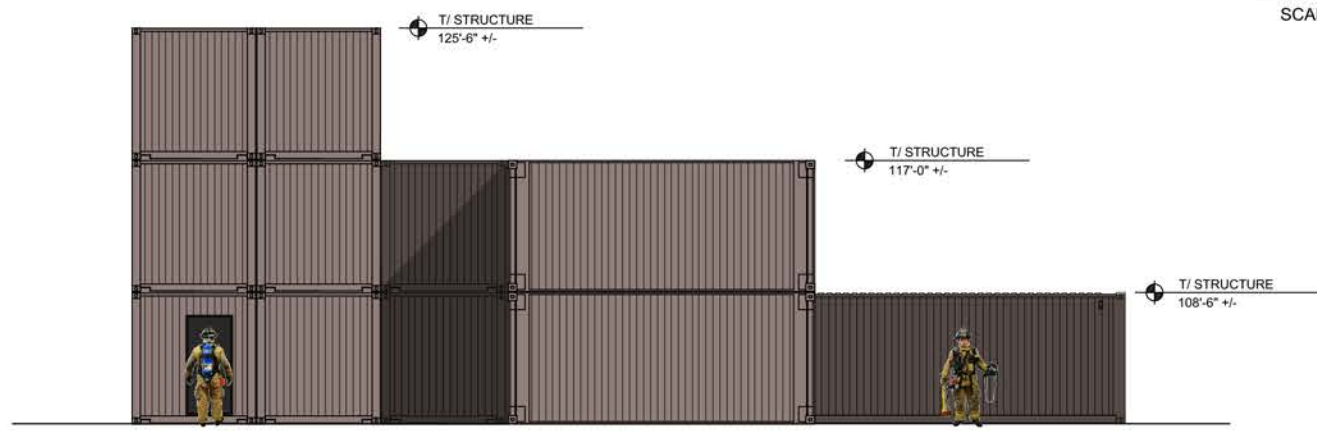
**1 NORTH ELEVATION**  
 SCALE: 3/16" = 1'-0"

NOTES:  
 1. CONTAINER PROP COLOR TO MATCH EXISTING CONTAINER PROP COLOR. (BON ETONE BY SHERWIN WILLIAMS)



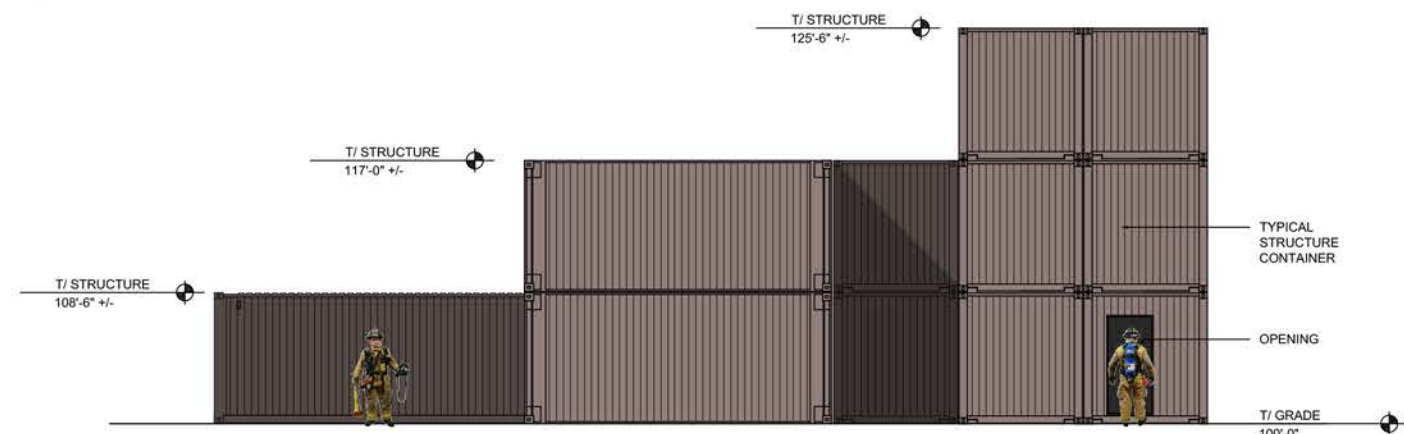
**SOUTH ELEVATION**

SCALE: N.T.S.



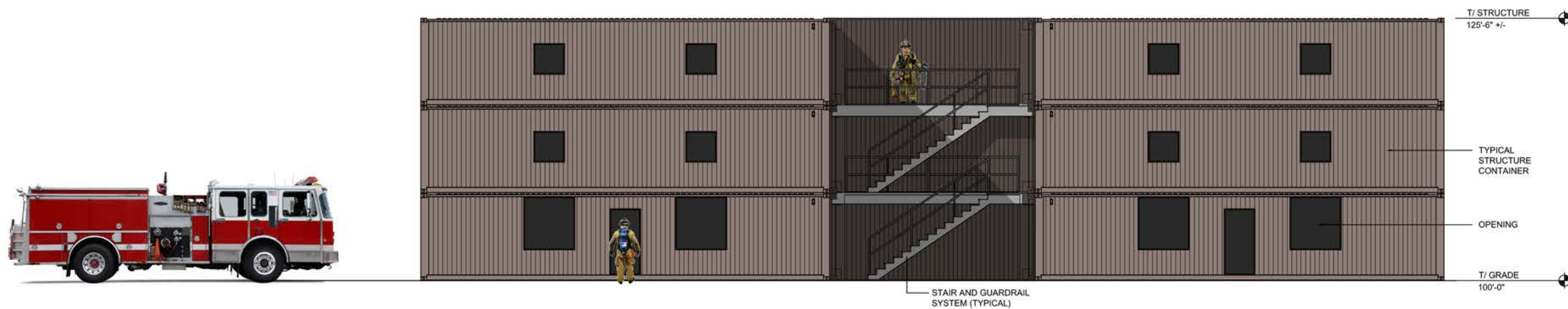
**WEST ELEVATION**

SCALE: N.T.S.



**EAST ELEVATION**

SCALE: N.T.S.



**NORTH ELEVATION**

SCALE: N.T.S.



# Special Use Standards

---

**Orland Fire Protection District-Training Facility**

August 18, 2020

## Request 1

Amendment to the Special Use Permit (Ordinance No. 1544 & 4461). For a Planned Development to allow for multiple buildings on a single lot and to allow for Outdoor Storage that does not meet the requirements of Section 6-208.B.12. Per Section 6-208.B12 (Permitted Uses in the MFG Manufacturing District), outdoor storage is listed as a permitted use if it meets the following: "Outside Storage, when the storage area does not exceed fifty percent (50%) of the area of the lot, is located at the rear of the principal building, is screened on all sides, and the height of the stored materials, equipment or vehicles does not exceed the height of the screening."

Response:

1. The special use will be consistent with the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations.

The special use is consistent with the purpose, goals and objectives and standards of the Comprehensive plan by providing a unique, educational opportunity for primary emergency responders (firefighters, EMS, Police, Health Care workers) and secondary responders (public works, local administrators, private industry) in a realistic, relevant, and repeatable training experience in a state of the art regional training facility. The purpose of the amendment is to update the previous approved special use for this site to allow additional training props in an outdoor setting to proficiently train emergency providers and public servants. These props and the training techniques provided by the instructors at this facility serve as real life repeatable experiences and provide the necessary certifications classes for not only the Village's emergency responders, but also the Village's neighboring towns.

2. The special use will be consistent with the community character of the immediate vicinity of the parcel for development.

The amendment to the special use is consistent with the community character of the immediate vicinity of the parcel for development. The OFPD training facility is located in MFG District where they have operated for numerous years providing training classes and real life emergency situations to emergency responders thru the use of their outdoor storage area and props. In addition, outdoor storage areas and accessories structures can be found on neighboring properties and this amendment will not have a negative impact or create a burden for the surrounding properties.

3. The design of the proposed use will minimize adverse effect, including visual impacts on adjacent properties.

The design the of proposed use minimizes adverse effects, including visual impacts on adjacent properties because the development has incorporated an eight foot high solid fence with extensive

landscape screening along the 163<sup>rd</sup> Street frontage. There is also an existing tree line and a berm located along the west portion of the training facility lot. This berm currently contains multiple large evergreens and will be enhanced with canopy trees and smaller landscape plantings to provide more than adequate screening for the outdoor storage and props.

4. The proposed use will not have an adverse effect on the value of the adjacent property.

The proposed use of the amendment request will not have an adverse effect on the value of the adjacent property as the location of the outdoor storage area and multiple buildings is adjacent to the rear of the property to the east, is bordered by the railroad to the west and is screened with a solid fence and landscaping for the property located across 163<sup>rd</sup> Street to the south.

5. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service.

The amendment to the special use will not create additional burden on the public facilities and services provided by the Village as no additional public utilities are being requested. In addition, the request will not create a need for the use of hospitals, schools, and the like. If anything, the proposed use of the overall development will enhance the services that are provided by the Village by providing additional training opportunities for the Village's emergency response team to more adequately serve the business owners and residents of the Village and surrounding areas.

6. The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development.

The OFPD has made the necessary legal provision to guarantee the provision and development of the required open space by meeting the lot coverage requirements for the overall site and of the landscaping site improvements as required per the Village's ordinance for the subject property excluding the amendment request as noted.

7. The development will not adversely affect a known archaeological, historical or cultural resource.

To the best of our knowledge, the development will not adversely affect a known archaeological, historical or cultural resource.

8. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

The amendment to the special use request will comply with all additional standards imposed on it by the provisions of these regulations and by all other requirements of the Village's ordinance. In addition, the owner of the subject property will adhere to all applicable Village ordinances and requirements.

## Request 2

Number of Parking Spaces. Increase the number of parking spaces from thirty-seven (37) to forty-six (46) spaces (Section 6-306.B)

Response:

1. The special use will be consistent with the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations.

The special use is consistent with the purpose, goals and objectives and standards of the Comprehensive plan by providing a unique, educational opportunity for primary emergency responders (firefighters, EMS, Police, Health Care workers) and secondary responders (public works, local administrators, private industry) in a realistic, relevant, and repeatable training experience in a state of the art regional training facility. The purpose of this special use is to provide additional parking along the existing Training Building for times of high usage activities at the facility. The site currently contains forty-one parking stalls and is proposing an additional five stalls to be located in the eastern portion of the new lot. The daily needs of the site are six parking stalls to account for the site's employees. However, on days of high usage when training sessions take place, the need for parking is dramatically increased and the additional parking stalls are required to meet this demand so that overflow parking does not occur on the side streets within the area. The parking stalls have been located to provide closer access to the Training Facility's entrance and have been located outside of the training limit areas where classes may take place. In addition, these onsite stalls will be screened with an eight foot fence and landscaping. Because of their location and screening, any negative impacts on the neighboring properties will be reduced. The OFPD requests relief on this requirement to provide the added benefits that the proposed facility offers to the residents of the Village and the surrounding communities.

2. The special use will be consistent with the community character of the immediate vicinity of the parcel for development.

The special use is consistent with the community character of the immediate vicinity of the parcel for development since the OFPD training facility is located in MFG District and the additional parking will not have any negative impact or create a burden for the surrounding properties.

3. The design of the proposed use will minimize adverse effect, including visual impacts on adjacent properties.

The design the of proposed use minimizes adverse effects, including visual impacts on adjacent properties because the development has incorporated an eight foot high solid fence with extensive landscape screening along the 163<sup>rd</sup> Street frontage. The spaces have also been located so that the Training Facility building will screen the stalls from the east and the existing landscape berm will screen the stalls from the west.

4. The proposed use will not have an adverse effect on the value of the adjacent property.

The proposed use will not have an adverse effect on the value of the adjacent property as the location of the additional parking request is not directly adjacent to the neighboring property to the east, is

bordered by the railroad to the west and is screened with a solid fence and landscaping for the property located across 163<sup>rd</sup> Street to the south.

5. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service.

The special use request will not create additional burden on the public facilities and services provided by the Village as no additional public utilities are being requested. In addition, the request will not create a need for the use of hospitals, schools, and the like. If anything, the proposed use of the overall development will enhance the services that are provided by the Village by providing additional training opportunities for the Village's emergency response team to more adequately serve the business owners and residents of the Village and surrounding areas.

6. The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development.

The OFPD has made the necessary legal provision to guarantee the provision and development of the required open space by meeting the lot coverage requirements for the overall site and of the landscaping site improvements as required per the Village's ordinance for the subject property excluding the increase in the number of parking spaces as noted within this special use request.

7. The development will not adversely affect a known archaeological, historical or cultural resource.

To the best of our knowledge, the development will not adversely affect a known archaeological, historical or cultural resource.

8. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

The proposed special use will comply with all additional standards imposed on it by the provisions of these regulations and by all other requirements of the Village's ordinance. In addition, the owner of the subject property will adhere to all applicable Village ordinances and requirements.

### Request 3

Parking Between the Building and the Street. To allow for parking lot asphalt driving training pad to be located between the building façade and the street (Section 6-208.F.4).

Response:

1. The special use will be consistent with the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations.

The special use is consistent with the purpose, goals and objectives and standards of the Comprehensive plan by providing a unique, educational opportunity for primary emergency responders (firefighters, EMS, Police, Health Care workers) and secondary responders (public works, local administrators, private industry) in a realistic, relevant, and repeatable training experience in a state of the art regional training facility. The purpose of this special use is to provide the asphalt driving pad and strip mall prop area for additional course training in the areas regarding firetruck maneuverability and strip mall and apartment building rescue all of which are necessary in the training required to prepare for an emergency or disaster situation.

2. The special use will be consistent with the community character of the immediate vicinity of the parcel for development.

The special use is consistent with the community character of the immediate vicinity of the parcel for development since the OFPD training facility is located in MFG District and multiple properties within the business district provide parking areas between the building and the street.

3. The design of the proposed use will minimize adverse effect, including visual impacts on adjacent properties.

The design the of proposed use minimizes adverse effects, including visual impacts on adjacent properties as the site will incorporate a solid fence with extensive landscape screening along the 163<sup>rd</sup> Street frontage and an existing landscaped berm with established evergreens and proposed canopy trees to the west. The east side of the lot is buffered by the existing training facility building.

4. The proposed use will not have an adverse effect on the value of the adjacent property.

The proposed use will not have an adverse effect on the value of the adjacent property as the location of the parking request is not directly adjacent to the neighboring property to the east, is bordered by the railroad to the west and is screened with a solid fence and landscaping for the property located across 163<sup>rd</sup> Street to the south.

5. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service.

The special use request will not create additional burden on the public facilities and services provided by the Village as no additional public utilities are being requested. In addition, the request will not create a need for the use of hospitals, schools, and the like. If anything, the proposed use of the overall development will enhance the services that are provided by the Village by providing additional training opportunities for the Village's emergency response team to more adequately serve the business owners and residents of the Village and surrounding areas.

6. The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development.

The OFPD has made the necessary legal provision to guarantee the provision and development of the required open space by meeting the lot coverage requirements for the overall site and of the landscaping site improvements as required per the Village's ordinance for the subject property excluding the parking lot location as noted within this special use request.

7. The development will not adversely affect a known archaeological, historical or cultural resource.

To the best of our knowledge, the development will not adversely affect a known archaeological, historical or cultural resource.

8. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

The proposed special use will comply with all additional standards imposed on it by the provisions of these regulations and by all other requirements of the Village's ordinance. In addition, the owner of the subject property will adhere to all applicable Village ordinances and requirements.

#### Request 4

Outdoor Storage and Screening. To allow for outdoor storage to be partially screened from view, to exceed the height of the screening, and be located to the sides and rear of the principal buildings (Section 6-302.I; Section 6-208.H; Section 6-308.J)

Response:

1. The special use will be consistent with the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations.

The special use is consistent with the purpose, goals and objectives and standards of the Comprehensive plan by providing a unique, educational opportunity for primary emergency responders (firefighters, EMS, Police, Health Care workers) and secondary responders (public works, local administrators, private industry) in a realistic, relevant, and repeatable training experience in a state of the art regional training facility. Such items that are located in the outdoor storage special use request will be the proposed strip mall prop, the existing special rescue prop, the existing burn prop and multiple other smaller props which are all necessary in the training required to prepare for an emergency or disaster situation.

2. The special use will be consistent with the community character of the immediate vicinity of the parcel for development.

The special use is consistent with the community character of the immediate vicinity of the parcel for development since the OFPD training facility is located in MFG District and multiple properties with the business district provide outdoor storage on their lots in a similar manner presented.

3. The design of the proposed use will minimize adverse effect, including visual impacts on adjacent properties.

The design the of proposed use minimizes adverse effects, including visual impacts on adjacent properties as the outdoor storage area has a natural tree/brush barrier and existing berm with evergreens to the west along the railroad; is bounded to the east by an existing fenced outdoor storage area; and buffered to the north by the existing detention basin. Along the south side of the site which abuts 163<sup>rd</sup> Street, the design incorporates a new solid fence with extensive landscape screening.

4. The proposed use will not have an adverse effect on the value of the adjacent property.

The proposed use will not have an adverse effect on the value of the adjacent property as the location of the outdoor storage is similar to the existing use of the adjacent property to the east; is bordered by the railroad to the west; and is screened with a solid fence and landscaping for the property located across 163<sup>rd</sup> Street to the south.

5. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service.

The special use request will not create additional burden on the public facilities and services provided by the Village as no additional public utilities are being requested. In addition, the request will not create a need for the use of hospitals, schools, and the like. If anything, the proposed use of the overall development will enhance the services that are provided by the Village by providing additional training opportunities for the Village's emergency response team to more adequately serve the business owners and residents of the Village and surrounding areas.

6. The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development.

The OFPD has made the necessary legal provision to guarantee the provision and development of the required open space by meeting the lot coverage requirements for the overall site and of the landscaping site improvements as required per the Village's ordinance for the subject property excluding the height of the screening and the location of the outdoor storage as noted within this special use request.

7. The development will not adversely affect a known archaeological, historical or cultural resource.

To the best of our knowledge, the development will not adversely affect a known archaeological, historical or cultural resource.

8. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

The proposed special use will comply with all additional standards imposed on it by the provisions of these regulations and by all other requirements of the Village's ordinance. In addition, the owner of the subject property will adhere to all applicable Village ordinances and requirements.



## Request 5

Building Material. To allow for a three-story training prop to be constructed of metal shipping containers instead of the required anchored brick, stone or similar masonry materials extending from the adjacent grade to the top of each story with minor accents allowed in place of masonry subject to meeting building codes (Section 6-308.F)

Response:

1. The special use will be consistent with the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations.

The special use is consistent with the purpose, goals and objectives and standards of the Comprehensive plan by providing a unique, educational opportunity for primary emergency responders (firefighters, EMS, Police, Health Care workers) and secondary responders (public works, local administrators, private industry) in a realistic, relevant, and repeatable training experience in a state of the art regional training facility. The use of shipping containers for the construction of the proposed strip mall prop has become extremely popular over the last decade because of their flexibility in the overall design and layout of the intended use of the structure. They are also a cost-efficient method for providing a structural training prop funded by state and federal grant dollars.

2. The special use will be consistent with the community character of the immediate vicinity of the parcel for development.

The special use is consistent with the community character of the immediate vicinity of the parcel for development since the OFPD training facility is located in MFG District of the Village. This type of structure is unique to the Village, but meets the intent of the districts regulations.

3. The design of the proposed use will minimize adverse effect, including visual impacts on adjacent properties.

The design the of proposed use minimizes adverse effects, including visual impacts on adjacent properties as the site will incorporate a solid fence with extensive landscape screening along the 163<sup>rd</sup> Street frontage and an existing landscaped berm with established evergreens to the west. The east side of the lot is buffered by the existing training facility building.

4. The proposed use will not have an adverse effect on the value of the adjacent property.

The proposed use will not have an adverse effect on the value of the adjacent property because the requested material is located on neighboring properties within the business district and the proposed container prop will be painted with an earth tone color that compliments the existing structures currently onsite. In addition, eight foot solid fencing and landscape screening will be provided to buffer the neighboring properties to the south.

5. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service.

The special use request will not create additional burden on the public facilities and services provided by the Village as no additional public utilities are being requested. In addition, the request will not create a need for the use of hospitals, schools, and the like. If anything, the proposed use of the overall development will enhance the services that are provided by the Village by providing additional training opportunities for the Village's emergency response team to more adequately serve the business owners and residents of the Village and surrounding areas.

6. The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development.

The OFPD has made the necessary legal provision to guarantee the provision and development of the required open space by meeting the lot coverage requirements for the overall site and of the landscaping site improvements as required per the Village's ordinance for the subject property excluding the building material modification as noted within this special use request.

7. The development will not adversely affect a known archaeological, historical or cultural resource.

To the best of our knowledge, the development will not adversely affect a known archaeological, historical or cultural resource.

8. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

The proposed special use will comply with all additional standards imposed on it by the provisions of these regulations and by all other requirements of the Village's ordinance. In addition, the owner of the subject property will adhere to all applicable Village ordinances and requirements.

## Request 6

Detention Pond Setbacks and Landscape Area. Reduce the required detention pond setback and landscape area from twenty-five (25) feet to as little as zero (0) feet (Sections 6-409.E.18.d; Section 6-412.D.1; Section 6-305.D.8)

Response:

1. The special use will be consistent with the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations.

The special use is consistent with the purpose, goals and objectives and standards of the Comprehensive plan by providing a unique, educational opportunity for primary emergency responders (firefighters, EMS, Police, Health Care workers) and secondary responders (public works, local administrators, private industry) in a realistic, relevant, and repeatable training experience in a state of the art regional training facility. In order to provide such a facility, the Village's Land Development Code requires that stormwater detention with required pond setbacks and a landscape be provided for the proposed development area. To meet those requirements, the existing basin needs to be significantly modified, but due to the limitations of the parcel and the existing site conditions, those requirements cannot reasonably be met within the parameters of this development. The OFPD requests relief on such requirements to provide the added benefits that the proposed facility offers to the residents of the Village and the surrounding communities.

2. The special use will be consistent with the community character of the immediate vicinity of the parcel for development.

The special use is consistent with the community character of the immediate vicinity of the parcel for development since this is the detention basin that was designed with the original 35 acre business park development. The OFPD acquired the parcel with its existing limitations and has now assumed responsibility and maintenance for the basin. The special use allows for the proposed development to meet the overall intent of the development code without impacting the character of the overall business park.

3. The design of the proposed use will minimize adverse effect, including visual impacts on adjacent properties.

The design of the proposed use minimizes adverse effects, including visual impacts on adjacent properties. The existing detention basin will be regraded and seeded to provide the required stormwater storage per the Land Development Code for the overall business park. The basin is privately owned and will be maintained by the OFPD.

4. The proposed use will not have an adverse effect on the value of the adjacent property.

The proposed use will not have an adverse effect on the value of the adjacent property because the improvements to the detention basin will provide additional storage in the basin to store stormwater runoff for the overall business park.

5. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service.

The special use request will not create additional burden on the public facilities and services provided by the Village as no additional public utilities are being requested. In addition, the request will not create a need for the use of hospitals, schools, and the like. If anything, the approval of the proposed use of the overall development will enhance the services that are provided by the Village by providing additional training opportunities for the Village's emergency response team to more adequately serve the business owners and residents of the Village and surrounding areas.

6. The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development.

The OFPD has made the necessary legal provision to guarantee the provision and development of the required open space by meeting the lot coverage requirements for the overall site and of the landscaping site improvements as required per the Village's ordinance for the subject property excluding detention basin design modifications as noted within this special use request.

7. The development will not adversely affect a known archaeological, historical or cultural resource.

To the best of our knowledge, the development will not adversely affect a known archaeological, historical or cultural resource.

8. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

The proposed special use will comply with all additional standards imposed on it by the provisions of these regulations and by all other requirements of the Village's ordinance. In addition, the owner of the subject property will adhere to all applicable Village ordinances and requirements.

## Request 7

Detention Pond Maintenance Area. Reduce the required detention pond vehicle maintenance area from eight (8) feet to as little as zero (0) feet (Sections 6-409.E.18o and Section 6-305.D.8)

Response:

1. The special use will be consistent with the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations.

The special use is consistent with the purpose, goals and objectives and standards of the Comprehensive plan by providing a unique, educational opportunity for primary emergency responders (firefighters, EMS, Police, Health Care workers) and secondary responders (public works, local administrators, private industry) in a realistic, relevant, and repeatable training experience in a state of the art regional training facility. In order to provide such a facility, the Village's Land Development Code requires that stormwater detention with a maintenance area and access area for the detention basin be provided for the site. Due to the limitations of the parcel and the existing site conditions, those requirements cannot fully be met. The proposed design of the basin has designated a thirty foot area along the basin's south property line to allow for access and maintenance of the detention basin. The side slopes of the detention basin have been designed with a maximum 3:1 side slope and will be planted with a low profile native seed mix to reduce mowing. The bottom of the basin will be planted with a wetland seed mix and an underdrain to allow for infiltration into the soils and the reduction of ponding areas should they occur. This overall design will allow for a reduced mowing schedule and less overall maintenance. With this design, we feel that the design intent of the ordinance has been met and the OFPD requests relief on this portion of the ordinance's requirements to provide the added benefits that the proposed facility offers to the residents of the Village and the surrounding communities.

2. The special use will be consistent with the community character of the immediate vicinity of the parcel for development.

The special use is consistent with the community character of the immediate vicinity of the parcel for development since this is the detention basin that was designed with the original 35 acre business park development. The OFPD acquired the parcel with its existing limitations and has now assumed responsibility and maintenance for the basin. The special use allows for the proposed development to meet the overall intent of the development code without impacting the character of the overall business park.

3. The design of the proposed use will minimize adverse effect, including visual impacts on adjacent properties.

The design of the proposed use minimizes adverse effects, including visual impacts on adjacent properties. The existing detention basin will be regraded and seeded to provide the required stormwater storage per the Land Development Code for the overall business park. The basin is privately owned and will be maintained by the OFPD.

4. The proposed use will not have an adverse effect on the value of the adjacent property.

The proposed use will not have an adverse effect on the value of the adjacent property because the improvements to the detention basin will provide additional storage in the basin to store stormwater runoff for the overall business park.

5. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service.

The special use request will not create additional burden on the public facilities and services provided by the Village as no additional public utilities are being requested. In addition, the request will not create a need for the use of hospitals, schools, and the like. If anything, the approval of the proposed use of the overall development will enhance the services that are provided by the Village by providing additional training opportunities for the Village's emergency response team to more adequately serve the business owners and residents of the Village and surrounding areas.

6. The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development.

The OFPD has made the necessary legal provision to guarantee the provision and development of the required open space by meeting the lot coverage requirements for the overall site and of the landscaping site improvements as required per the Village's ordinance for the subject property excluding detention basin design modifications as noted within this special use request.

7. The development will not adversely affect a known archaeological, historical or cultural resource.

To the best of our knowledge, the development will not adversely affect a known archaeological, historical or cultural resource.

8. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

The proposed special use will comply with all additional standards imposed on it by the provisions of these regulations and by all other requirements of the Village's ordinance. In addition, the owner of the subject property will adhere to all applicable Village ordinances and requirements.

## Request 8

Detention Pond Slope. Increase the maximum pond slope from 4:1 to 3:1 (Section 6- 409.E.18.d)

Response:

1. The special use will be consistent with the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan and these regulations.

The special use is consistent with the purpose, goals and objectives and standards of the Comprehensive plan by providing a unique, educational opportunity for primary emergency responders (firefighters, EMS, Police, Health Care workers) and secondary responders (public works, local administrators, private industry) in a realistic, relevant, and repeatable training experience in a state of the art regional training facility. In order to provide such a facility, the Village's Land Development Code requires that the side slope for a detention basin be 4:1 maximum. Due to the limitations of the detention parcel and the existing basin, a 4:1 side slope does not provide sufficient storage for the development. However, that requirement can be met with a 3:1 slope and a native planting seed mix for the side slopes which will not impede with the maintenance on the proposed facility. The OFPD requests relief on this requirement to provide the added benefits that the proposed facility offers to the residents of the Village and the surrounding communities.

2. The special use will be consistent with the community character of the immediate vicinity of the parcel for development.

The special use is consistent with the community character of the immediate vicinity of the parcel for development since this is the detention basin that was designed with the original 35 acre business park development. The OFPD acquired the parcel with its existing limitations and has now assumed responsibility and maintenance for the basin. The special use allows for the proposed development to meet the overall intent of the development code without impacting the character of the overall business park.

3. The design of the proposed use will minimize adverse effect, including visual impacts on adjacent properties.

The design of the proposed use minimizes adverse effects, including visual impacts on adjacent properties. The existing detention basin will be regraded and seeded to provide the required stormwater storage per the Land Development Code for the overall business park. The basin is privately owned and will be maintained by the OFPD.

4. The proposed use will not have an adverse effect on the value of the adjacent property.

The proposed use will not have an adverse effect on the value of the adjacent property because the improvements to the detention basin will provide additional storage in the basin to store stormwater runoff for the overall business park.

5. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, water and sewers, and schools will be capable of serving the special use at an adequate level of service.

The special use request will not create additional burden on the public facilities and services provided by the Village as no additional public utilities are being requested. In addition, the request will not create a need for the use of hospitals, schools, and the like. If anything, the approval of the proposed use of the overall development will enhance the services that are provided by the Village by providing additional training opportunities for the Village's emergency response team to more adequately serve the business owners and residents of the Village and surrounding areas.

6. The applicant has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development.

The OFPD has made the necessary legal provision to guarantee the provision and development of the required open space by meeting the lot coverage requirements for the overall site and of the landscaping site improvements as required per the Village's ordinance for the subject property excluding the slope modification as noted within this special use request.

7. The development will not adversely affect a known archaeological, historical or cultural resource.

To the best of our knowledge, the development will not adversely affect a known archaeological, historical or cultural resource.

8. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

The proposed special use will comply with all additional standards imposed on it by the provisions of these regulations and by all other requirements of the Village's ordinance. In addition, the owner of the subject property will adhere to all applicable Village ordinances and requirements.





## Orland Fire Protection District Regional Training Facility

### Project Description

The Orland Fire Protection District is enhancing our regional training facility to provide a state of the art training facility so that the entire region of emergency responders, public / private sector employees and administrators can prepare in the event of an emergency. Our goal is to provide a training facility that will allow for our people to develop a high level of proficiency in their skills. No matter if it is a daily routine operation or a large scale disaster we have a responsibility to be proficiently trained in many skills. The only way to develop a high level of proficiency is practice, practice, practice. Currently, nowhere in the south suburbs is there a regional training facility that has the ability to provide an all hazards training experience for emergency providers and public servants alike. The need for proficient first responders has never been more evident than it is today in the middle of this COVID-19 pandemic.

The Orland Fire Protection District is proposing to use its existing training facility and property to develop an all hazards training facility. The training facility would have the ability to give primary emergency responders (firefighters, EMS, Police, Health Care workers) and secondary responders (public works, local administrators, private industry) a realistic, relevant, and repeatable training experience. The facility, once developed, would provide training in all hazards encompassing: Firefighting, Hazardous Materials, Confined Space Rescue, Trench Rescue, Water Rescue, Driver Operator, Incident Command, National Incident Management System (NIMS), Leadership, Officer Training, Safety Classes, Emergency Medical Services and Disaster Preparedness. Our facility will offer the opportunity for all three sectors (public, private, non for profit) to train and prepare for an emergency or disaster situation. A facility to train all three levels will provide a relationship building experience and interoperability needed to mitigate many of these emergencies.

The Orland Fire Protection District has the personnel with the knowledge, skills, and abilities to develop, manage, and train people from all three levels. Our training instructors and staff have experience managing these programs already. In many cases our personnel participated in curriculum development for many of the programs. For example our state of the art incident command simulator has trained over 700 incident commanders from across the United States and changed the way we manage hazard zones. Our Emergency Medical Services Simulation Lab provides students with real time, real life interaction with manikins in medical situations. Our recently developed Community Care project has partnered with community organizations, hospitals, and the Village of Orland Park to change how a patient in cardiac arrest is treated in Orland Fire Protection District. This program, even in its infancy, has increased the survival rate for cardiac arrest within the Orland Fire District to over 50%. Our goal is to continue these successes to all facets of training for the region. This training has already proved extremely beneficial in handling our current pandemic situation. The current pandemic has shown the need for collaboration between emergency responders, health care facilities workers, and private sector business that is facilitated by the training provided by the Orland Regional Training Facility.

## Training Props

### Training Tower



The four story burn facility provides live fire training and realistic experiences to our firefighter paramedics in the rescue of our citizens.

#### **Office of State Fire Marshal Certifications**

11 OSFM Certifications

#### **NFPA / OSHA standards prop will satisfy**

8 N.F.P.A. standards  
2 OSHA regulations

#### **Targeted areas in the region**

Entire Region

#### **Private Sector Applicability**

Manufacturing Business  
Industry

#### **Other Public Sector Agency Applicability**

Public Works  
Metropolitan Water Reclamation  
Cook County Bomb Squad  
Law Enforcement

#### **Other State and Federal Team uses**

Illinois Terrorism Task Force Illinois  
Task Force 1  
MABAS Special Rescue Teams  
CART  
FEMA Rescue Dog Team

# Hazardous Material Props



## Office of the State Fire Marshal Certifications

7 OSFM Certifications

## NFPA / OSHA standards props will satisfy

7 N.F.P.A. Standards

5 OSHA Standards

## Targeted Areas in the Region

Roadway Transportation

Transpiration Railroad

Transportation Pipelines

Industrial Storage

Wildland / Environmental Protection

## Private Sector Applicability

Commercial/ Industrial Response Teams

Environmental Clean Up Companies

Waste Management

Pipeline Companies

OSHA requirements for business

## Other Public Sector Agency Applicability

Regional Hazardous Materials Team

Public Works

Metropolitan Water Reclamation District

Cook County Forest Preserve

## Other State and Federal Team uses

Illinois Terrorism Task Force

Illinois Task Force 1

State response team

Federal response Teams (FBI/ATF)

Utility Agencies (JULIE)

Law Enforcement Agencies

Bomb Squad





# Vehicle Machinery Props

## Office of the State Fire Marshal Certifications

7 OSFM Certifications

## NFPA / OSHA standards props will satisfy

7 N.F.P.A. Standards

## Targeted Areas in the Region

Roadway Transportation

Transpiration Railroad

## Private Sector Applicability

Healthcare Workers

Tow Companies

## Other Public Sector Agency Applicability

Regional Hazardous Materials Team

Regional Technical Rescue Teams

Law Enforcement

## Other State and Federal Team uses

Illinois Task Force 1

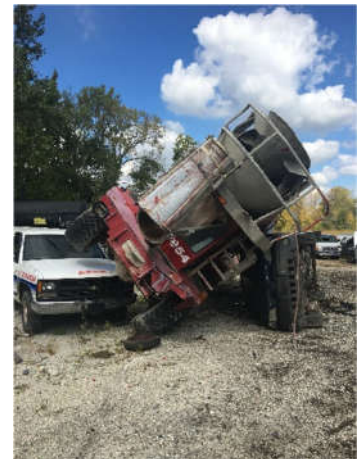
State response team

MABAS Response Teams

Federal response Teams (FBI/ATF)

Law Enforcement Agencies

Bomb Squad



# Self-Contained Breathing Apparatus (SCBA) Props

## Office of the State Fire Marshal Certifications

5 OSFM Certifications

## NFPA / OSHA standards props will satisfy

4 N.F.P.A. Standards

1 OSHA standard

## Targeted Areas in the Region

Responder required to wear  
SCBA

## Private Sector Applicability

Emergency Response Teams

## Other Public Sector Agency Applicability

Regional Hazardous Materials Team

Public Works

Regional Technical Rescue Teams

Law Enforcement

## Other State and Federal Team uses

Illinois Task Force 1

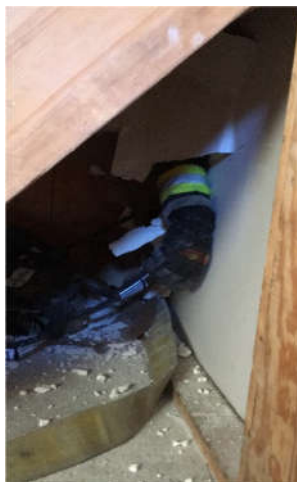
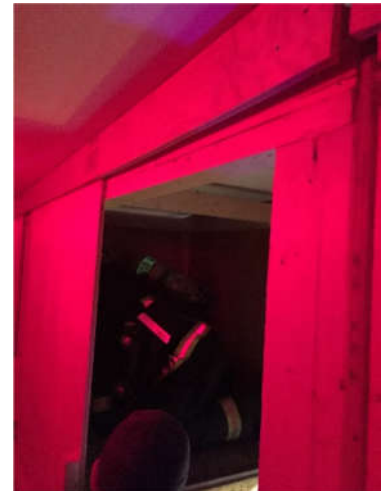
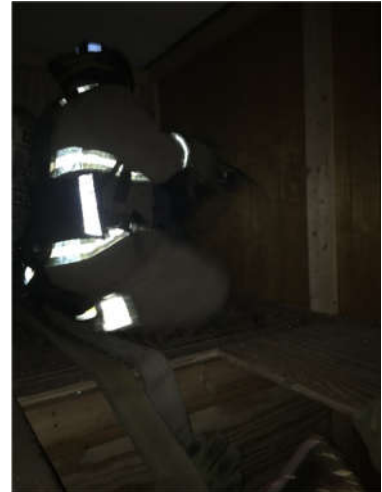
State response team

MABAS Response Teams

Federal response Teams (FBI/ATF)

Law Enforcement Agencies

Bomb Squad



# Trench Prop

## Office of State Fire Marshal Certifications

4 OSFM Certifications

## NFPA / OSHA standards prop will satisfy

3 NFPA Standards

1 OSHA Standard

## Targeted areas in the region

Sewers

Excavations

Pipeline

Water Main Replacement / Modifications



## Private Sector Applicability

Utility Excavation

Industry / Manufacturing Onsite Modifications



## Other Public Sector Agency Applicability

Public Works

Metropolitan Water Reclamation Utility

Agencies

## Other State and Federal Team uses

Illinois Terrorism Task Force Illinois

Task Force 1

MABAS Special Rescue Teams

Combined Area Rescue Team





# Technical Rescue Prop

## Office of State Fire Marshal Certifications

9 OSFM Certifications

## NFPA / OSHA standards prop will satisfy

5 N.F.P.A. Standards  
2 OSHA Standards

## Targeted areas in the region

Sewers  
Water  
Towers Silos  
Wild land Rescue  
Wind Farm

## Private Sector Applicability

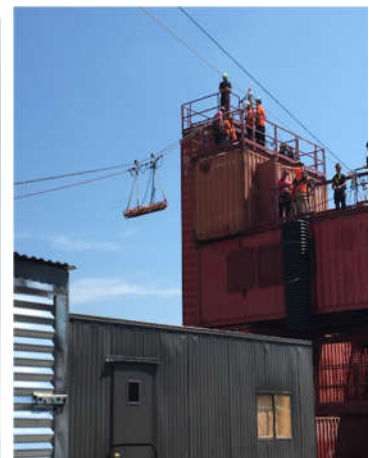
Utility Service Companies  
Industry / Manufacturing

## Other Public Sector Agency Applicability

Public Works  
Metropolitan Water Reclamation  
Utility Agencies  
Cook County Bomb Squad

## Other State and Federal Team uses

Illinois Terrorism Task Force  
Illinois Task Force 1  
MABAS Special Rescue Teams  
CART





# Grain Bin Technical Rescue Prop

## Office of State Fire Marshal Certifications

5 OSFM Certifications

## NFPA / OSHA standards prop will satisfy

5 N.F.P.A. Standards

2 OSHA Standards

## Targeted areas in the region

Sewers

Water

Towers Silos

Wild land Rescue

Wind Farm

## Private Sector Applicability

Farming / Storage

Industry / Manufacturing

## Other Public Sector Agency Applicability

Public Works

Emergency Response Teams

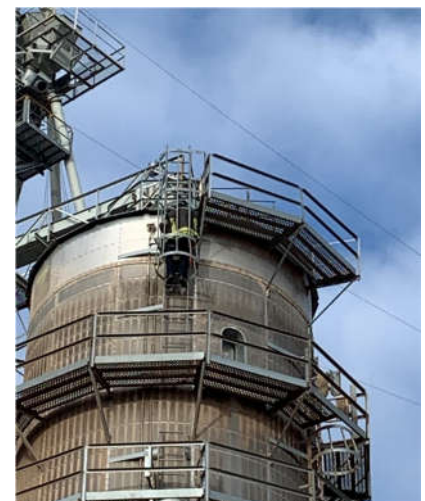
## Other State and Federal Team uses

Illinois Terrorism Task Force

Illinois Task Force 1

MABAS Special Rescue Teams

Combined Area Rescue Team



# Collapse Technical Rescue Prop

## Office of State Fire Marshal Certifications

4 OSFM Certifications

## NFPA / OSHA standards prop will satisfy

5 N.F.P.A. Standards  
2 OSHA Standards

## Targeted areas in the region

Structural Collapses  
Tornado Stricken Areas  
Terrorist Incidents

## Private Sector Applicability

Utility Service Companies  
Industry / Manufacturing  
Health Care Workers

## Other Public Sector Agency Applicability

Public Works  
Law Enforcement

## Other State and Federal Team uses

Illinois Terrorism Task Force Illinois  
Task Force 1  
MABAS Special Rescue Teams  
Combined Area Rescue Team  
FEMA Rescue Dog Training  
Regional Bomb Squads



# Strip Mall (Burn Prop)

## Office of State Fire Marshal Certifications

11 OSFM Certifications

## NFPA / OSHA standards prop will satisfy

8 N.F.P.A. standards  
2 OSHA regulations

## Targeted areas in the region

Entire Region

## Private Sector Applicability

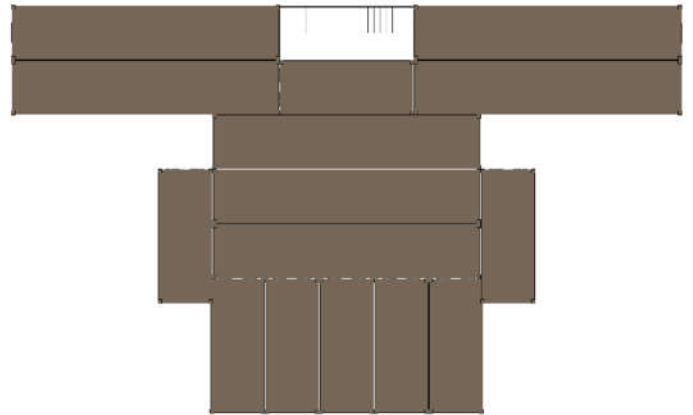
Manufacturing Business  
Industry

## Other Public Sector Agency Applicability

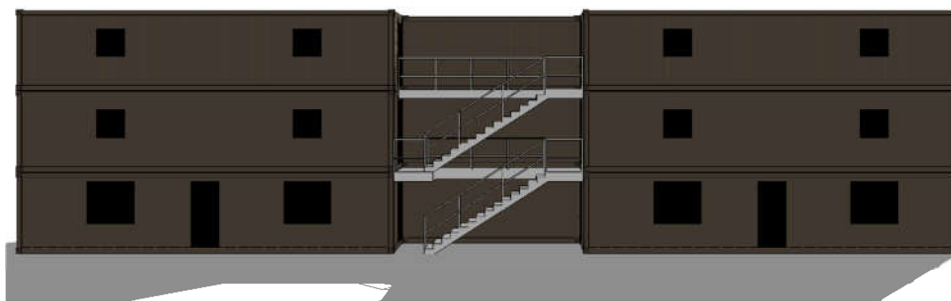
Public Works  
Metropolitan Water Reclamation  
Cook County Bomb Squad  
Law Enforcement

## Other State and Federal Team uses

Illinois Terrorism Task Force Illinois  
Task Force 1  
MABAS Special Rescue Teams  
CART  
FEMA Rescue Dog Team



3 PLAN  
1/2" = 1'-0"



1 NORTH  
Scale: N.T.S.

# Command Training Center

## Office of State Fire Marshal Certifications

4 OSFM Certifications

## NFPA / OSHA standards prop will satisfy

8 N.F.P.A. standards

2 OSHA regulations

## Targeted areas in the region

Entire Region

## Private Sector Applicability

Emergency Management

## Other Public Sector Agency Applicability

Cook County Bomb Squad

Law Enforcement

Dispatch Centers

## Other State and Federal Team uses

Illinois Terrorism Task Force Illinois

Task Force 1

MABAS Special Rescue Teams

CART





# Rescue Task Force (Active Shooter)

## National Association of Emergency Medical Technicians

1 NAEMT Certifications

## NFPA / OSHA standards prop will satisfy

3 N.F.P.A. standards

## Targeted areas in the region

- Business/Mercantile
- Schools
- Place of Worship
- Shopping Malls

## Private Sector Applicability

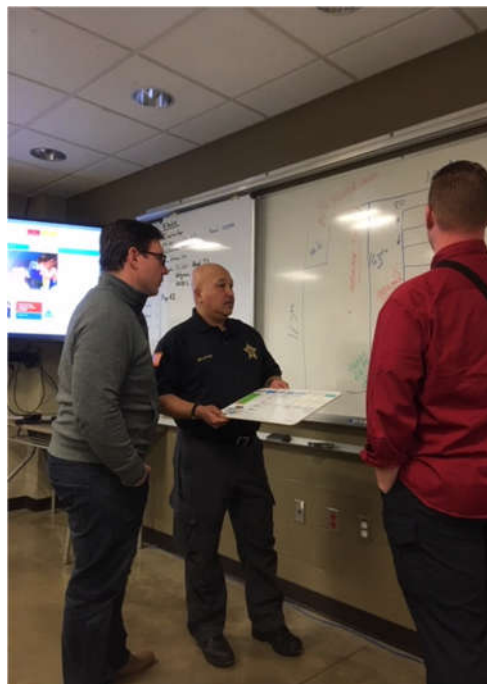
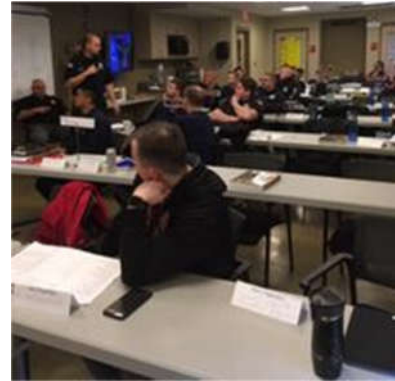
- Business
- Retail

## Other Public Sector Agency Applicability

- School District
- Cook County Bomb Squad
- Law Enforcement

## Other State and Federal Team uses

- Illinois Terrorism Task Force Illinois
- MABAS Special Rescue Teams
- FEMA Rescue Dog Team
- Bomb Squad
- Swat Teams
- FBI / ATF



# Emergency Medical Services Simulator

## Illinois Department of Public Health / American Heart Association

- 4 IDPH Licenses
- 5 AHA Certifications

### Targeted areas in the region

- Medical Offices
- Hospitals
- Colleges / Medical Students

### Private Sector Applicability

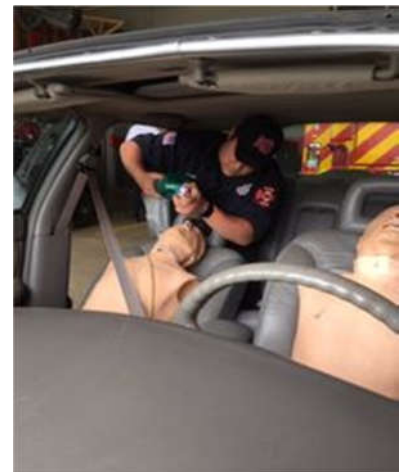
- Medical facilities
- Doctors' Offices

### Other Public Sector Agency Applicability

- School District
- Paramedic / EMT Schools
- Law Enforcement

### Other State and Federal Team uses

- Illinois Terrorism Task Force Illinois
- MABAS Special Rescue Teams
- Hospitals Emergency Response Teams





# Driving Pad / Driving and Pump Simulator

## Office of State Fire Marshal Certifications

4 OSFM Certifications

## NFPA / OSHA standards prop will satisfy

3 N.F.P.A Standards

1 OSHA standard

## Targeted areas in the region

Entire region

## Other Public Sector Agency Applicability

Public Works

Law Enforcement

Public Agencies required to complete driving program



## Other State and Federal Team uses

Illinois Terrorism Task Force Illinois

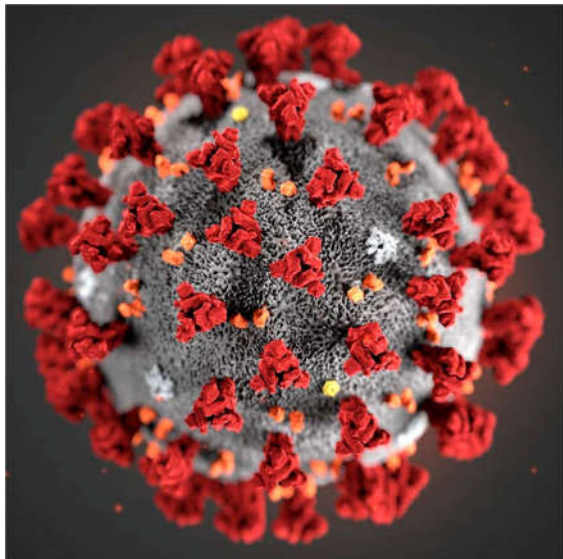
Task Force 1

MABAS Special Rescue Teams

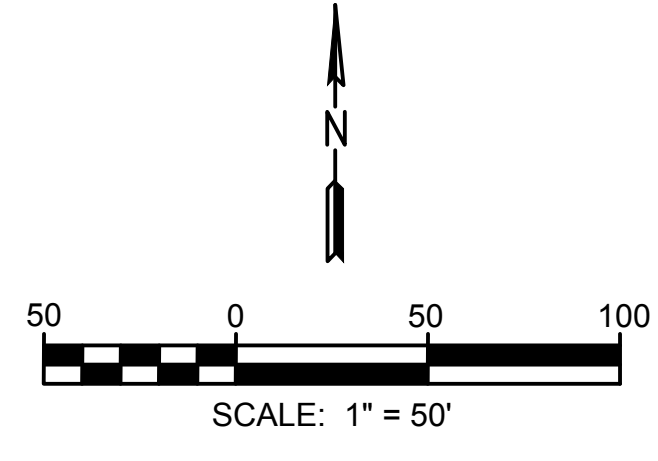
CART



The Orland Fire Protection District Regional Training Facility Mission is to “Provide Realistic, Relevant, and Referenced Training to Ensure Skill Proficiency in all Facets of our Profession”. I believe that our training facility has met our mission and will continue to improve our ability to meet our mission in the future. In 2019 The Orland Fire Protection District provided over 65,000 hours of training to over 1700 emergency responders from throughout the region. The ability to train together, collaborate together and respond to an unprecedented pandemic situation has never been more important than it has today.




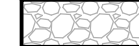

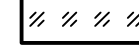
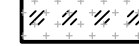


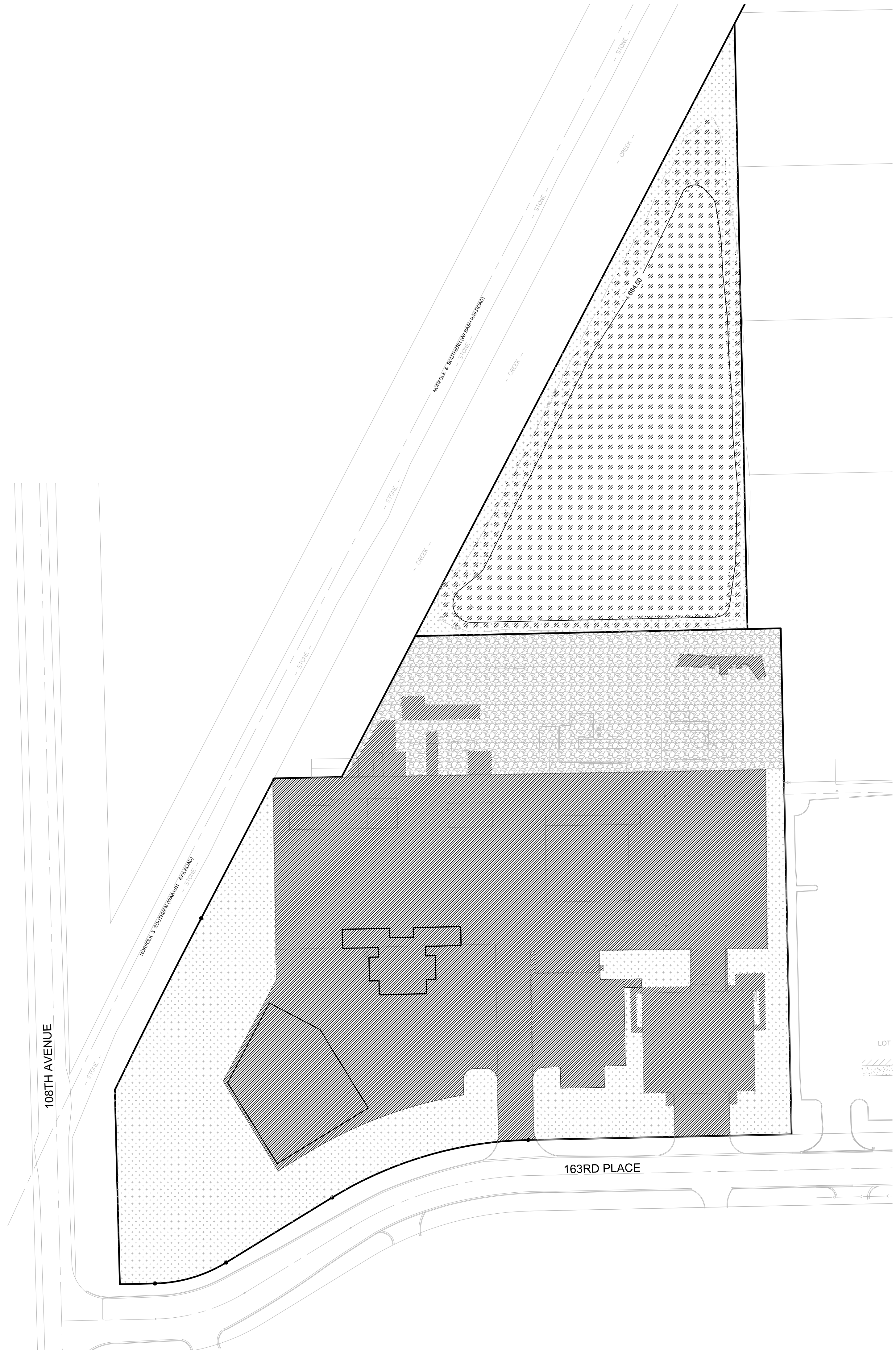


**GREEN SPACE CALCULATION**

<b>PARCEL 1</b>	
LOT AREA=	217,264 SF, 4.99 AC (100%)
IMPERVIOUS AREA=	120,276 SF, 2.76 AC (55.3%)
GRAVEL AREA=	36,298 SF, 0.83 AC (16.7%)
PERVIOUS AREA=	60,690 SF, 1.39 AC (28%)
<b>PARCEL 3</b>	
LOT AREA=	71,675 SF, 1.65 AC (100%)
NON-GREEN SPACE DETENTION AREA=	49,364 SF, 1.13 AC (68.9%)
GREEN SPACE DETENTION AREA=	14,223 SF, 0.33 AC (19.8%)
PERVIOUS AREA=	8,088 SF, 0.19 AC (11.3%)
<b>OVERALL LOT SUMMARY</b>	
LOT AREA=	288,939 SF (100%)
IMPERVIOUS GREEN SPACE AREA=	159,540 SF (55.2%) (<80%)
GRAVEL AREA=	36,298 SF (12.6%)
PERVIOUS GREEN SPACE AREA=	83,001 SF (28.7%) (>20%)

**LEGEND**

-  PERVIOUS AREA
-  GRAVEL AREA
-  IMPERVIOUS AREA
-  NON-GREEN SPACE DETENTION AREA
-  GREEN SPACE DETENTION AREA



**NOTES:**

1. THE BASIN GREEN SPACE HAS BEEN CALCULATED FROM THE HALFWAY POINT BETWEEN THE NORMAL WATER ELEVATION AND THE HIGH WATER LINE. THE BASIN HAS A HWL OF 688 WITH THE BOTTOM OF THE DRY BASIN AT 681.00 THE HALFWAY ELEVATION EQUALS 684.50 AND HAS BEEN NOTED ON THE PLAN.

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PROJECT: **ORLAND FIRE PROTECTION DISTRICT TRAINING FACILITY**

10728 W. 163RD PLACE  
 ORLAND PARK, IL 60467  
 CLIENT: **ORLAND FIRE PROTECTION DISTRICT**  
 9790 W. 151ST. STREET  
 ORLAND PARK, IL 60462

7-27-20 PER VILLAGE REVIEW (7-7)  
 6-9-20 PER VILLAGE REVIEW

**LOT COVERAGE EXHIBIT**

PROJECT #: 7208.06      DATE: 7-27-20

**C-2.2**



Code Name	Scientific Name	Common Name	Native/Adapted	Planting Size	Quantity
<b>PLANT LIST</b>					
<b>Canopy (Shade) Trees</b>					
GleTri	Gleditsia triacanthos inermis 'Sk-line'	Sk-line Honey Locust	Native	2 1/2"-Cal	9 - (4 existing - 5 new)
UlmAme	Ulmus Americana	American Elm	Native	Existing	7 - (3 existing - 4 new)
CarCar	Carinus Carolina	American Hornbeam	Native	2 1/2"-Cal	6
TilCor	Tilia Cordata	Linden, Littleleaf	Adapted	2 1/2"-Cal	6
LarLar	Larix Laricina	American Larch	Native	2 1/2"-Cal	6
TilAme	Tilia Americana 'is neglecta'	Roadside Linden	Native	(3) 2 1/2"-Cal (4) 4"-Cal	7
AlnGlu	Alnus, Glutinosa	European Alder	Adapted	Existing	6 (3 existing - 3 new)
PoDel	Potamogeton delfoides	Eastern Cottonwood	Native	Existing	9
<b>Understory (Ornamental) Trees</b>					
PyrCal	Pyrus Calleryana	Ornamental Pear	Adapted	Existing	3 - (3 existing)
AmeArb	Amenchier Arborea	Sericeberry, Dogwood	Native	6" or 2" Cal	4
CerCan	Cercis Canadensis	Eastern Redbud	Native	6" or 2" Cal	5
AceNeg	Acer Negundo	Ash Leaf Maple	Native	Existing	3 (1 existing - 2 new)
<b>Evergreen Trees</b>					
PinStr	Pinus Strobus	Eastern White Pine	Native	6"	4
PicAbi	Picea Abies	Spruce Norway	Adapted	6"	3
<b>Shrubs</b>					
RhuAro	Rhus aromatica 'Gro-Low'	Fragrant Sumac	Native	18-24"	33
TaMed	Taxus Media	Yew, Hicksii	Adapted	18-24"	14
SirPub	Syringa Pubescens	Miss Kim Lilac	Adapted	18-24"	12
VirMoh	Viburnum Mohican	Viburnum Mohican	Adapted	18-24"	13 - (9 existing - 4 new)
TaCus	Taxus Canadensis	Jack Pine	Adapted	18-24"	10 - (6 existing - 4 new)
EuoAla	Euonymus Alatus	Burning Bush	Adapted	18-24"	11 - (9 existing - 2 new)
ThuOcc	Thuja Occidentalis	Arborvitae Eastern	Native	Existing	19 - (9 existing - 10 new)
VibPli	Viburnum Plicatum	Viburnum Doublefile	Adapted	Existing	12 - (2 existing - 10 new)
SamNig	Sambucus Nigra	Elderberry	Native	18-24"	23
CeOcc	Ceanothus Occidentalis	Buttonbush	Native	18-24"	18
VibLen	Viburnum Lentago	Nannyberry	Native	18-24"	15
CornAlt	Cornus Alternifolia	Blue Fruited Dogwood	Native	18-24"	10
CeaAme	Ceanothus Americanus	New Jersey Tea	Native	18-24"	10
<b>Perennials</b>					
HemLil	Hemerocallis lilloas 'hodetus'	Day Lily - Yellow	Adapted	1 gal.	18 - (8 existing - 10 new)
PerAtr	Perovskia Atrichocoma	Russian Sage	Adapted	1 gal.	6
EchPur	Echinacea Purpurea	Purple Coneflower	Native	1 gal.	12
LeuSu	Leucanthemum Superbum	Shasta Daisy	Adapted	1 gal.	12
AndSco	Schizanthus Scoulerianum	Little False Bluestem	Native	1 gal.	14
PanVir	Panicum Virgatum	Wand Panic Grass	Native	1 gal.	17
EchPal	Echinacea Pallida	Pale Coneflower	Native	1 gal.	15
CerPal	Ceropegia Palmata	Prairie Tickseed	Native	1 gal.	23

Trees denoted with \* on landscape plan are industrial development trees  
 Trees denoted with \*\* on landscape plan are replacement trees due to Tree Preservation and Mitigation

**DEVELOPMENT REQUIREMENTS:**  
 Total Area training facility = 52,786 sq. ft. (1 tree per 25,000 sq. ft. Development - 2 trees required)

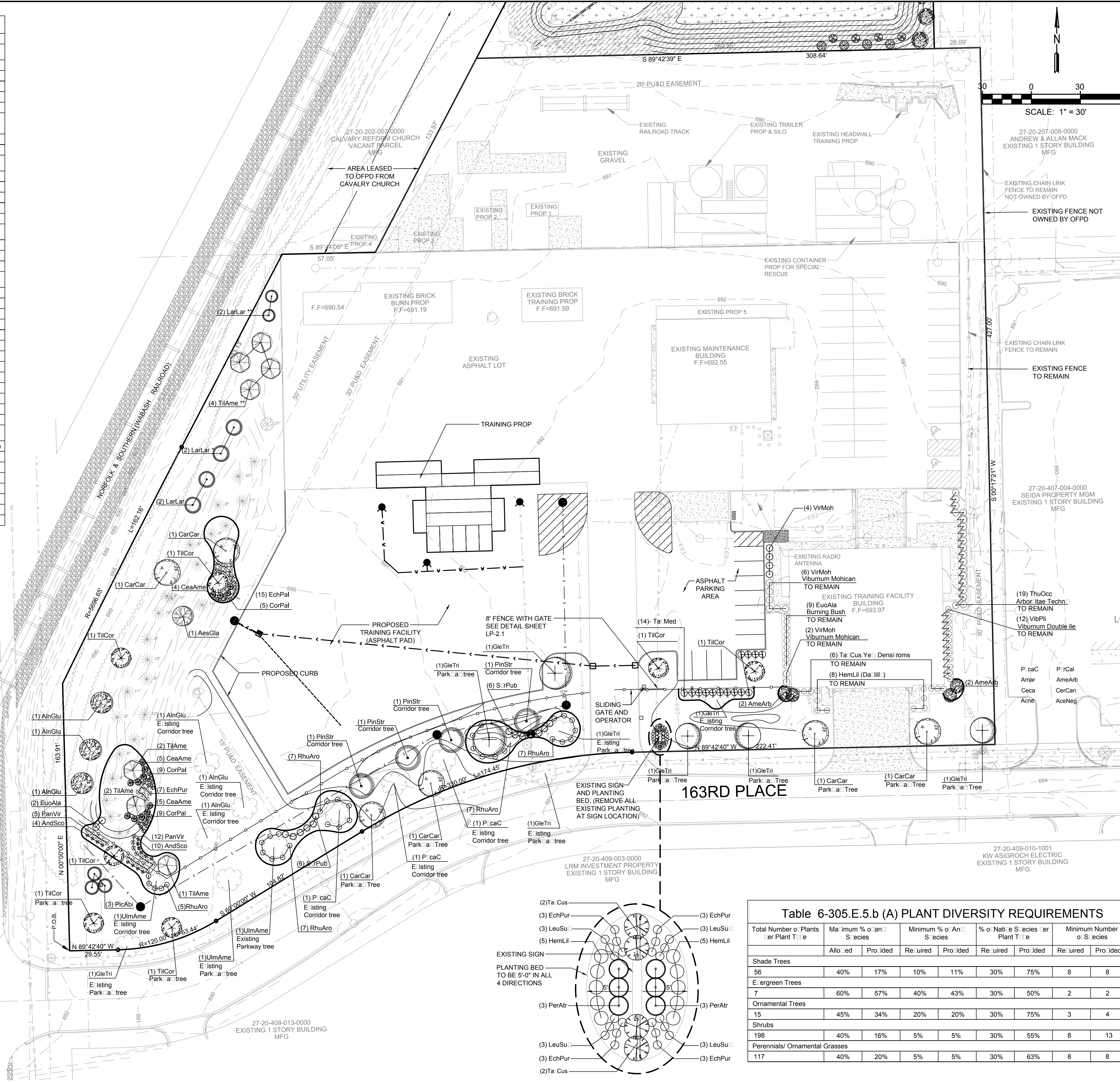
**PARKING REQUIREMENTS:**  
 Tree Spacing - 40' on Center = 566/40 = 14.15 Trees Required 15 Pro. Ided

**CORRIDOR REQUIREMENTS:**  
 Shade Trees per 100' Building = 358/100 = 3.58 Trees Required 4 Pro. Ided  
 Evergreen Trees per 100' Building = 566/100 = 5.66 Trees Required 7 Pro. Ided

**CONDITION LANDSCAPE REQUIREMENTS:**  
 1 Ornamental tree per 100' Building = 358/100 = 3.58 Trees Required 4 Pro. Ided  
 16 Shrubs per 100' Building = 358/100 = 3.58 Trees Required 6 Pro. Ided

**INTERIOR PARKING LOT REQUIREMENTS**  
 1 Tree per 10' Parking Spaces = 12 Parking Spaces = 1.2 Trees Required 2 Pro. Ided

**DETENTION BASIN REQUIREMENTS:**  
 1 Canopy tree per 100' Inlet detention perimeter = 1175/100 = 11.75 Trees Required 14  
 2 Native understory trees per 200' Inlet detention perimeter = 1175/200 = 5.8 Trees Required 6 Pro. Ided  
 3 Native shrubs per 50' Inlet detention perimeter = 66/50 = 1.32 Trees Required 66 Pro. Ided



**Table 6-305.E.5.b (A) PLANT DIVERSITY REQUIREMENTS**

Total Number of Plants per Plant Type	Maximum % of Annual Species		Minimum % of Annual Species		% of Native Species per Plant Type		Minimum Number of Species	
	Allocated	Provided	Required	Provided	Required	Provided	Required	Provided
<b>Shade Trees</b>								
56	40%	17%	10%	11%	30%	75%	8	8
<b>Evergreen Trees</b>								
7	60%	57%	40%	43%	30%	50%	2	2
<b>Ornamental Trees</b>								
15	45%	34%	20%	20%	30%	75%	3	4
<b>Shrubs</b>								
198	40%	16%	5%	5%	30%	55%	8	13
<b>Perennials/Ornamental Grasses</b>								
117	40%	20%	5%	5%	30%	63%	8	8

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 ORLAND PARK, IL 60467  
 CLIENT:  
 ORLAND FIRE PROTECTION DISTRICT  
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 ORLAND PARK, IL 60462

**LANDSCAPE PLAN BUILDING**

PROJECT #: 7208.06      DATE: 7-27-20

**LP-2.0**

7-27-20 PER VILLAGE REVIEW (7-7)  
 6-9-20 PER VILLAGE REVIEW

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**DETENTION SIN REQUIREMENTS:**

1 Canopy tree per 100 In 1 detention perimeter	1175/ 100 = 11.75 Re: ured	14
2 Native understory trees per 200 In 1 detention perimeter	1175/ 200 = 5.8 Re: ured	6 rounded
3 Native shrubs per 50 In 1 detention perimeter	66 re: ured	66 rounded

**CLASS 4A IDOT LOW PROFILE NATIVE GRASS**

38.25 LB BAG

Little Bluestem*	5 lb.
Side Oats Gamma*	5 lb.
Canada Wild Rye*	1 lb.
Prarie Drop Seed*	0.5 lb.
Annual Ryegrass	25 lb.
Spring Oats	25 lb.
Perennial Ryegrass	15 lb.

Total 76.5 lb. / AC

**CLASS 4B IDOT WETLAND GRASS**

28 LB BAG

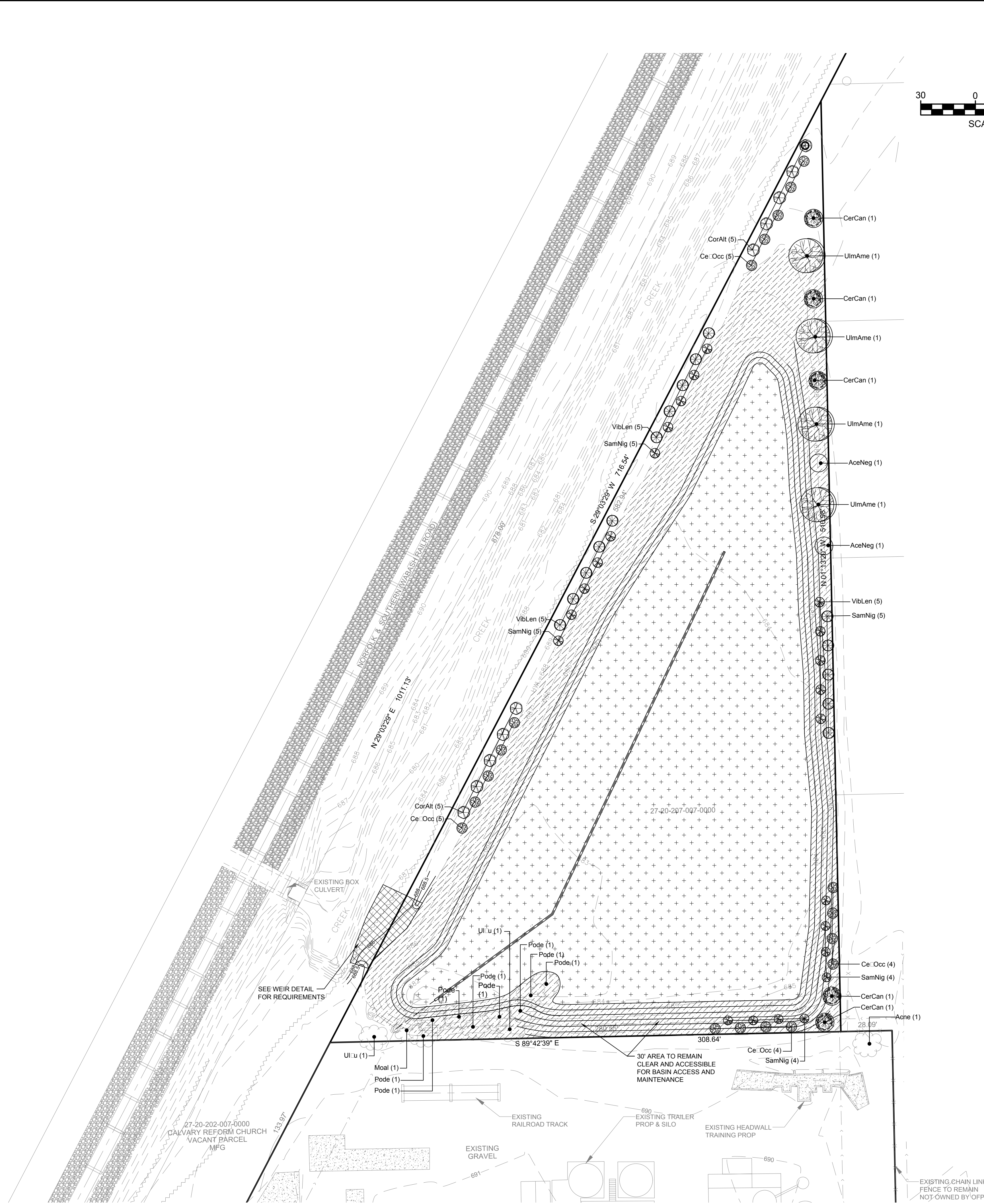
Annual Ryegrass	25 lb.
Spring Oats	25 lb.
Wetland Grasses **	6 lb.

Total 56 lb. / AC

**Species	% by weight (PLS)
Calamagrostis Canadensis (Blue Joint Grass)	12
Carex Lacustris (Lake Bank Sedge)	6
Carex Stipata (Awl-Fruited Sedge)	6
Carex Stricta (Tussock Sedge)	6
Carex Vulpinoidea (Fox Sedge)	6
Eleocharis Acicularis (Needle Spike Rush)	3
Eleocharis Obtusa (Blunt Spike Rush)	3
Glyceria Striata (Fowl Manna Grass)	14
Juncus Effusus (Common Rush)	6
Juncus Tenuis (Slender Rush)	6
Juncus Torreyi (Torrey's Rush)	6
Leersia Oryzoides (Rice Cut Grass)	10
Scripus Atrovirens (Dark Green Rush)	3
Scripus Actus (Hard-Stemmed Bulrush)	3
Scripus Fluvialis (River Bulrush)	3
Scripus Validus (Softstem Bulrush)	3
Spartina Pectinata (Cord Grass)	4

**NOTES:**

- A MONITORING AND MANAGEMENT PLAN WILL BE SUBMITTED WITH THE FINAL LANDSCAPE PLAN AND FINAL ENGINEERING PLANS SUBMITTAL PER DEVELOPMENT SERVICES DEPARTMENT. M&M PLANS SHALL COINCIDE WITH THE PROJECT WATERSHED MANAGEMENT ORDINANCE (VMO) PERMIT IF APPLICABLE.
- ALL DISTURBED AREAS OF DETENTION BASIN SHALL BE SEEDED AS SPECIFIED. PROVIDE EROSION CONTROL BLANKET OVER ENTIRE SEEDED AREA.



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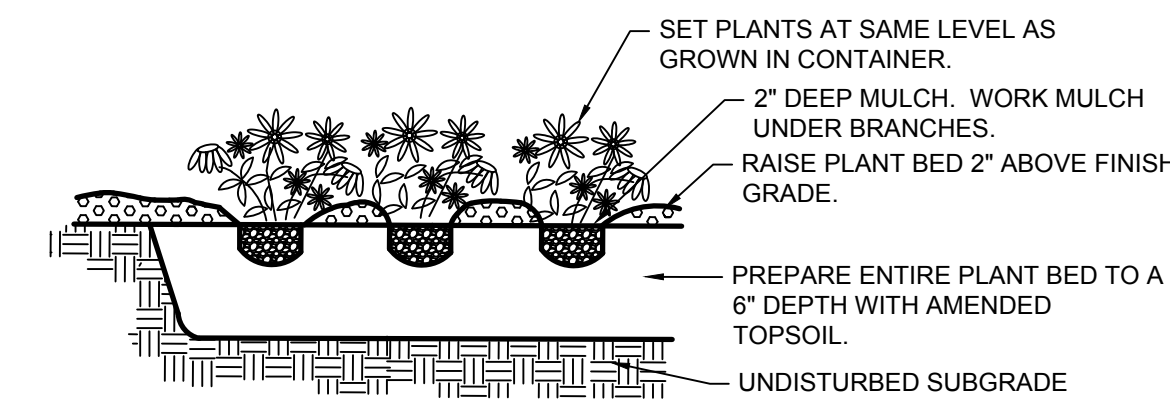
**LANDSCAPE PLAN POND**

PROJECT #: 7208.06 DATE: 7-27-20

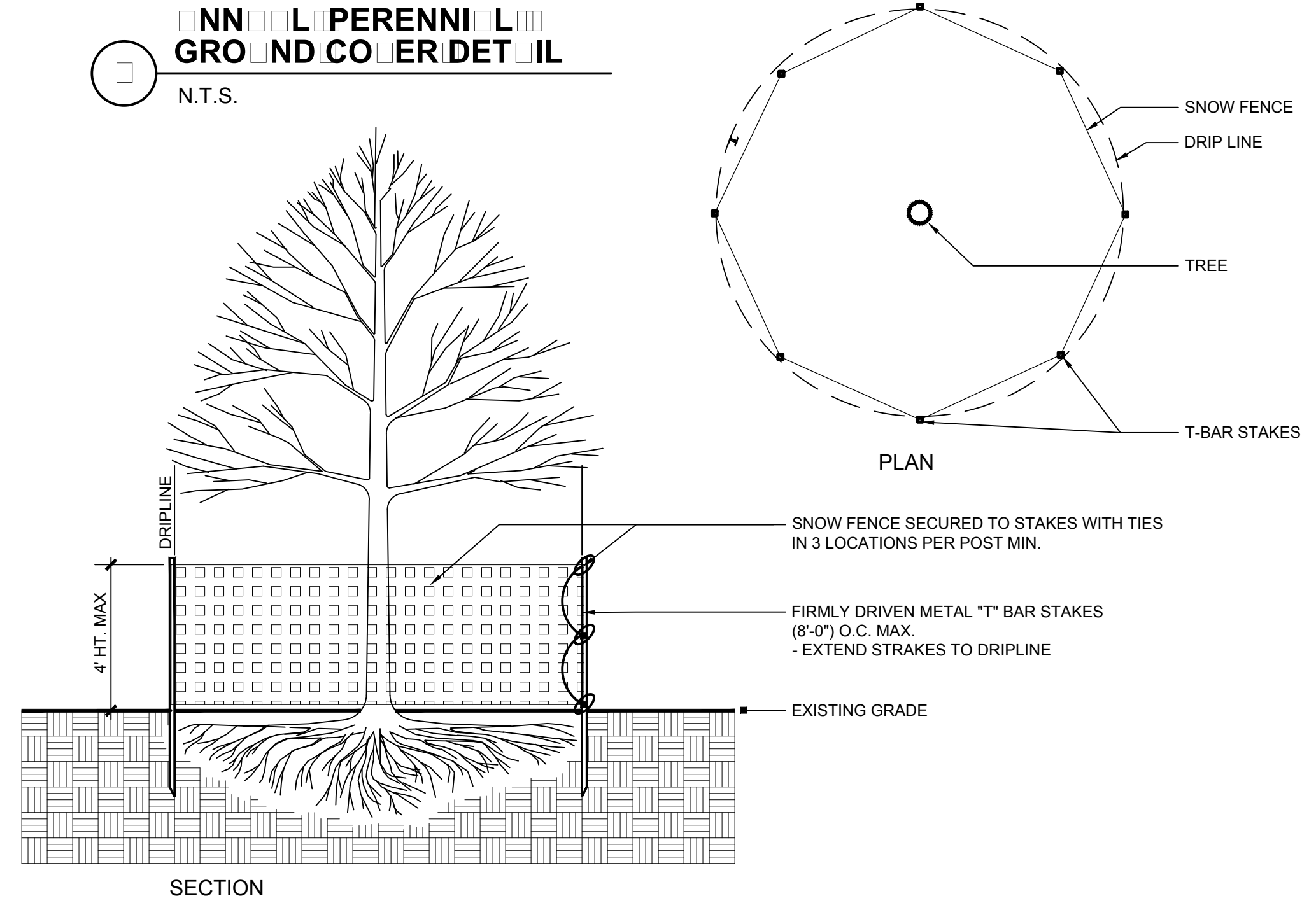
**LP-2.1**

**LANDSCAPE NOTES:**

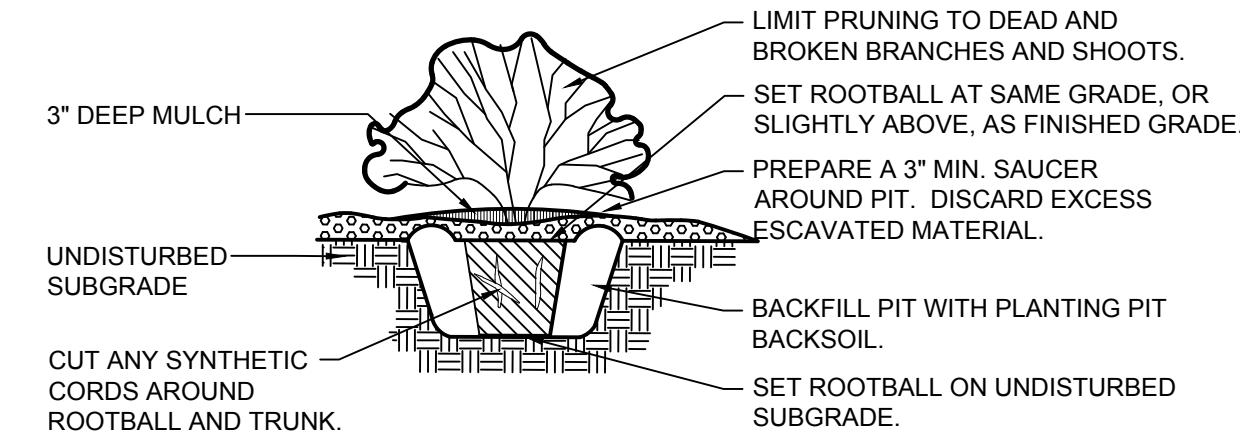
- PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR GROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- ANY AREAS TO BE LOAMED AND SEEDED WHICH HAVE NOT BEEN DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 1"-2" OF LOAM OVER SCARIFIED EXISTING SOILS. CARE SHOULD BE GIVEN TO NOT PLACE GREATER THEN 1" SOIL OVER EXPOSED ROOTS OF EXISTING TREES IN SUCH AREAS.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC. WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI 60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO ENGINEERING PLANS FOR DETENTION CALCULATIONS, UTILITY LOCATIONS, TOPOGRAPHIC INFORMATION AND THE LIKE.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PRE-EMERGENTS APPLIED PER MANUFACTURERS RECOMMENDATIONS.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE SOD AS A GROUND COVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SOD UNLESS OTHERWISE NOTED.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANCE FROM THE NEXT PLANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- TREES SHALL BE STAKED AND GUYED, AND HAVE A WATERING SAUCER AT BASE.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- AREAS THAT HAVE BEEN DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 1"-2" OF LOAM OVER SCARIFIED SOILS AND SEEDED TO MATCH EXISTING SOD.
- DETENTION BASIN LOCATED NORTH OF THE SITE TO BE SEEDED AND SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
- ALL SHORT TERM AND LONG TERM LANDSCAPING MAINTENANCE FOR THE SITE SHALL BE PER THE APPROVED/ RECORDED MONITORING AND MANAGEMENT PLAN FOR THIS DEVELOPMENT.
- ALL LANDSCAPE BEDS SHALL RECEIVE 4" TOPSOIL AND MULCH.



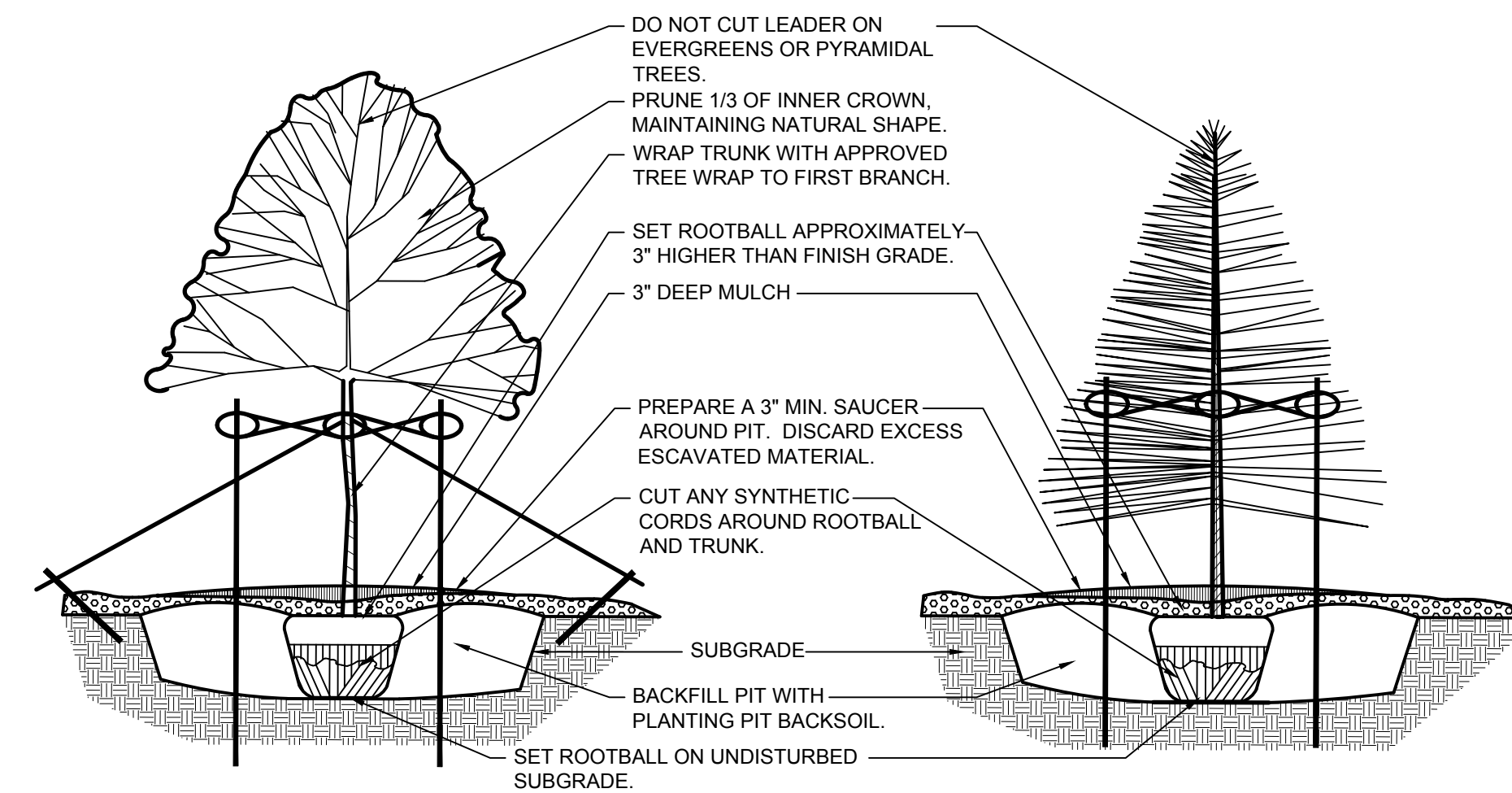
**GROUND COVER DETAIL**  
N.T.S.



**TREE PROTECTION DETAIL**  
N.T.S.



**3 EVERGREEN TREE PLANTING DETAIL**  
N.T.S.



**TREE PLANTING DETAIL**  
N.T.S.

**1 EVERGREEN TREE PLANTING DETAIL**  
N.T.S.

**KNIGHT**  
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Bolingbrook, IL 60440  
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knightea.com

PROJECT: ORLAND FIRE PROTECTION DISTRICT TRAINING FACILITY  
10728 W. 163RD PLACE  
ORLAND PARK, IL 60467

CLIENT: ORLAND FIRE PROTECTION DISTRICT  
9790 W. 151ST. STREET  
ORLAND PARK, IL 60462

7-27-20 PER VILLAGE REVIEW (7-7)  
6-9-20 PER VILLAGE REVIEW

**LANDSCAPE DETAILS AND NOTES**

PROJECT #: 7208.06 DATE: 7-27-20

**LP-2.2**



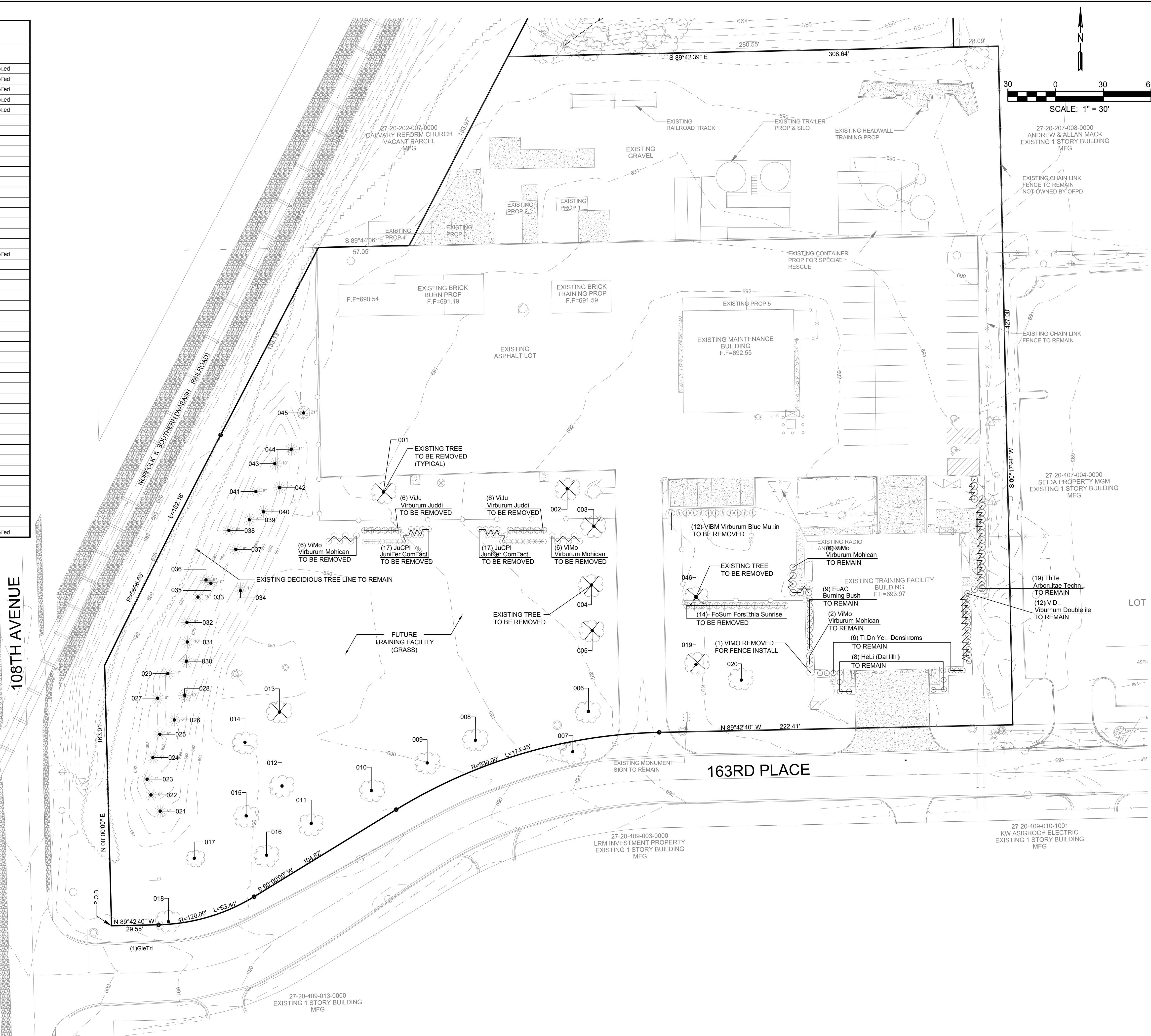
EXISTING TREE INVENTORY					
TAG	Scientific Name	Common Name	Tree Size	Condition	Remarks
001	Tilia Cordata	Linden Green Tree	12"	Good	To be Removed
002	Tilia Cordata	Linden Green Tree	12"	Good	To be Removed
003	Acer Rubrum	Red Sunset Maple	8"	Good	To be Removed
004	Acer Rubrum	Red Sunset Maple	6"	Good	To be Removed
005	Acer Rubrum	Red Sunset Maple	6"	Good	To be Removed
006	Gleditsia triacanthos inermis 'Sk. line'	Sk. line Honey Locust	8"	Good	
007	Gleditsia triacanthos inermis 'Sk. line'	Sk. line Honey Locust	8"	Good	
008	Prunus calleryana 'Chanticleer'	Chanticleer Pear	8"	Good	
009	Prunus calleryana 'Chanticleer'	Chanticleer Pear	8"	Good	
010	Prunus calleryana 'Chanticleer'	Chanticleer Pear	8"	Good	
011	Ulmus X 'Urban'	Urban Elm	8"	Good	
012	Alnus Glutinosa	Alder European Black	8"	Good	
013	Alnus Glutinosa	Alder European Black	8"	Good	
014	Ulmus Caminolia Accolade	Elm Accolade	8"	Good	
015	Ulmus Caminolia Accolade	Elm Accolade	8"	Good	
016	Ulmus Caminolia Accolade	Elm Accolade	8"	Good	
017	-	-	Existing	Good	
018	Gleditsia triacanthos inermis 'Sk. line'	Sk. line Honey Locust	18"	Good	
019	Gleditsia triacanthos inermis 'Sk. line'	Sk. line Honey Locust	8"	Good	To be Removed
020	Gleditsia triacanthos inermis 'Sk. line'	Sk. line Honey Locust	8"	Good	
021	Picea Pungens	Spruce Colorado Blue	6"	Good	
022	Picea Pungens	Spruce Colorado Blue	6"	Good	
023	Picea Pungens	Spruce Colorado Blue	7"	Good	
024	Picea Glauca	Spruce Black Hills	6"	Good	
025	Picea Glauca	Spruce Black Hills	8"	Good	
026	Picea Pungens	Spruce Colorado Blue	6"	Good	
027	Picea Abies	Norway Spruce	8"	Good	
028	Picea Abies	Norway Spruce	10"	Good	
029	Picea Abies	Norway Spruce	11"	Good	
030	Pinus Strobus	Pine Eastern White	8"	Good	
031	Pinus Strobus	Pine Eastern White	10"	Good	
032	Picea Abies	Norway Spruce	8"	Good	
033	Pinus Strobus	Pine Eastern White	10"	Good	
034	Picea Abies	Norway Spruce	11"	Good	
035	Picea Abies	Norway Spruce	10"	Good	
036	Picea Abies	Norway Spruce	6"	Good	
037	Picea Pungens	Spruce Colorado Blue	8"	Good	
038	Picea Pungens	Spruce Colorado Blue	6"	Good	
039	Picea Glauca	Spruce Black Hills	6"	Good	
040	Picea Glauca	Spruce Black Hills	6"	Good	
041	Picea Pungens	Spruce Colorado Blue	8"	Good	
042	Picea Abies	Norway Spruce	11"	Good	
043	Picea Abies	Norway Spruce	10"	Good	
044	Picea Abies	Norway Spruce	11"	Good	
045	-	-	21"	Good	
046	Acer Rubrum	Red Sunset Maple	12"	Good	To be Removed

TREE REPLACEMENT REQUIREMENTS					
TAG	Tree Size	Common Name	Native/Non Native	Replacement Requirements	Replacement Route
001	4"-12"	Linden Green Tree	Non Native	1 tree at 2.5"	1 tree at 2.5"
002	4"-12"	Linden Green Tree	Non Native	1 tree at 2.5"	1 tree at 2.5"
003	4"-12"	Red Sunset Maple	Cultivar	2 trees at 2.5" or 1 at 4"	1 tree at 4"
004	4"-12"	Red Sunset Maple	Cultivar	2 trees at 2.5" or 1 at 4"	1 tree at 4"
005	4"-12"	Red Sunset Maple	Cultivar	2 trees at 2.5" or 1 at 4"	1 tree at 4"
019	4"-12"	Sk. line Honey Locust	Native	2 trees at 2.5" or 1 at 4"	1 tree at 4"
005	4"-12"	Red Sunset Maple	Cultivar	2 trees at 2.5" or 1 at 4"	1 tree at 4"
Replacement Trees Required				2 trees at 2.5"	5 trees at 4"
Total trees				7 trees	

Trees denoted with \*\* on landscape plan are replacement trees due to Tree Preservation and Mitigation

**TREE PRESERVATION PLAN NOTES:**

- PRIOR TO ISSUANCE OF A LAND DEVELOPMENT PERMIT TREE PROTECTION FENCING MUST BE INSTALLED AROUND ALL EXISTING TREES TO BE PRESERVED. FENCING SHALL BE INSTALLED AT THE PERIPHERY OF THE DRIP LINE OF THE TREE TO BE PRESERVED OR A DISTANCE OF ONE FOOT FOR EVERY INCH CALIPER AS MEASURED TWELVE INCHES ABOVE GRADE WHICHEVER IS GREATER. SUCH FENCING SHALL BE SECURELY FASTENED TO METAL FENCE POSTS SPACED A MAXIMUM OF EIGHT FEET APART. SEE DETAIL BELOW.
- ALL SHADED TREE SYMBOLS WITH A LARGE 'X' ON THIS TREE RESERVATION PLAN INDICATE EXISTING TREES TO BE REMOVED.
- ALL TREE SYMBOLS ON THIS TREE PRESERVATION PLAN THAT ARE NOT SHADED INDICATE EXISTING TREES TO BE PROTECTED AND PRESERVED IN PLACE.
- A COPY OF THE APPROVED TREE PRESERVATION PLAN SHALL BE PRESENT ON SITE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
- ALL TREE PRESERVATION MEASURES WILL REMAIN IN PLACE AND IN PROPER CONDITION ON THE SITE FOR THE DURATION OF THE CONSTRUCTION PROJECT.



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7-27-20 PER VILLAGE REVIEW (7-7)  
6-9-20 PER VILLAGE REVIEW

**TREE SURVEY**

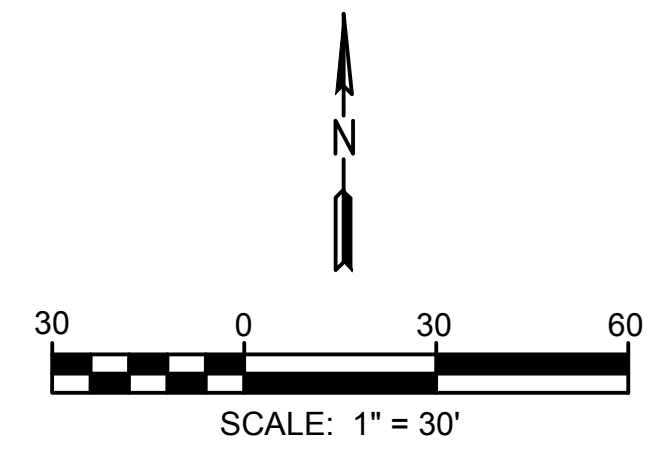
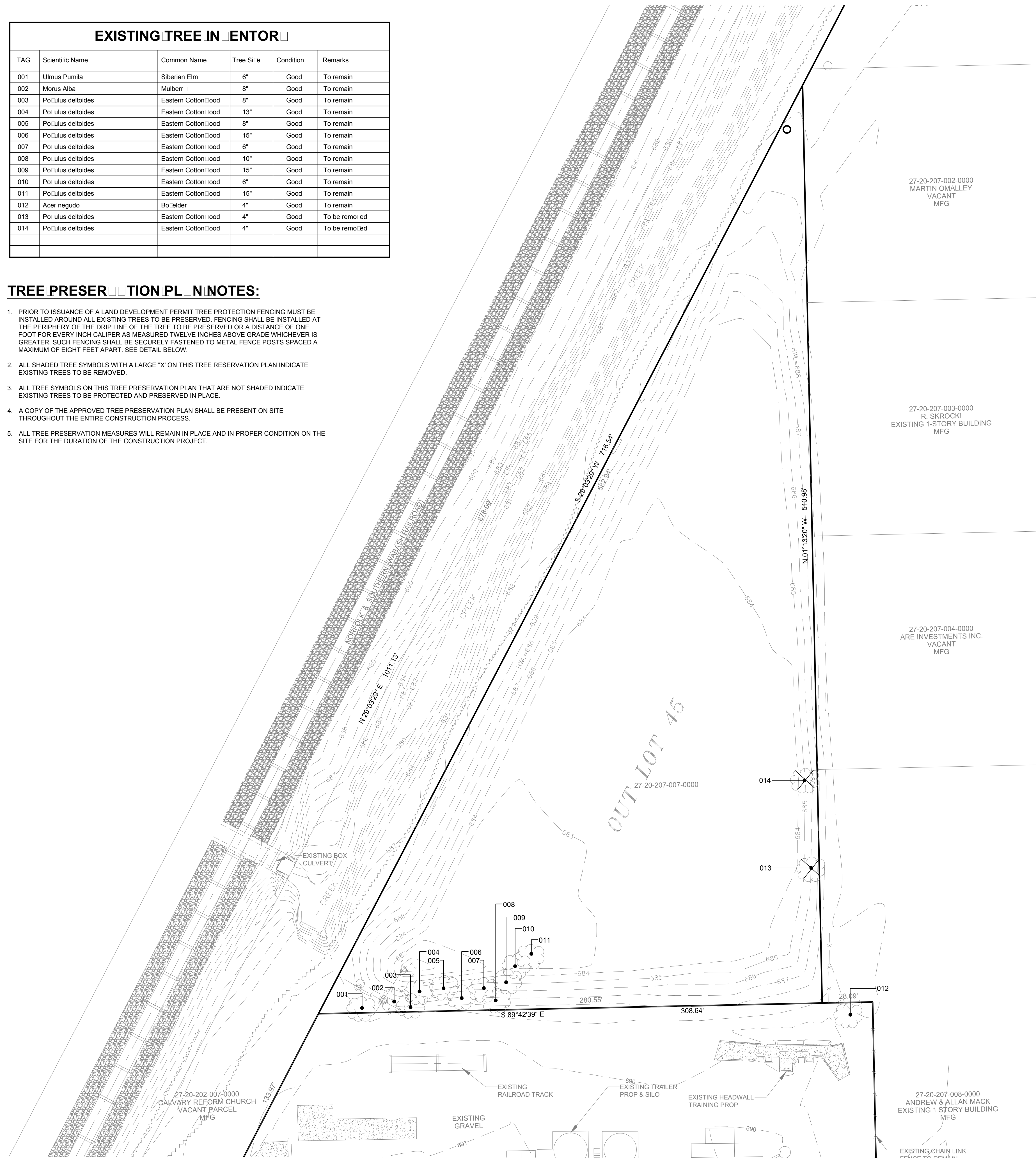
PROJECT #: 7208.06 DATE: 7-27-20

**LP-1.0**

EXISTING TREE INVENTORY					
TAG	Scientific Name	Common Name	Tree Size	Condition	Remarks
001	Ulmus Pumila	Siberian Elm	6"	Good	To remain
002	Morus Alba	Mulberry	8"	Good	To remain
003	Populus deltoides	Eastern Cottonwood	8"	Good	To remain
004	Populus deltoides	Eastern Cottonwood	13"	Good	To remain
005	Populus deltoides	Eastern Cottonwood	8"	Good	To remain
006	Populus deltoides	Eastern Cottonwood	15"	Good	To remain
007	Populus deltoides	Eastern Cottonwood	6"	Good	To remain
008	Populus deltoides	Eastern Cottonwood	10"	Good	To remain
009	Populus deltoides	Eastern Cottonwood	15"	Good	To remain
010	Populus deltoides	Eastern Cottonwood	6"	Good	To remain
011	Populus deltoides	Eastern Cottonwood	15"	Good	To remain
012	Acer negundo	Boxelder	4"	Good	To remain
013	Populus deltoides	Eastern Cottonwood	4"	Good	To be removed
014	Populus deltoides	Eastern Cottonwood	4"	Good	To be removed

**TREE PRESERVATION PLAN NOTES:**

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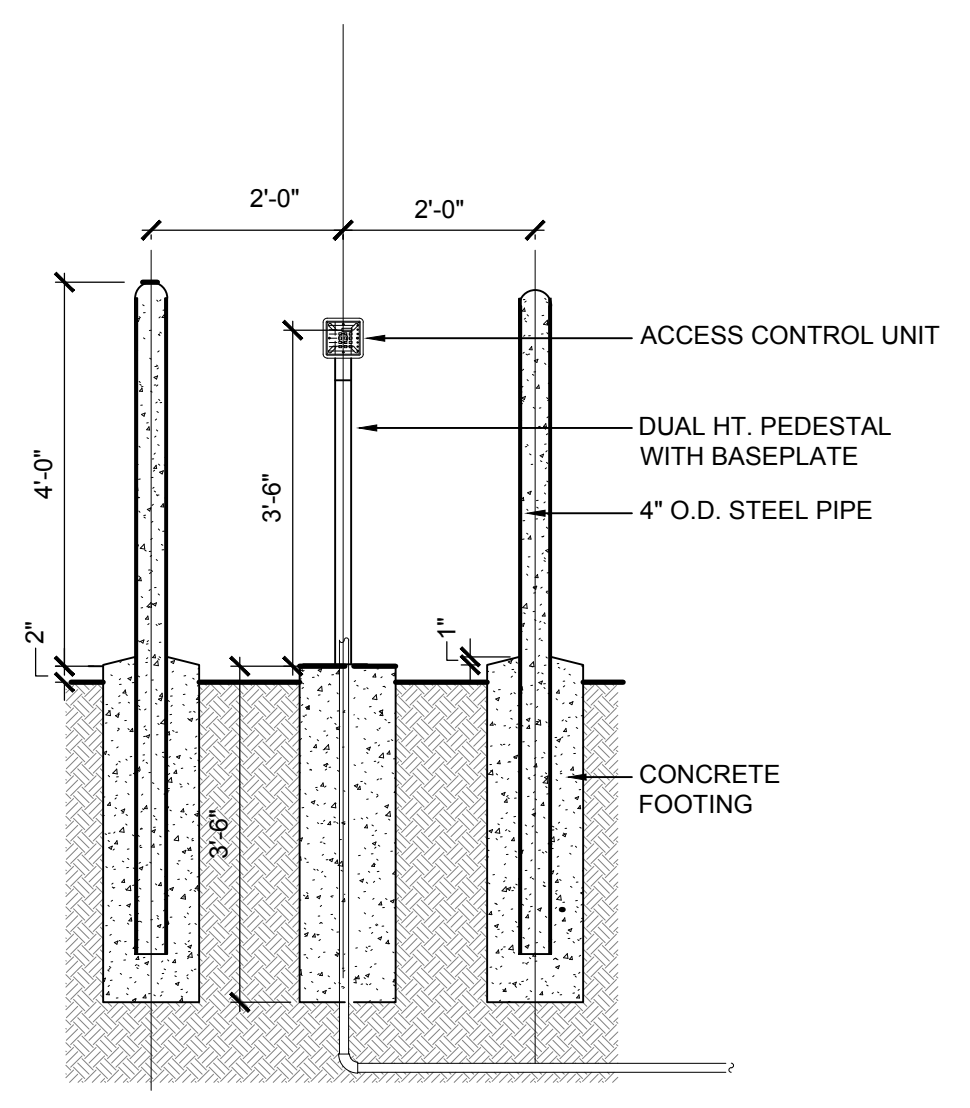
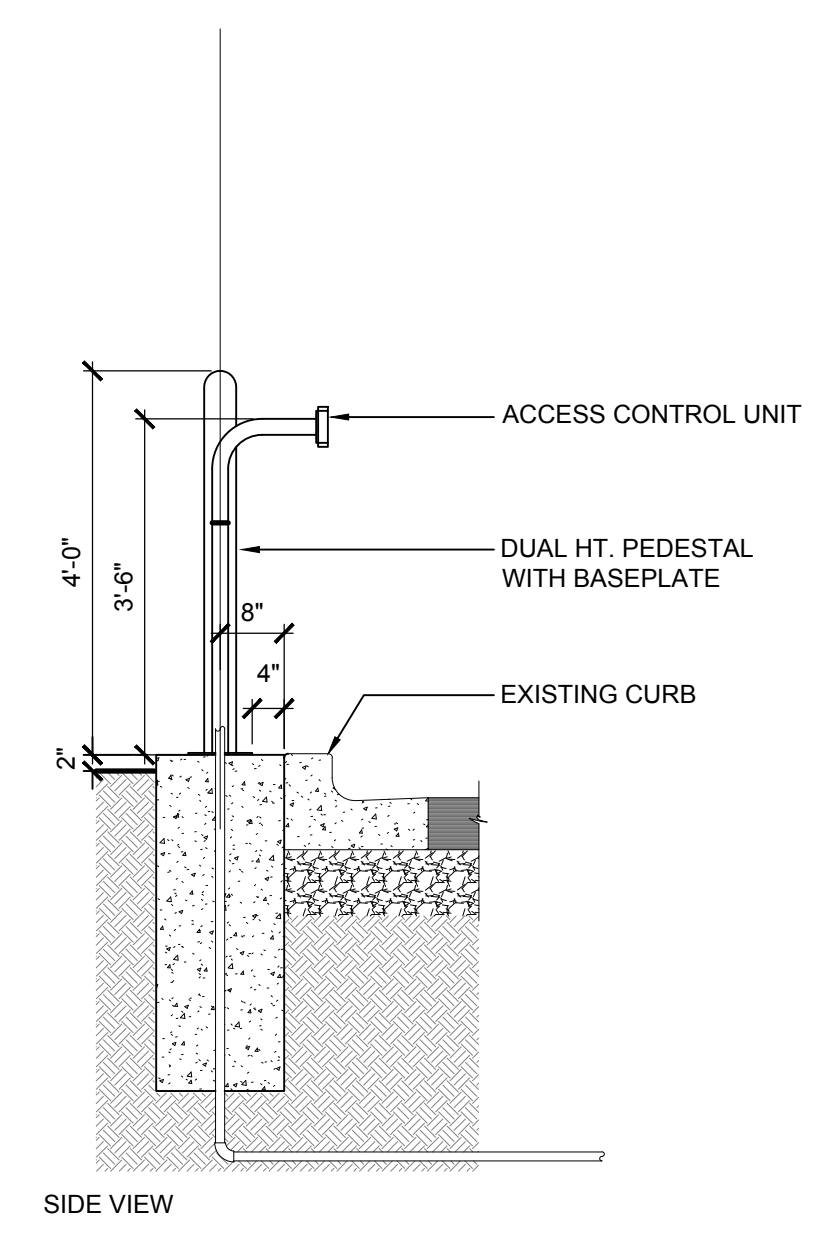
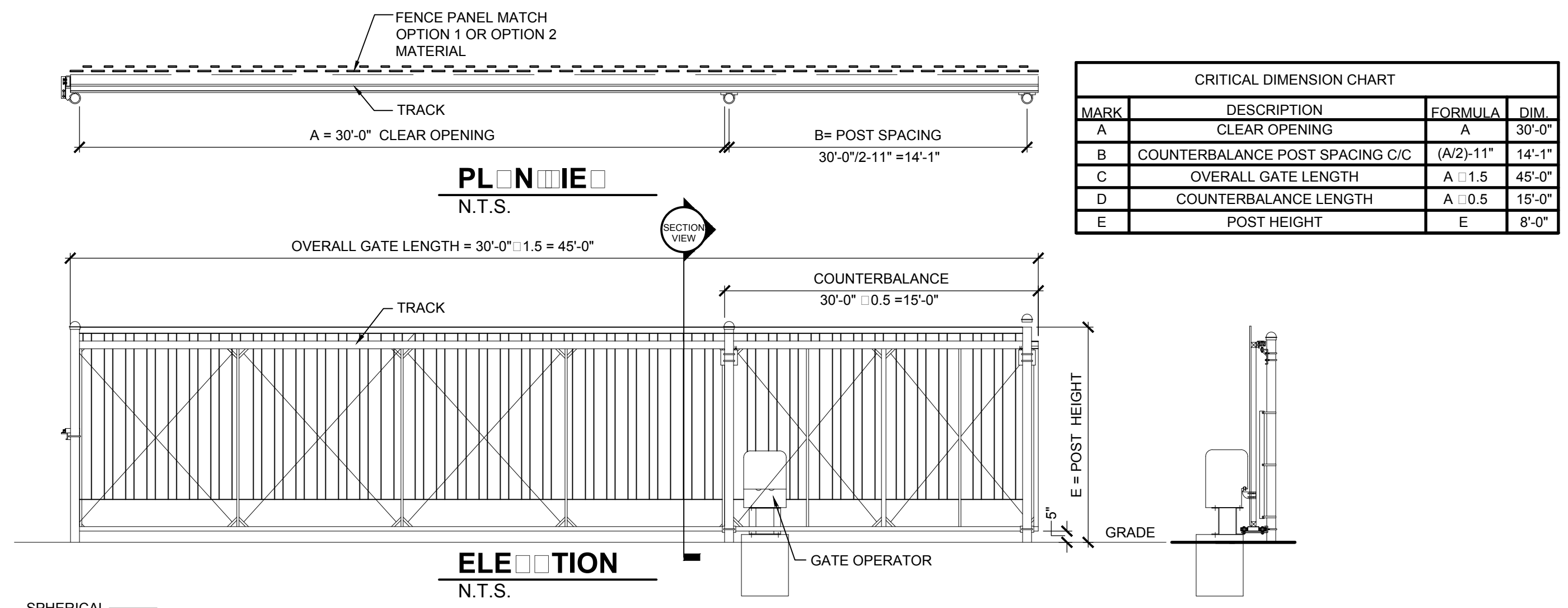
7-27-20 PER VILLAGE REVIEW (7-7)  
 6-9-20 PER VILLAGE REVIEW

**TREE SURVEY**

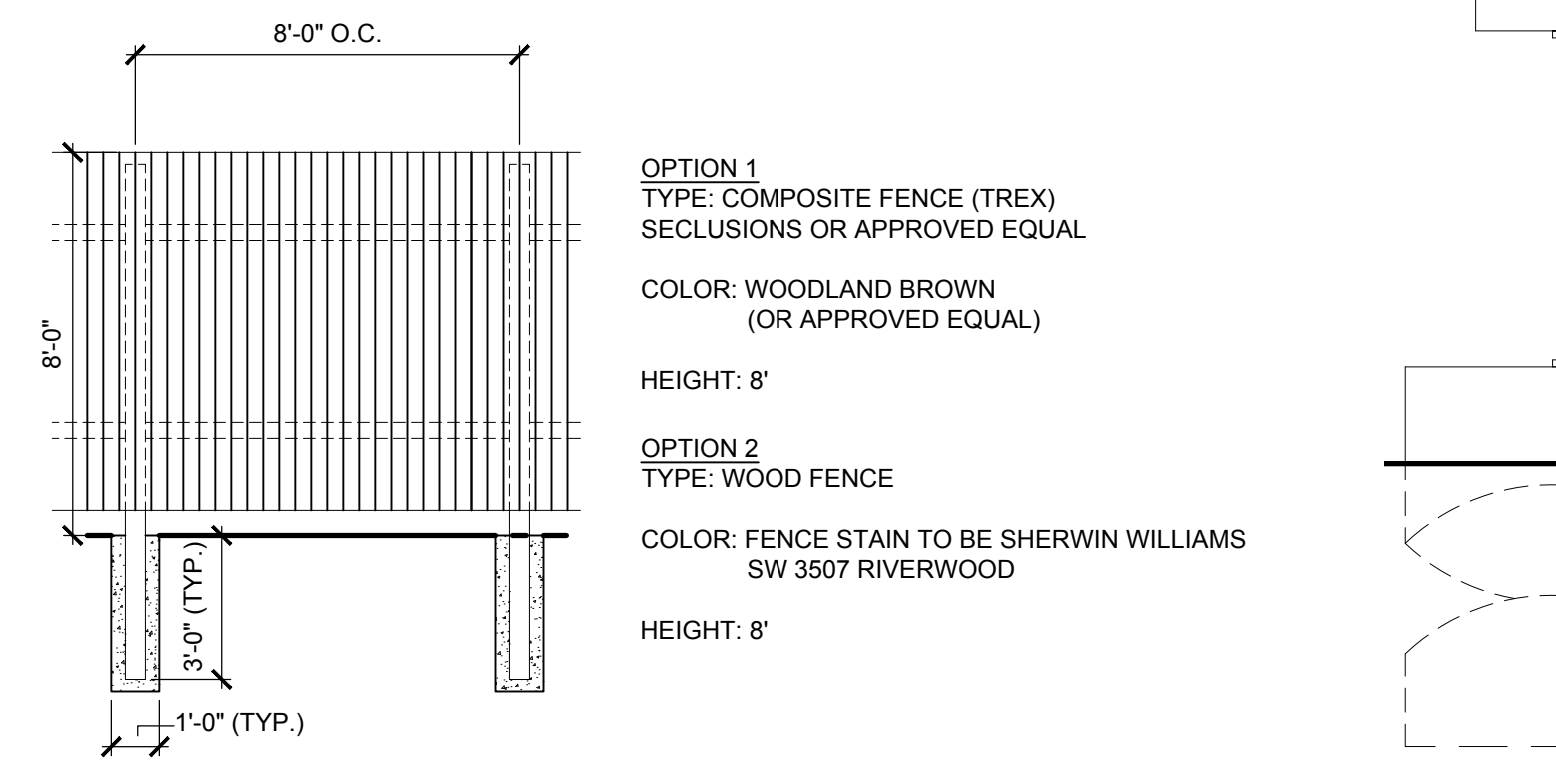
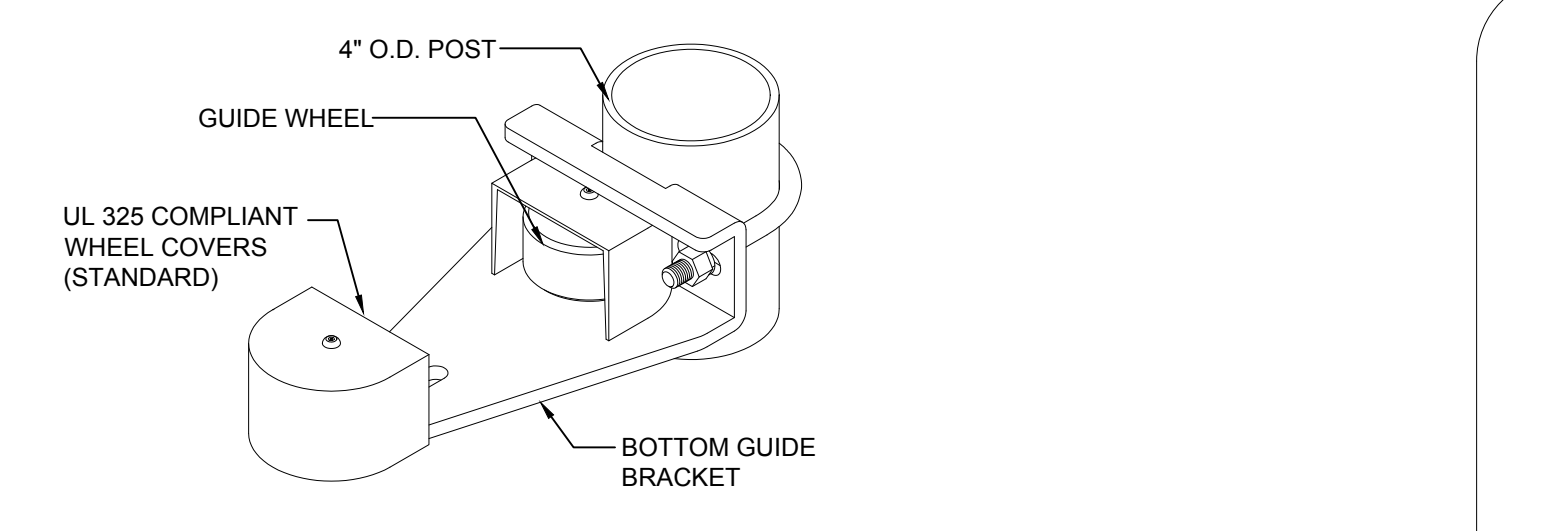
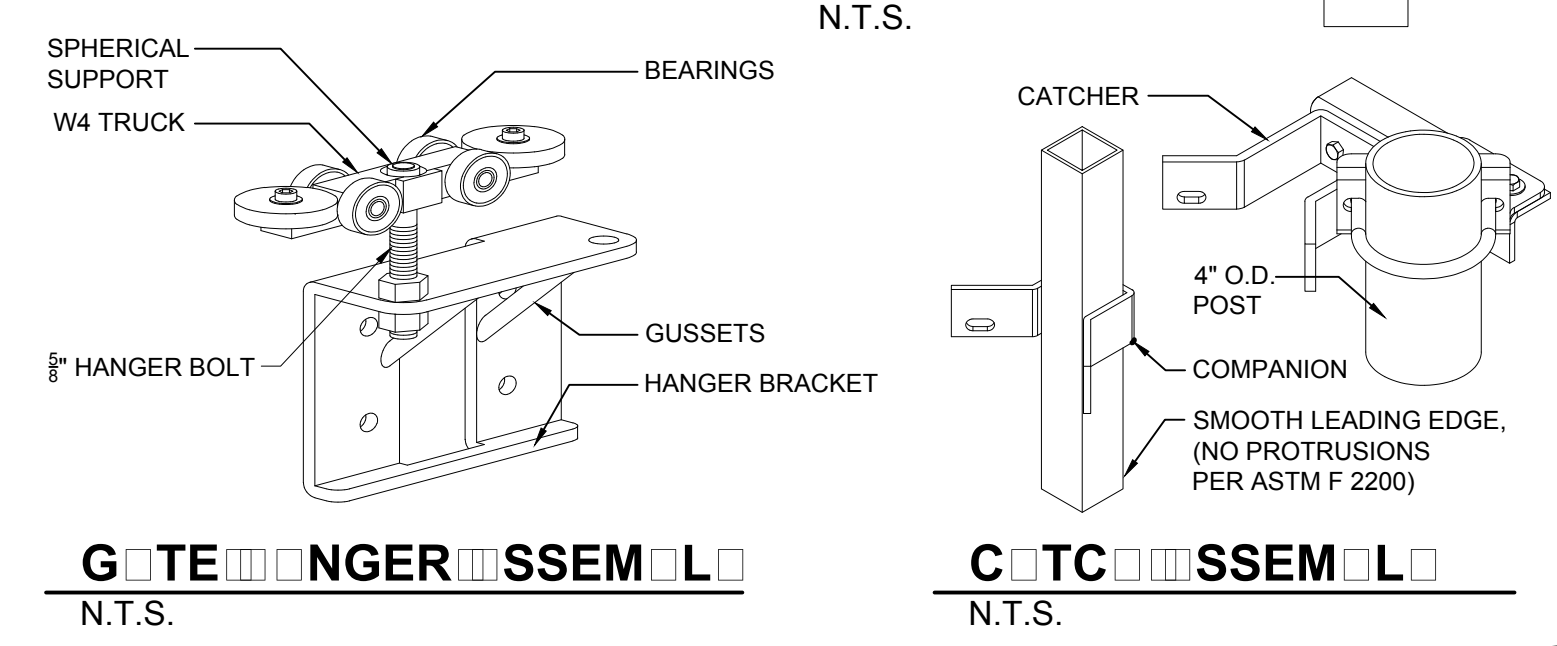
PROJECT #: 7208.06  
 DATE: 7-27-20

**LP-1.1**

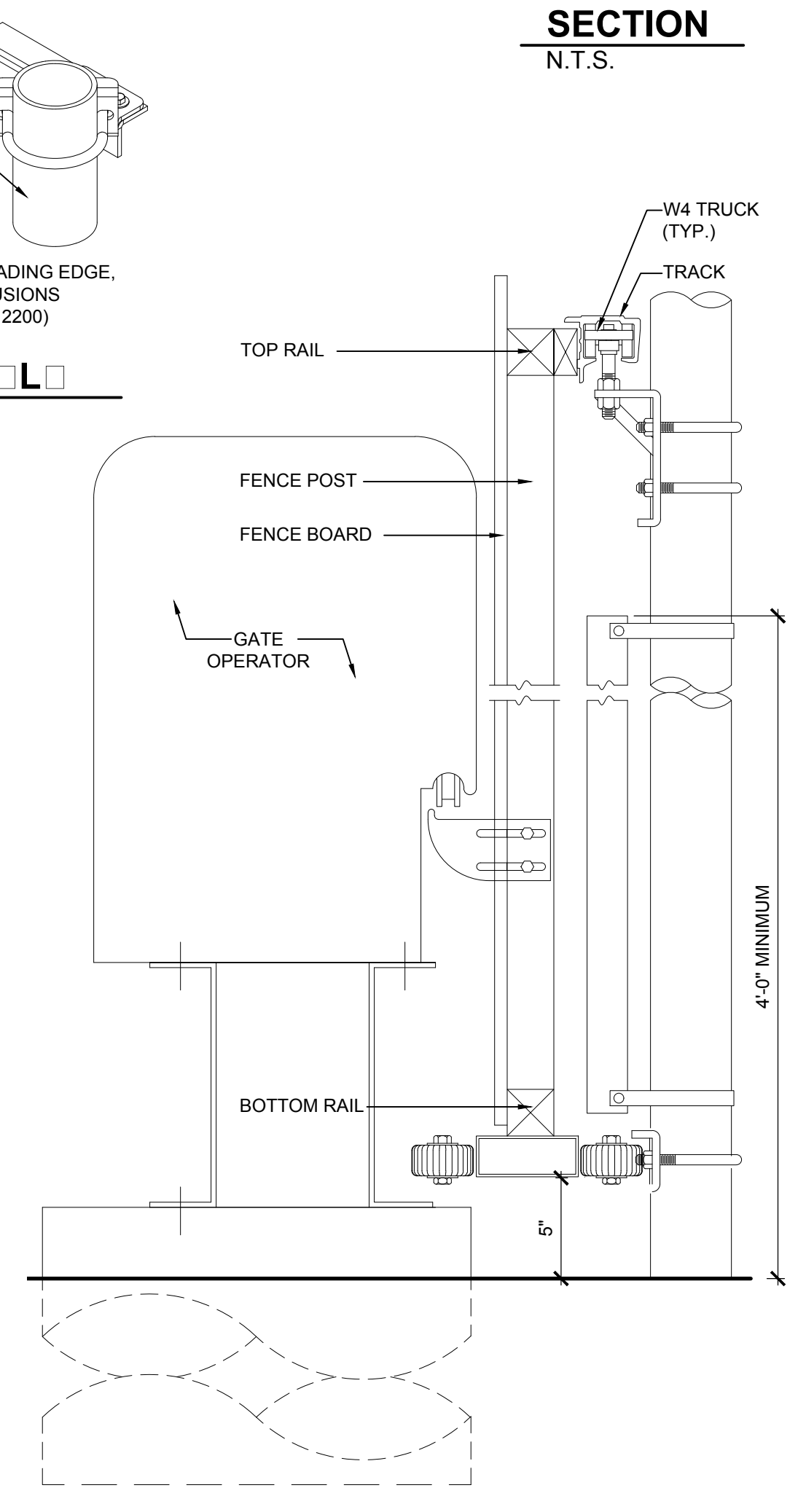




**ACCESS CONTROL DETAILS**  
 N.T.S.



**FENCE DETAILS**  
 N.T.S.



**ENLARGED SECTION**  
 N.T.S.



ADVANCED  
FENCE & GATE





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Bolingbrook, IL, 60440-1322  
(630) 759-9330

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Find Available Siding Stains

## SW 3507 Riverwood

Exterior Semi-Transparent Stain

[View all Semi-Transparent stain colors](#)

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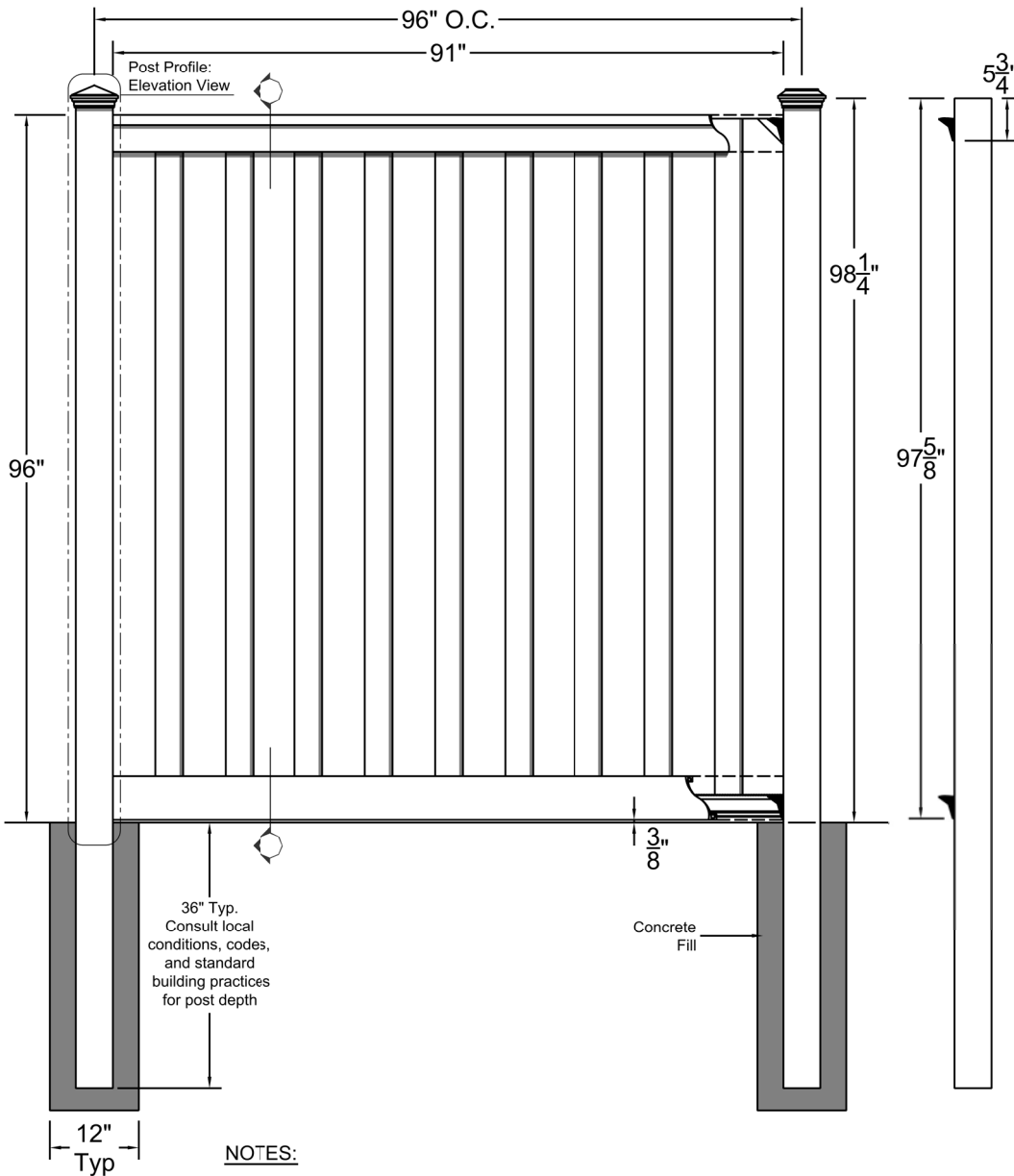
[houzz](#)

Due to individual computer monitor limitations, colors seen here may not accurately reflect the selected stain. To confirm your color choices, visit your neighborhood Sherwin-Williams store and refer to our in-store color cards.

# Trex® Seclusions®

## COMPOSITE FENCING SYSTEM

ARCHITECTURAL DRAWING:  
TREX SECLUSIONS FENCING  
8' TALL x 8' WIDE

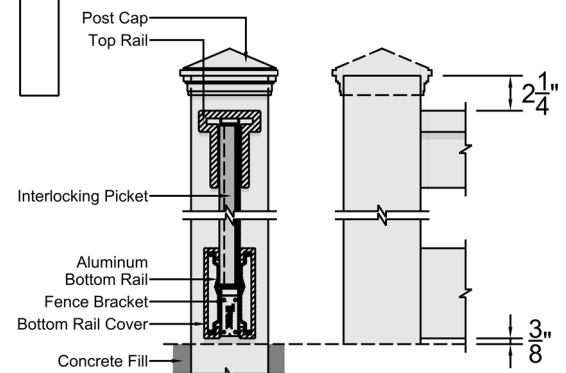


COMPONENTS	QUANTITY	LENGTH
Post Cap: Pyramid, Flat, or Crown	1	
5" x 5" Post	1	144" *
4" x 4.9" Top Rail	1	91" *
1"x5.75" Interlocking Picket	19	91" *
1" x 5.75" Bottom Rail Cover	2	91" *
Aluminum Bottom Rail	1	90 1/2"
Fence Bracket	4	
1 5/8" (Typ) Exterior Wood Screws	24	

\* Length may vary

### NOTES:

1. INSTALLATION TO BE COMPLETED PER MANUFACTURER'S SPECIFICATION.
2. THIS DRAWING IS PROVIDED FOR PLANNING PURPOSES. REFER TO MANUFACTURER'S INSTALLATIONS FOR CONSTRUCTION DETAILS.
3. REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT INFORMATION.
4. DRAWING NOT TO SCALE.



Post Profile: Cut View / Elevation View

160 EXETER DR., WINCHESTER VA, 22603  
WWW.TREXFENCING.COM

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# About Advanced Fence & Gate



Advanced Fence & Gate is a full-service, Chicago based, professional fence contractor providing fence installation to homeowners, general contractors, home builders, architects, and landscapers throughout the greater Chicagoland area.

We specialize in quality materials that are installed by our professionally trained crews. What that means is our customers won't get a limited level of service or inferior fencing and gates that will have to be repaired or replaced in just a few short years.

We are experienced Trex Fencing installers. Trex fits nicely into our product portfolio because it is exactly the type of fence that our discerning customers would expect from us. For residential or commercial customers that need privacy, durability, and a striking fence with a distinct design, we recommend Trex fencing. Learn more about the benefits and applications of the product in this presentation.

Learn more at  
[AdvancedFence.com](http://AdvancedFence.com)



# Get to Know Trex

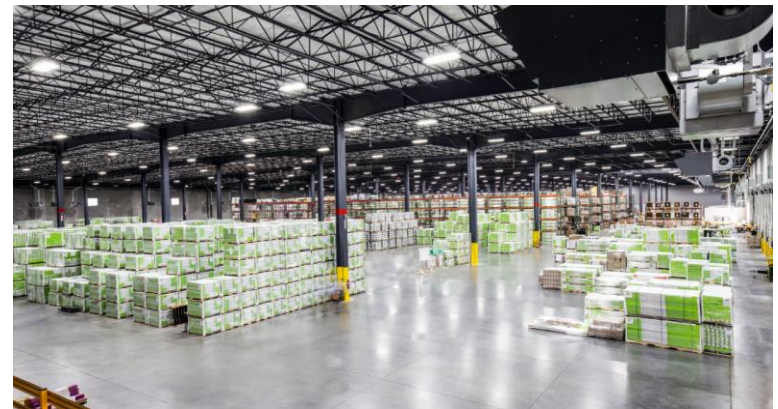
## TREX COMPANY INC.

- Founded in 1996, went public 1999 (NASDAQ: TREX)
- Headquartered in Winchester, VA
- Manufacturing facilities in Winchester and Fernley, NV
- Inventor of reclaimed wood-plastic materials
- Largest manufacturer of wood-alternative products
- Recognized global brand carried by 6,700+ retail locations worldwide
- Code-listed by the nation's three major building code agencies
- Corporate leader in recycling and environmental programs



## TREX FENCING

- Developed in early 2000s
- First installed in 2005
- Double digit sales growth since 2011
- Horizons introduced in 2015
- Sold throughout North America
- Market includes residential, HOAs, commercial, and government
- Distributed by and supported through FDS Fence Distributors



Learn more at [Trex.com](https://www.trex.com)



# What is Trex Composite?

- “Green” building product (95% recycled)
- The leading brand of manufactured products for outdoor building
- 50% plastic and 50% wood
- Natural, wood-like appearance



*Trex keeps about 500 million pounds of plastic and wood scrap out of landfills every year.*





# Fencing Systems



With incredible product benefits and design, Trex Fencing is securing outdoor living borders.

# Trex® Seclusions®

COMPOSITE FENCING SYSTEM



- Never needs painting or staining
- Resists insect damage and won't warp, rot, or splinter
- Board-on-board look; same on both sides
- Withstands high winds
- Customizable for heights up to 12ft; easy to slope; adaptable design



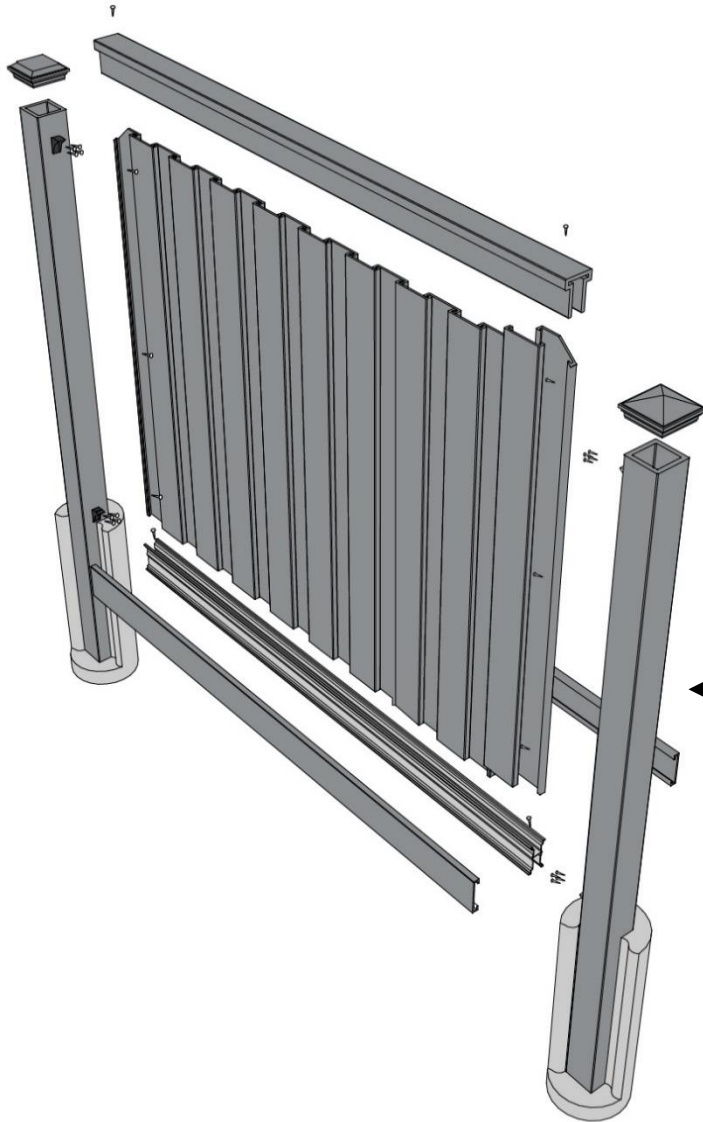
Beauty And Privacy From Every Angle

Learn more at [AdvancedFence.com](https://www.advancedfence.com)



# Trex® Seclusions®

COMPOSITE FENCING SYSTEM



## 6x8 FENCE KIT

- 4 Fence Brackets
- 1 Top Rail
- 19 Pickets
- 2 Bottom Rail Covers
- 1 Aluminum Bottom Rail
- 24 Fasteners

← The Trex post is universal. It is used for lines, ends, corners, and gates. It also can be used with other products such as ornamental panels.

Seclusions can be constructed to 8ft tall without mid rails and to custom heights up to 12ft with mid rails and steel post stiffeners.

# Trex® Seclusions®

## COMPOSITE FENCING SYSTEM

### Fence Components



**Top Rail**  
4"x4.9"x91"



**Bottom Rail  
Cover/Picket**  
1"x5.75"x67"  
1"x5.75"x91"



**Bracket**  
1.9"x2.7"



**Angle Adaptor**  
2.65"x1.25"



**8, 9, 12ft Posts**  
5"x5"



**Aluminum Bottom  
Rail**  
(6063 alloy T5 temper  
rating)



**Gate Post Stiffener**  
3.5"x3.5"



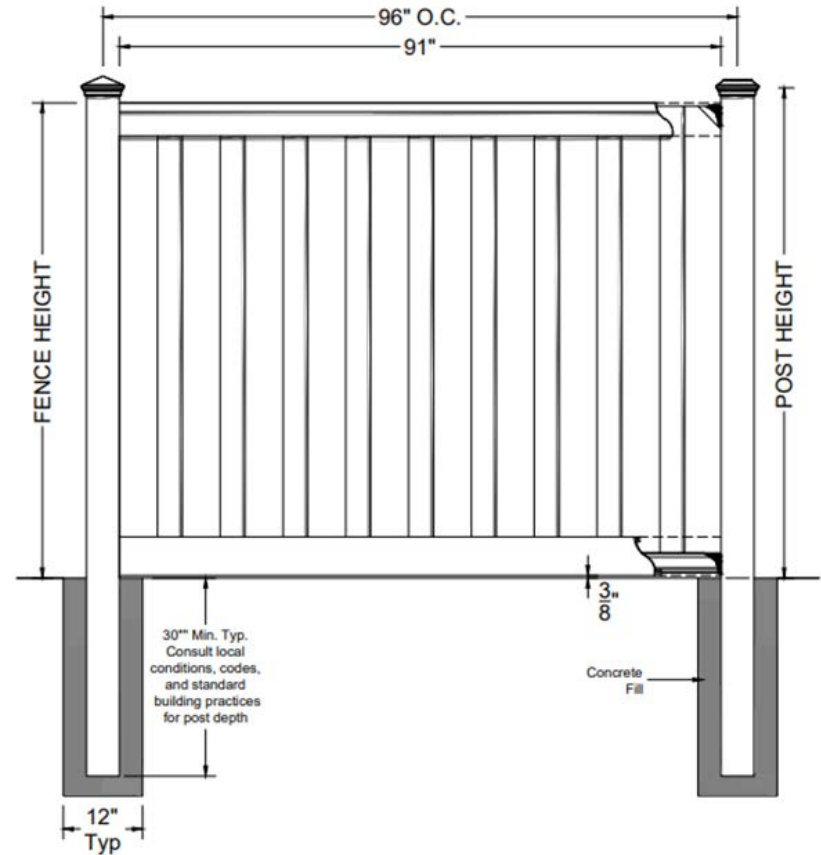
**Crown Cap**  
5.25"x1.5"



**Flat Cap**  
7.5"x2.6"



**Pyramid Cap**  
7.5"x3.8"



Architectural drawings for all heights are available at [YourNextFence.com/Support](http://YourNextFence.com/Support)

# Trex<sup>®</sup> w/ Horizons<sup>™</sup>

## HORIZONTAL FENCE SYSTEM



- Contemporary horizontal board-on-board design; same on both sides
- Sleek steel black frame with interlocking picket system
- Low-maintenance
- Customizable for heights up to 12ft; adaptable design



A Smart Design for a Contemporary Look

Learn more at  
[AdvancedFence.com](https://www.advancedfence.com)

# Trex<sup>®</sup> w/ Horizons<sup>™</sup>

## HORIZONTAL FENCE SYSTEM

### 6x8 FENCE KIT

- 2 Horizontal Rails
- 2 Top Rail Horizontal Brackets
- 2 Vertical Back Rails
- 2 Vertical Front Rails
- 15 Interlocking Pickets
- 50 Fasteners

← The Trex post is universal. It is used for lines, ends, corners, and gates. It also can be used with other products such as ornamental panels.

Horizons can be constructed to 8ft tall without mid rails and to custom heights up to 12ft with mid rails and steel post stiffeners.





# Trex<sup>®</sup> w/ Horizons<sup>™</sup>

## HORIZONTAL FENCE SYSTEM

### Fence Components



**8, 9, 12ft Posts**  
5"x5"



**Picket**  
1"x5.75"x91"



**Horizontal Rail**  
1.5"x1.25"x91"



**Gate Post Stiffener**  
3.5"x3.5"



**Vertical Back Rail**  
1.5"x73.5"



**Vertical Front Rail**  
1.5"x73.5"



**Horizontal Top Rail Bracket**  
1"x1.125"x1.25"



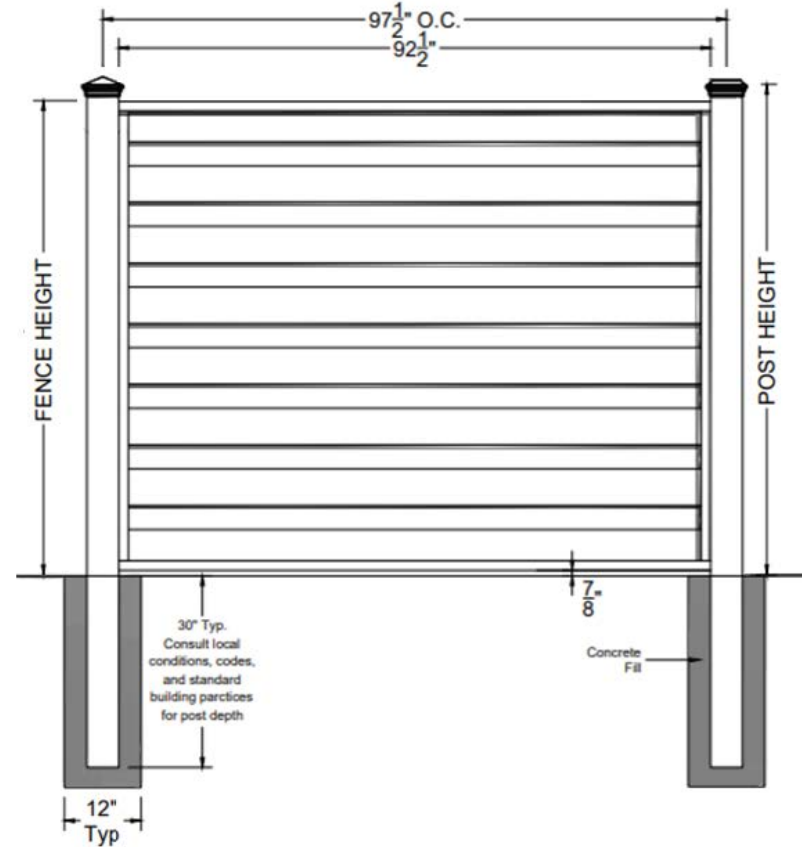
**Crown Cap**  
5.25"x1.5"



**Flat Cap**  
7.5"x2.6"



**Pyramid Cap**  
7.5"x3.8"



Architectural drawings for all heights are available at [YourNextFence.com/Support](http://YourNextFence.com/Support)

# Trex Fence Colors



## Color Your World With Rich, Natural Hues that Complement Any Landscape

Saddle weathers from a dark tan to light tan. It is popular on properties that emphasize earth tones or it is used to resemble a natural stain of a wood fence.

Winchester Grey weathers to a light grey and is popular in combination with a white or black accent. It can complement natural colors in brick or masonry and can be attractive when used in contemporary urban design.

Woodland Brown is the darkest Trex fencing color. It is a dark brown which fades the least from its new color. It is often popular as a contrast to lighter colors on the property.

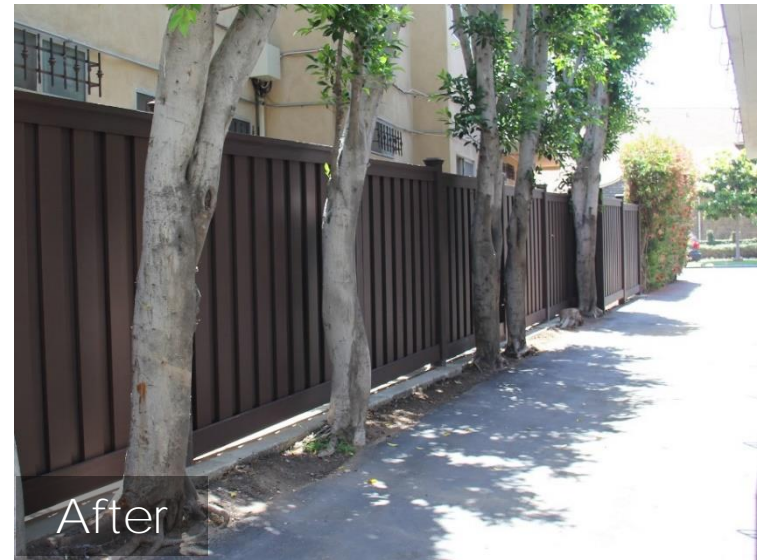
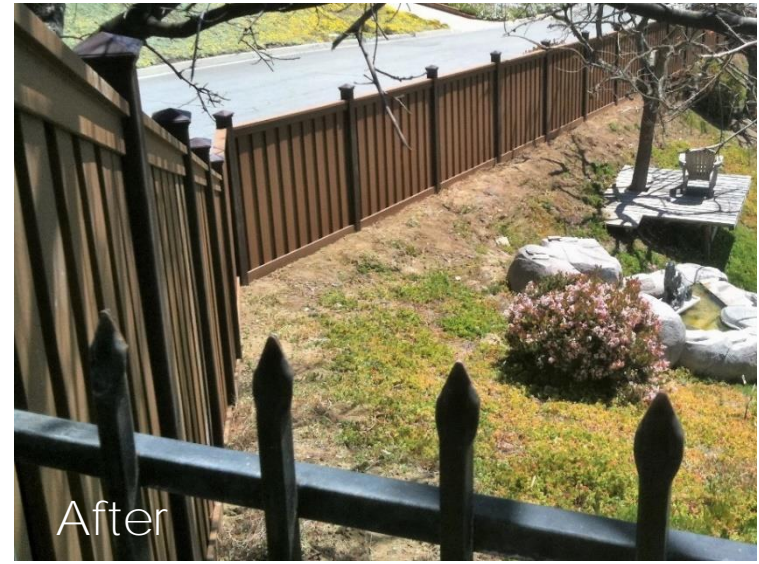
**The weathering process.** As sunlight interacts with plastic, it will cause the surface to lighten. For its own product, Trex compensates for this natural phenomenon by over-pigmenting the material during production. This allows the composite to weather to a lighter value over a short period of time. This is a limited transition. Trex will retain color throughout its life.

# Product Comparison

Requirement	TREX	Wood	Vinyl	Other Composites	Masonry
Maximum Post Spacing	8'	4' - 8'	6' - 8'	6' - 8'	N/A
Heights up to 12 ft tall	✓				✓
No painting/staining	✓		✓	✓	✓
Rot-free, insect resistance	✓		✓		✓
Performs well against warping, cracking, splitting, chipping, etc.	✓				✓
Easy to repair	✓		✓		
Long-lasting, natural wood-like matte finish	✓				
Standard design is fully private (no gaps between pickets)	✓		✓		✓
25+ years of company and product longevity	✓				
Same look on both sides	✓		✓		✓
Manufacturer warranty	✓		✓	✓	
LEED point contribution	✓				
Recycled content	95%	0%	0%	<75%	varies
Green manufacturing	✓			some	
High wind load performance	✓				✓
Low-impact installation	✓	✓	✓	✓	



# Before and After – What a Difference!





# Get Creative with Trex Fencing



*Decorative additions*



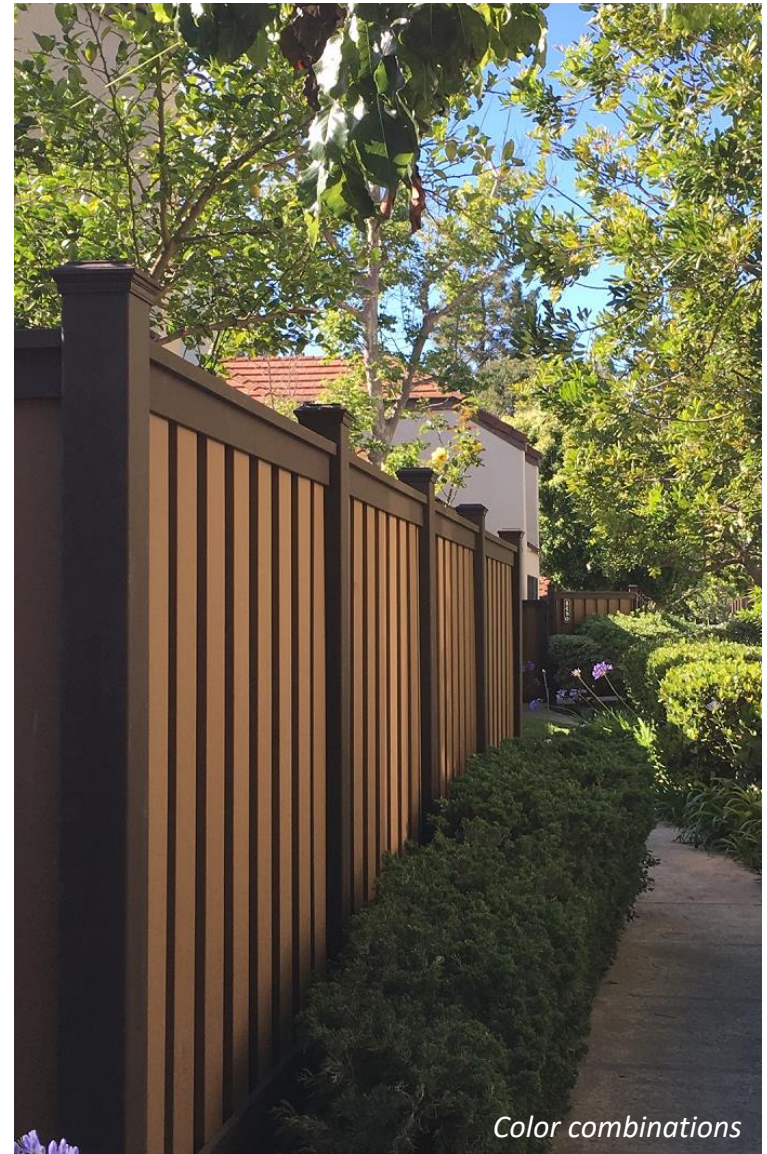
*Horizons frames*



*Masonry columns*



*Ornamental panels*



*Color combinations*

# Technical Resources

Available upon Request

- Architectural Drawings / Dimensional Data
- Wind Load, Acoustical, Stress Testing
- American Society for Testing and Materials (ASTM)
- Engineered Master Plan Sheets (MPS)
- Material Safety Data Sheet (MSDS)
- Warranty: Residential & Commercial
- Installation Guidelines





# Marketing Support

Contact our team for marketing materials

847-621-2115 / [info@advancedfence.com](mailto:info@advancedfence.com)

- Product brochures
- Color samples
- Tabletop fence displays
- Tailored presentation documents
- Onsite visits





Engineering What's Next  
in Outdoor Living™



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DATE: September 2,  
2020

## **REQUEST FOR ACTION REPORT**

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File Number: **2020-0594**

Orig. Department:

File Name: **Memo: New Petitions**

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**BACKGROUND:**

**BUDGET IMPACT:**

**REQUESTED ACTION:**

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## Memorandum

**To:** Plan Commission  
**From:** Ed Lelo, Director of Development Services  
**Date:** September 2, 2020  
**Subject:** New Petitions & Appearance Reviews

Below, please find a summary of recently petitioned projects and appearance reviews. Petitioned projects are currently under review by staff and may or may not be on a future Plan Commission agenda. These projects have been petitioned to the Village but may not have obtained all the approvals required to begin work. Projects sometimes are terminated without moving forward for a variety of reasons. Appearance Reviews and Certificates of Appropriateness are reviewed and approved administratively. The below list does not include cell tower or solar panel projects. Please contact me with any questions regarding the below projects.

### **Appearance Review Petitions**

Carl Sandburg High School - Baseball Field Renovations – 13300 South LaGrange Road

Heritage Home Improvements – Garbage Enclosure – 16249 107<sup>th</sup> Avenue, Suite 9

### **Development Petitions**

None

### **Certificate of Appropriateness Petition**

None

### **Board Approved Petitions**

Orland Fire Protection District – Maintenance Facility – 10704 163<sup>rd</sup> Place

Megan Nicole Ridge – New Subdivision – 13201 88<sup>th</sup> Avenue