



ANIMAL HOSPITAL
 11205 183rd Place
 Orland Park, Illinois 60467

ENGINEER	CIVIL ENGINEER	CONSTRUCTION MANAGEMENT	ARCHITECT
LINDEN GROUP, INC. 10100 ORLAND PARKWAY SUITE 110 ORLAND PARK, ILLINOIS 60467 P: 708-799-4400 F: 708-799-4434 WWW.LINDENGROUPINC.COM	ADVANTAGE CONSULTING ENGINEERS 80 MAIN STREET, SUITE 17 LEMONT, ILLINOIS PH.: 847-260-4758	RWE MANAGEMENT COMPANY 16 W. 361 S. FRONTAGE RD, SUITE 106 BURR RIDGE, ILLINOIS 60527 PH.: 630-734-0883 FX.: 630-734-0884	LINDEN GROUP, INC. 10100 ORLAND PARKWAY, SUITE 110 ORLAND PARK, ILLINOIS 60467 PH.: 708-799-4400 FX.: 708-799-4434 WWW.LINDENGROUPINC.COM

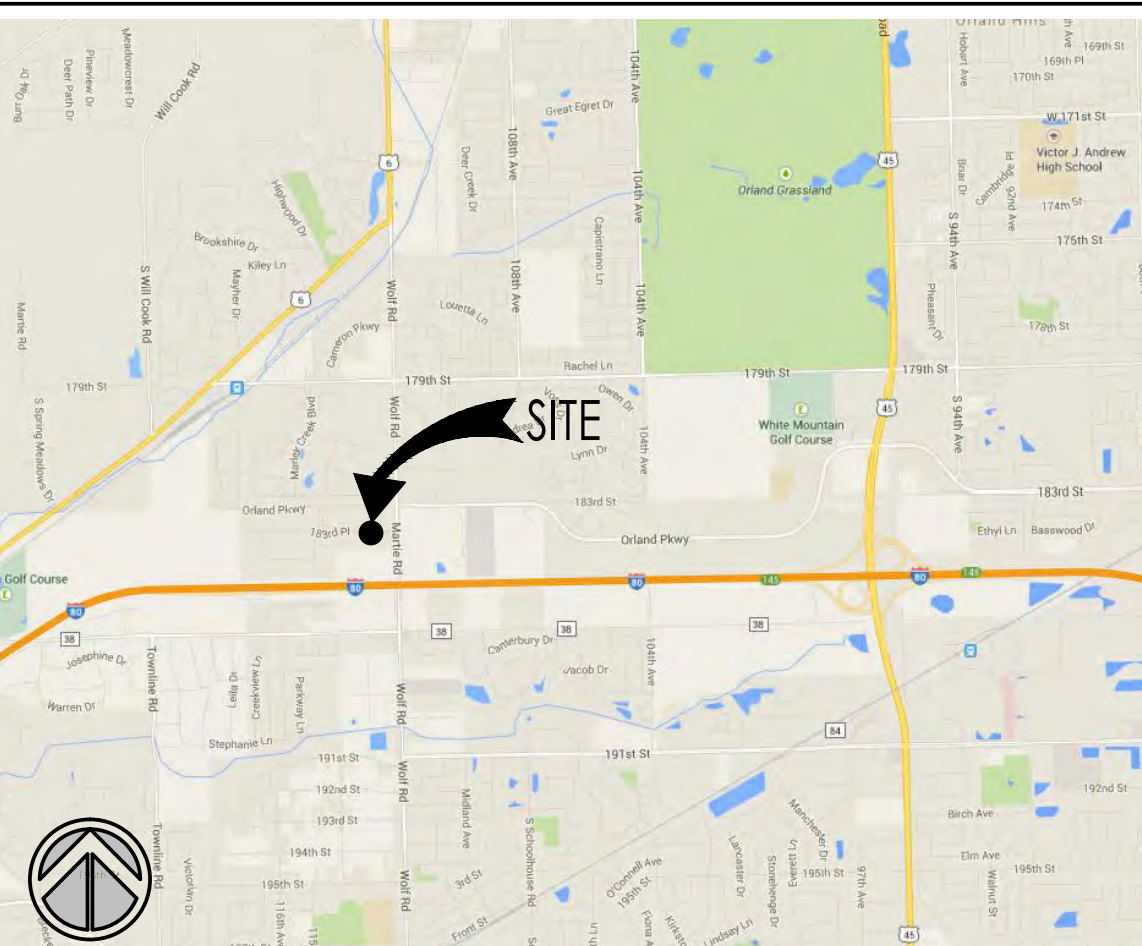
GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING THEIR BID. ALL CONTRACTORS TO VERIFY ALL EXISTING DIMENSIONS, MATERIALS AND CONDITIONS IN THE FIELD, AND TO REVIEW ALL PROPOSED NEW CONSTRUCTION BEFORE SUBMITTING BIDS AND STARTING CONSTRUCTION. NOTIFY OWNER IN WRITING OF ANY DISCREPANCIES. FAILURE TO MEET THIS REQUIREMENT SHALL NOT BE CAUSE FOR ANY ADDITIONAL COMPENSATION.
- VERIFY ALL DIMENSIONS IN THE FIELD. WRITTEN DIMENSIONS AND/OR LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE. DO NOT SCALE THE DRAWINGS.
- ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER. ALL MATERIALS & EQUIP. TO BE USED & INSTALLED IN STRICT ACCORDANCE WITH ALL MUNICIPAL BUILDING CODES & ALL OTHER APPLICABLE BUILDING CODES, & REGULATIONS.
- EACH CONTRACTOR SHALL FURNISH AND INSTALL ALL NEW MATERIALS, FIXTURES, EQUIP., ETC. AS INDICATED AND/OR SPECIFIED, AND AS REQUIRED TO COMPLETE THE WORK, WHETHER SPECIFICALLY CALLED FOR OR NOT. ANY DETAILS NOT SPECIFICALLY INDICATED ON THE DRAWINGS SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL NOT BE EXECUTED WITHOUT THE OWNERS APPROVAL.
- THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL A LIST OF MATERIALS, FIXTURES, AND EQUIPMENT, INCLUDING TYPE AND QUALITY TO BE USED IN THE CONSTRUCTION OF THIS WORK. COLORS AND FINISHES SHALL BE COORDINATED BY THE OWNER AND THE CONTRACTOR/DEVELOPER.
- ALL MATLS. SHALL BE INSTALLED PER THE MANUF. SPECS. THESE RECOMMENDS. SHALL TAKE PRECEDENCE OVER CONFLICTING DETAIL DWGS FOUND HEREIN.
- ALL CONTRACTORS SHALL COORDINATE THEIR WORK WITH THE OWNER TO MINIMIZE DISRUPTION OF BUSINESS OPERATIONS. (IF APPLICABLE) NOTIFY OWNER AND/OR THE AUTHORITY HAVING JURISDICTION AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION. FOR ANY SERVICE INTERRUPTION, IF REQUIRED, NOTIFY OWNER AT LEAST 72 HOURS IN ADVANCE.
- ALL CONTRACTORS ARE RESPONSIBLE FOR CONTAINING THEIR CONSTRUCTION DEBRIS WITHIN THE CONSTRUCTION AREA, REMOVING IT FROM THE PREMISES AS SOON AS POSSIBLE & DISPOSING OF IT PROPERLY IN CONTRACTOR PROVIDED DUMPSTER. CLEAN WORKING CONDITIONS SHALL BE MAINTAINED ON A DAILY BASIS. MAINTAIN THE CONSTRUCTION AREA IN A BROOM CLEAN CONDITION.
- ALL CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH OTHER TRADES. WORK SHALL BE PROPERLY SEQUENCED TO AVOID DELAYS OR CONFLICTS WITH THE INTERCONNECTED WORK OF OTHERS.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- PROVISIONS FOR, & LOCATIONS OF FIRE EXTING., FIRE HOSES, SMOKE DETECTORS, SECURITY SYSTEMS, TEMP. CONTROLS, AND EMERGENCY SYSTEMS, ETC. SHALL BE MADE JOINTLY BETWEEN THE OWNER, CONTRACTOR, AND THE AUTHORITY HAVING JURISDICTION, IF THE EQUIPMENT IS NOT ALREADY SHOWN ON THE PLANS.
- ALL FIRESTOPPING AS PER STATE AND LOCAL CODES.
- PROVIDE CONTROL JOINTS OVER DOORS IN GYPSUM BOARD WALLS AND AS PER MANUFACTURER'S RECOMMENDATIONS.
- ALL INTERIOR FINISHES ARE TO COMPLY WITH THE FOLLOWING AND APPROVED BY A RECOGNIZED THIRD PARTY TESTING AGENCY.
 - WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 AS CLASS A FOR FLAME SPREAD AND SMOKE DEVELOPMENT.
 - FLR. FINISHES SHALL BE CLASS I OR CLASS II IN ACCORDANCE W/ NFPA 253.
- THERMAL & SOUND INSULATING MATERIALS IN EXPOSED OR CONCEALED INSTALLATIONS SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS & A SMOKE DEVELOPED RATING OF 450 OR LESS WHEN TESTED IN ACCORD. WITH ASTM-E84.
- NO ALTERATION TO WORK OR ANY SUBSTITUTIONS OF MATERIALS WILL BE ACCEPTED UNLESS APPROVED BY OWNER/G.C.-DEVELOPER IN ADVANCE.
- ALL DEFECTIVE OR INTERIOR MATERIALS, SLOPPY WORKMANSHIP AND OTHER DEFICIENCIES SHALL BE CORRECTED AND/OR REPLACED BY APPROPRIATE CONTRACTORS AT THEIR EXPENSE.

GENERAL NOTES (cont.)

- ALL WORK SHALL BE GUARANTEED FOR NOT LESS THAN ONE YEAR OR AS PER OWNER'S CONTRACT.
- THE COMPLETED PROJECT SHALL BE TURNED OVER TO THE OWNER IN COMPLETE OPERATING CONDITION REGARDLESS OF THE DRAWINGS, REFERENCE NOTES OR SPECIFICATIONS WHICH MAY NOT COVER EVERY DETAIL.
- THE OWNER SHALL HAVE CONTROL OF ALL OPERATIONS AND SHALL ACCEPT OR REJECT THE SCHEDULE AND PERFORMANCE OF THE CONTRACTOR.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE AS-BUILTS (ARCHITECTURAL, ELECTRICAL, FIRE DETECTION, COMMUNICATIONS, PLUMBING, & MECHANICAL) & OPERATING MANUALS FOR ALL EQUIP. & SYSTEMS INSTALLED.
- ALL ANGLED WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
- COMBUSTIBLE MATERIALS SHALL NOT BE STORED IN EXITS OR EXIT ENCLOSURES, BOILER ROOMS, MECHANICAL ROOMS, ELECTRICAL EQUIPMENT ROOMS, OR SPRINKLER ROOMS.
- PROVIDE SIGNAGE ON THE ENTRY DOOR TO ROOM TO IDENTIFY EQUIP. INSIDE FOR THE FOLLOWING: FIRE ALARM PANEL, ELECTRICAL EQUIP., HEATING/AC EQUIP., ETC.
- ALL NEW CONCRETE SHALL BE VIBRATED. ALL REQUIRED REBAR SHALL BE SUPPORTED AND SECURED IN PLACE PRIOR TO POUR. "MUCKING IN" OF REBAR IS NOT PERMITTED.
- ALL PROPOSED WORK SHALL COMPLY WITH THE RULES OF THE FIRE PREVENTION AND BUILDING SAFETY COMMISSION IN ACCORDANCE WITH 675 IAC 12-6-7(b).
- PLANS FOR FIRE ALARM SYSTEM AND FIRE SPRINKLER SYSTEM SHALL BE PREPARED AND SUBMITTED BY OTHERS, TO THE CITY / FIRE PROTECTION DISTRICT OR AUTHORITY HAVING JURISDICTION, FOR REVIEW AND APPROVAL.

VICINITY MAP



LANDSCAPE DRAWINGS

- TP-1 TREE PRESERVATION PLAN
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE DETAILS
- L-3 NATURAL AREA MONITORING & MAINTENANCE PLAN

ARCHITECTURAL DRAWINGS

- A-0.1 ARCHITECTURAL SITE PLAN
- A-1.0 PROPOSED FLOOR PLAN
- A-1.1 PROPOSED ROOF PLAN
- A-2.0 ENLARGED PLAN DETAILS
- A-3.0 PROPOSED REFLECTED CEILING PLAN
- A-4.0 EXTERIOR ELEVATIONS
- A-4.1 EXTERIOR ELEVATIONS
- A-5.0 SECTIONS and DETAILS
- A-5.1 SECTIONS and DETAILS
- A-6.0 PARTITION DETAILS
- A-7.0 ROOM FINISH SCHEDULE, DOOR SCHEDULE
- A-7.1 WINDOW ELEVATIONS, JAMB DETAILS
- A-9.0 ACCESSIBILITY SPECIFICATION GUIDELINES
- A-9.1 ACCESSIBILITY DETAILS & FIGURES
- A-9.2 SPECIFICATIONS

STRUCTURAL DRAWINGS

- S-0.1 STRUCTURAL DETAILS and NOTES
- S-1.0 FOUNDATION PLAN
- S-1.1 FIRST FLOOR FRAMING PLAN

ELECTRICAL DRAWINGS

- EO.0 SYMBOL LIST
- EO.1 NOTES and SCHEDULES
- ET.0 LIGHTING PLAN
- EZ.0 POWER PLAN

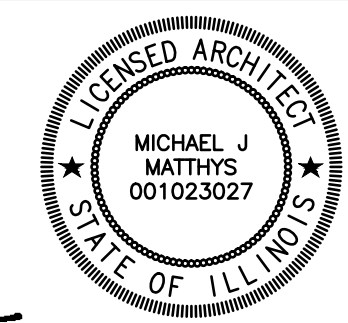
MECHANICAL DRAWINGS

- M-1 FIRST FLOOR HVAC PLAN, ROOF HVAC PLAN
- M-2 HVAC NOTES, SCHEDULES and DETAILS

PLUMBING DRAWINGS

- P-1 FIRST FLOOR WATER SUPPLY PLAN
- P-2 FIRST FLOOR WASTE / VENT PLAN
- P-3 PLUMBING NOTES, SCHEDULES and DETAILS
- P-4 RISER DIAGRAMS

I hereby certify, to the best of my knowledge and belief, that these plans have been drawn under my supervision and comply with all applicable building and zoning ordinances and codes of ORLAND PARK, IL



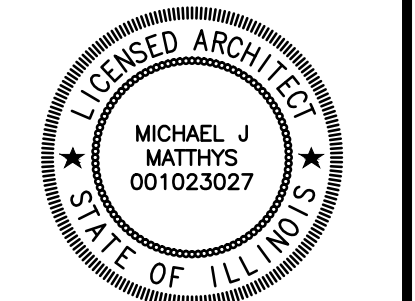
Professional Design Firm: 184-000209 Date: 7-12-2016
 Expiration Date: 4/30/17

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 LANDSCAPE ARCHITECTURE
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 JASON@RWE-MANAGEMENT.COM

MIDWEST ANIMAL HOSPITAL
 11205 183rd Place
 Orland Park, Illinois 60467



Michael J. Matthis

DATE: 06-30-2016
 DRAWN: TMH
 DESCRIPTION: PROGRESS REVIEW SET ISSUED FOR PERMIT
 07-13-2016 TMH

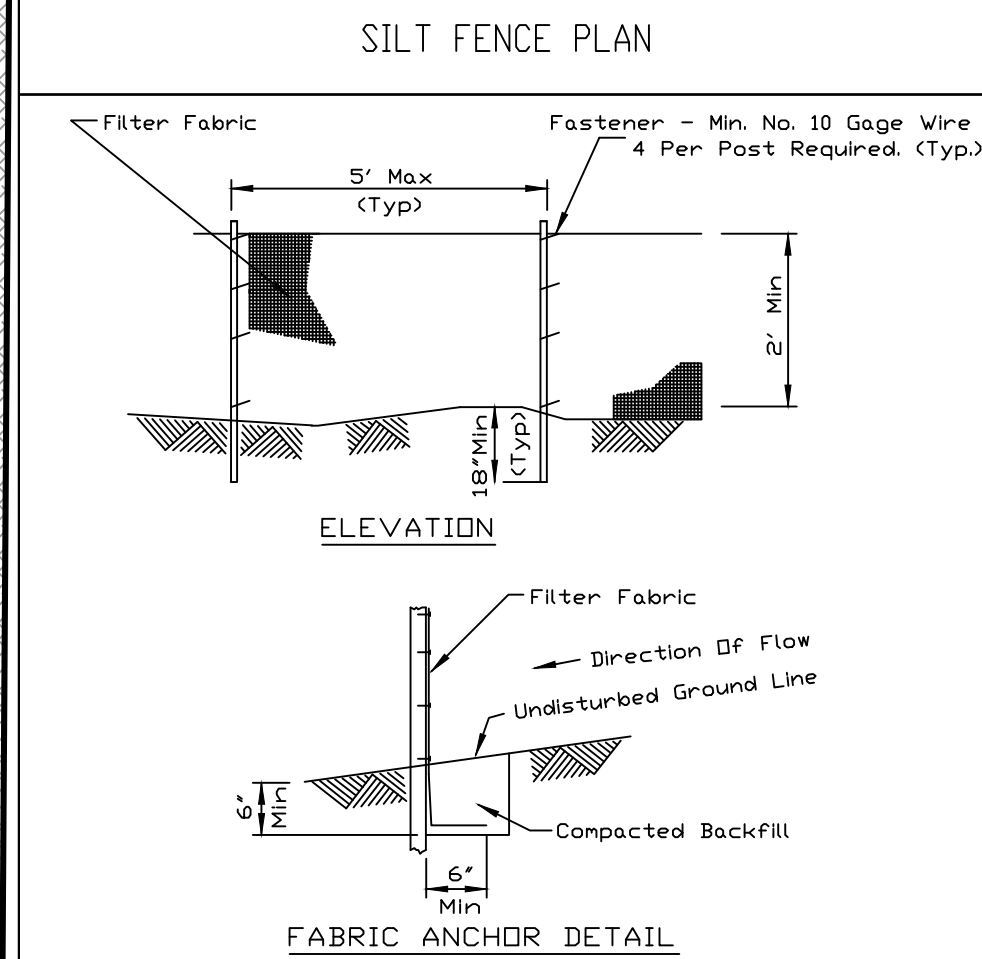
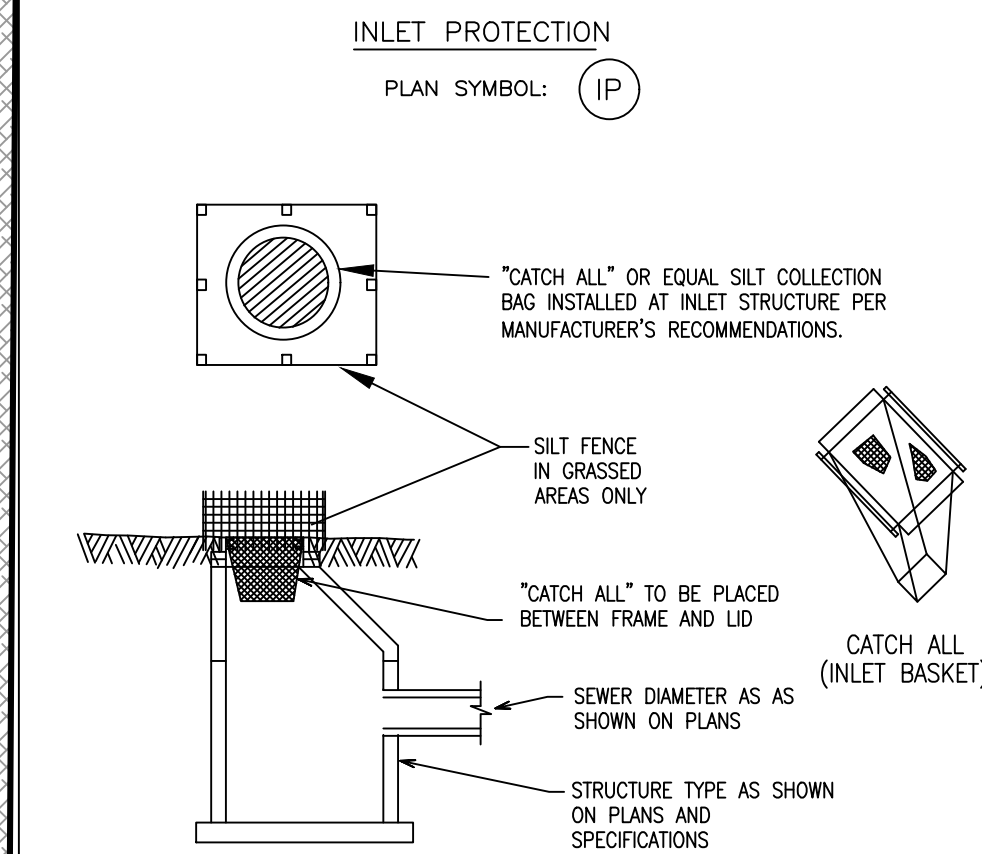
2016-0035
 PROJECT NUMBER

FILE NUMBER:
 7-13-2016
 DATE:
 TMH
 DRAWN BY:

FINAL REVIEW:
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TITLE SHEET
PROJECT INFO
GENERAL NOTES

SHEET NAME:
T-1.0
 SHEET OF



- NOTES:
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
 3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	DATE
Project	_____
Designed	_____
Checked	_____
Approved	_____



- NOTES:
1. ALL ELEVATIONS SHOWN ON GRADING PLANS ARE FINISHED GRADE ELEVATIONS.
 2. BUILDING PADS SHOWN ARE APPROXIMATE. FINAL FOUNDATION FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.
 3. THE CROSS SLOPES ON ALL SIDEWALKS SHALL NOT EXCEED 2%.
 4. RETAINING WALL DESIGN BY OTHERS
 5. TW = TOP OF WALL
BW = FINISHED GRADE AT BOTTOM OF WALL

BENCHMARKS:

REFERENCE BENCHMARK:
NGS DESIGNATION - DK 2007
PID - DN4692
NAVD88 DATUM

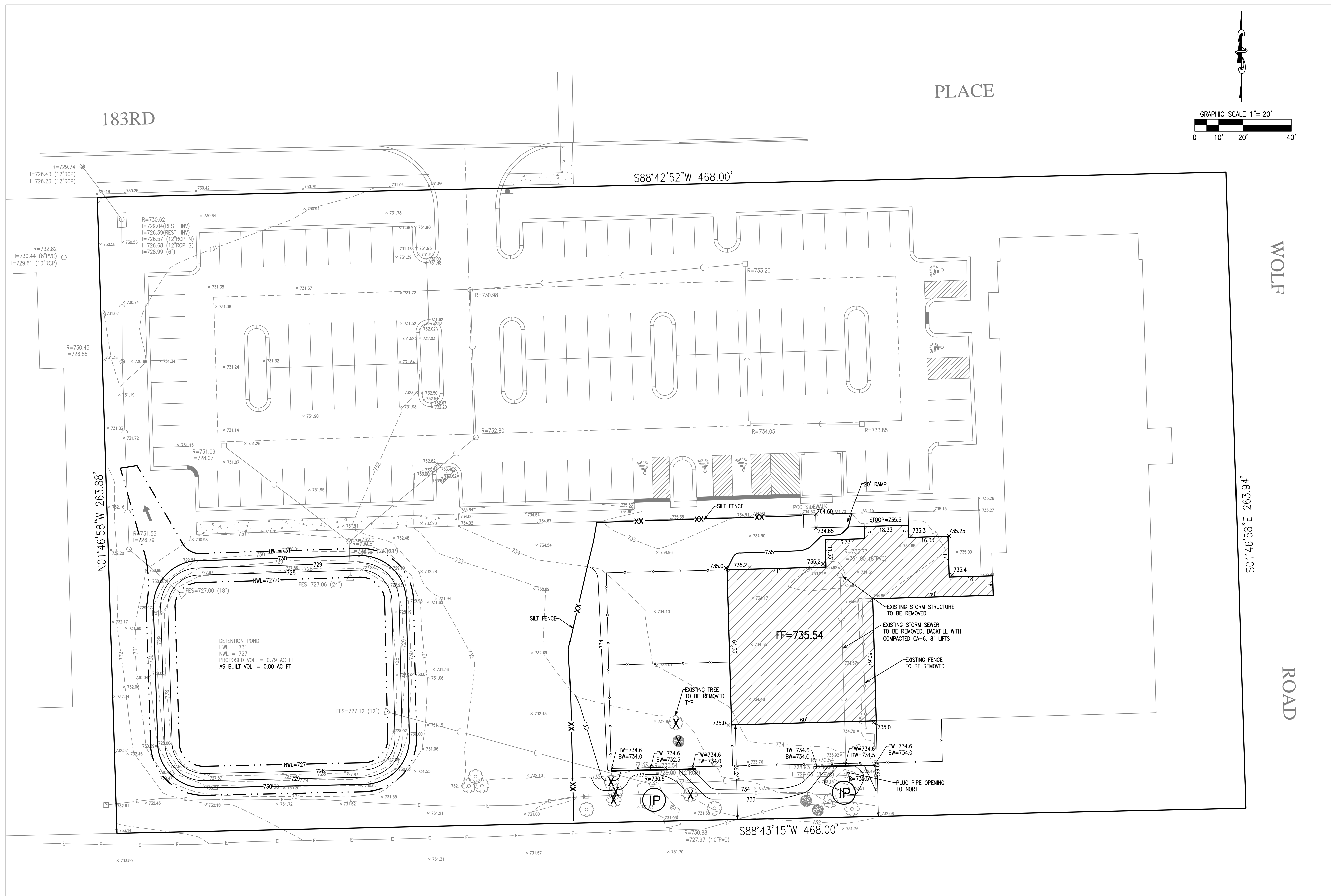
STAINLESS STEEL ROD IN SLEEVE LOCATED 41 FEET WEST OF THE CENTERLINE OF WILL/COOK ROAD, 45 FEET NORTHWEST OF A POWER POLE, 9 FEET SOUTH OF THE EXTENSION OF THE CENTERLINE OF BROOKSHIRE DRIVE FROM THE EAST AND 1 FOOT EAST OF AN ORANGE CARSONITE MARKER. ACCESS IS THROUGH A 6 INCH LOGO CAP AND THE ROD IS SURROUNDED BY A FLOATING BRONZE DISK.

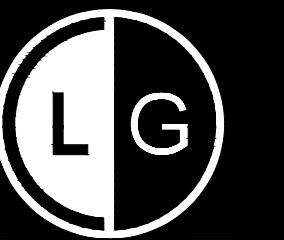
SITE BENCHMARKS:

SITE BENCHMARK 1
SOUTHEAST BOLT OF FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF SITE.
ELEVATION = 735.10

SITE BENCHMARK 2
WEST BOLT OF FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF 183RD PLACE AND WOLF ROAD.
ELEVATION = 731.77

SITE BENCHMARK 3
WEST BOLT OF FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF 183RD PLACE AND WOLF ROAD.
ELEVATION = 738.43



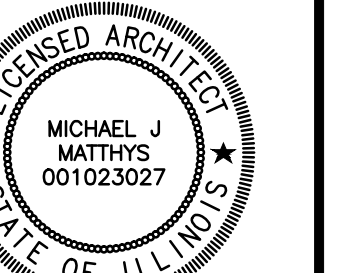


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JASON@RWE.MANAGEMENT.COM

MIDWEST
ANIMAL HOSPITAL
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Orland Park, Illinois 60467



Michael J. Mathys

DATE: 06-30-2016 (TM)
07-13-2016 (TM)
DRAWN: TMH
PROCESS REVIEW SET
ISSUED FOR PERMIT

2016-0035
PROJECT NUMBER

7-13-2016
DATE

TMH
DRAWN BY

FINAL REVIEW

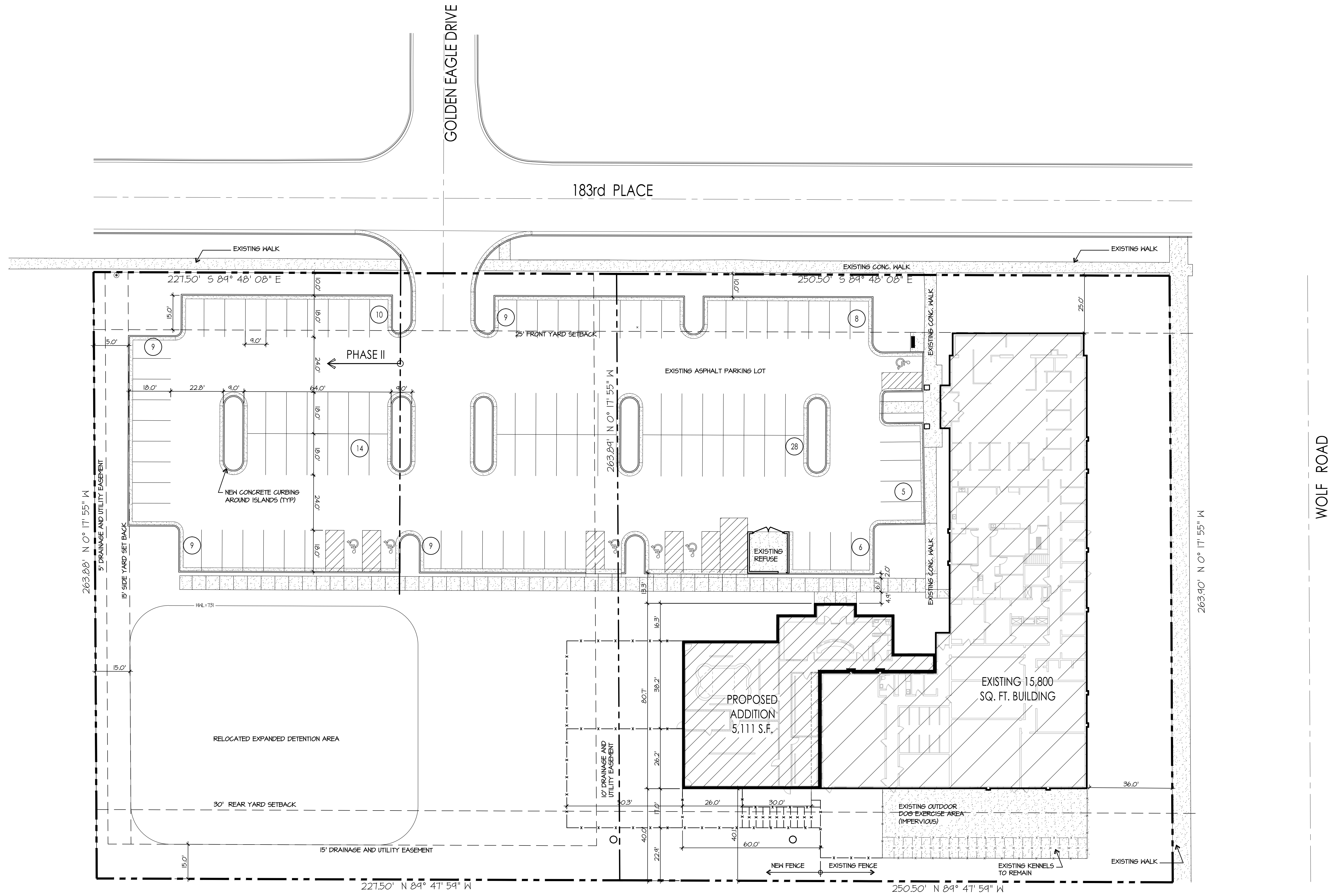
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ARCHITECTURAL
SITE PLAN

SHEET NAME

A-0.1
SHEET

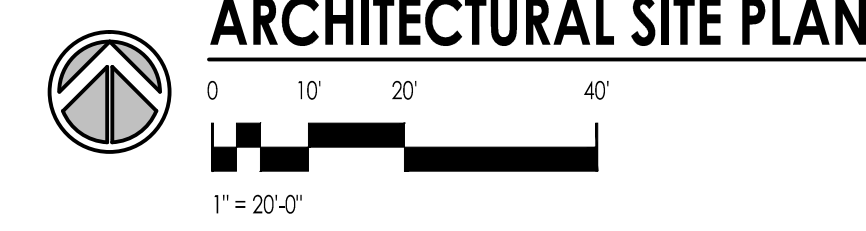
SHEET OF



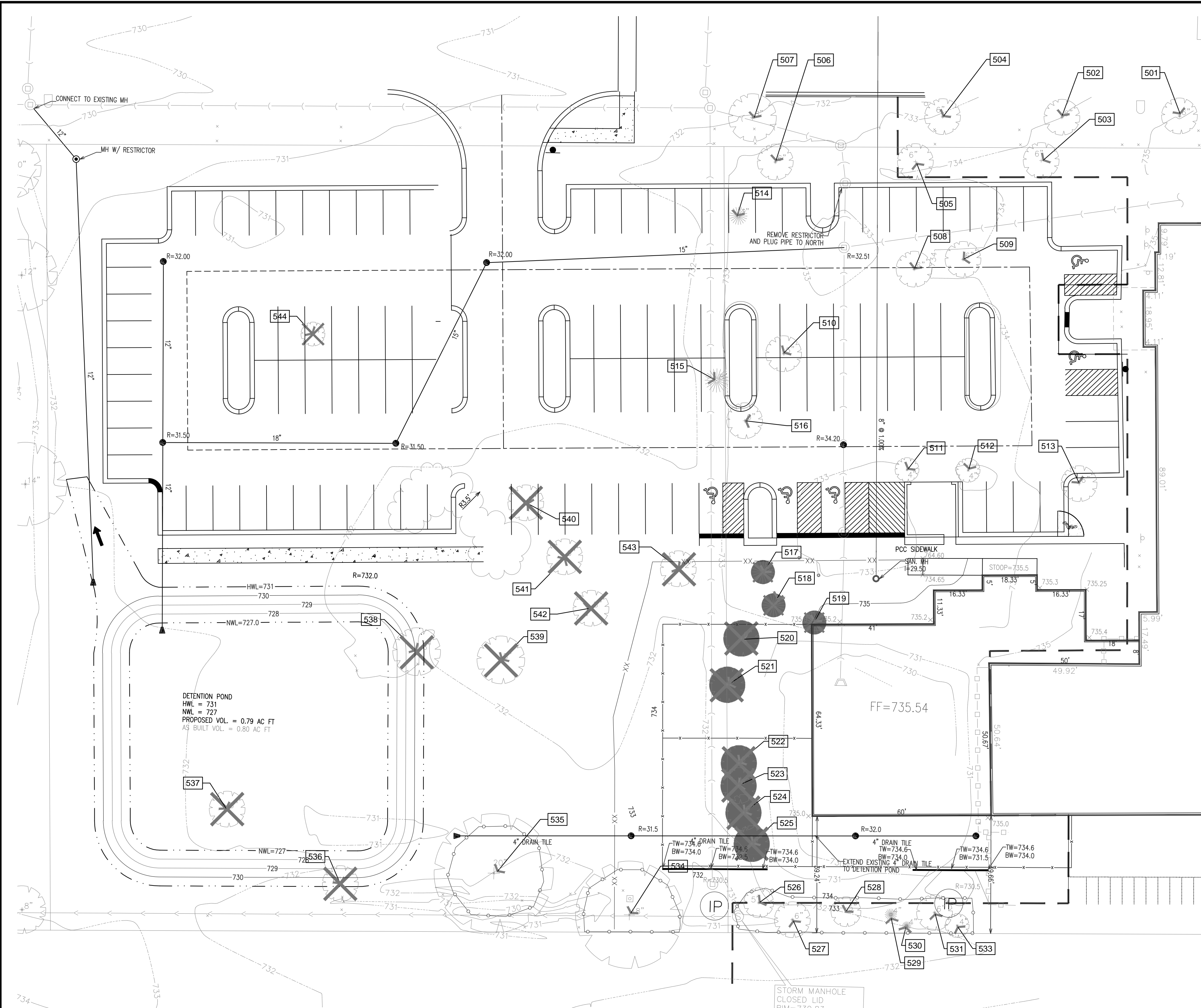
MECHANICAL NOTE:
ALL NEW MECHANICAL
EQUIPMENT AT GRADE OR ON
THE ROOF SHALL BE SCREENED
WITH LANDSCAPING OR HIDDEN
BEHIND ROOF LINES

ACCESSIBLE SPACE NOTE:
PARKING SPACE AND ACCESS
AISLE SHALL BE LEVEL WITH
THE SLOPES NOT EXCEEDING
2% IN ALL DIRECTIONS, REFER
TO CIVIL.

SITE DATA:	
TOTAL LAND AREA	126,134 SF 2.89 AC
NUMBER OF BUILDINGS	1
BUILDING FOOTPRINT AREA	20,911 SF
REQUIRED PARKING	70 CARS = 1 PER 300 S.F.
PROPOSED PARKING	107 CARS = 1 PER 195 S.F.
REQUIRED H.G. PARKING	3 H.G. (1/25 CARS UP TO 100)
F.A.R.	ALLOWED: 2.0 ACTUAL 0.17
IMPERVIOUS AREA / LOT COVERAGE	ALLOWED: 43,800 SF (35%) ACTUAL: 84,741 SF (67%)



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Existing Tree Data:

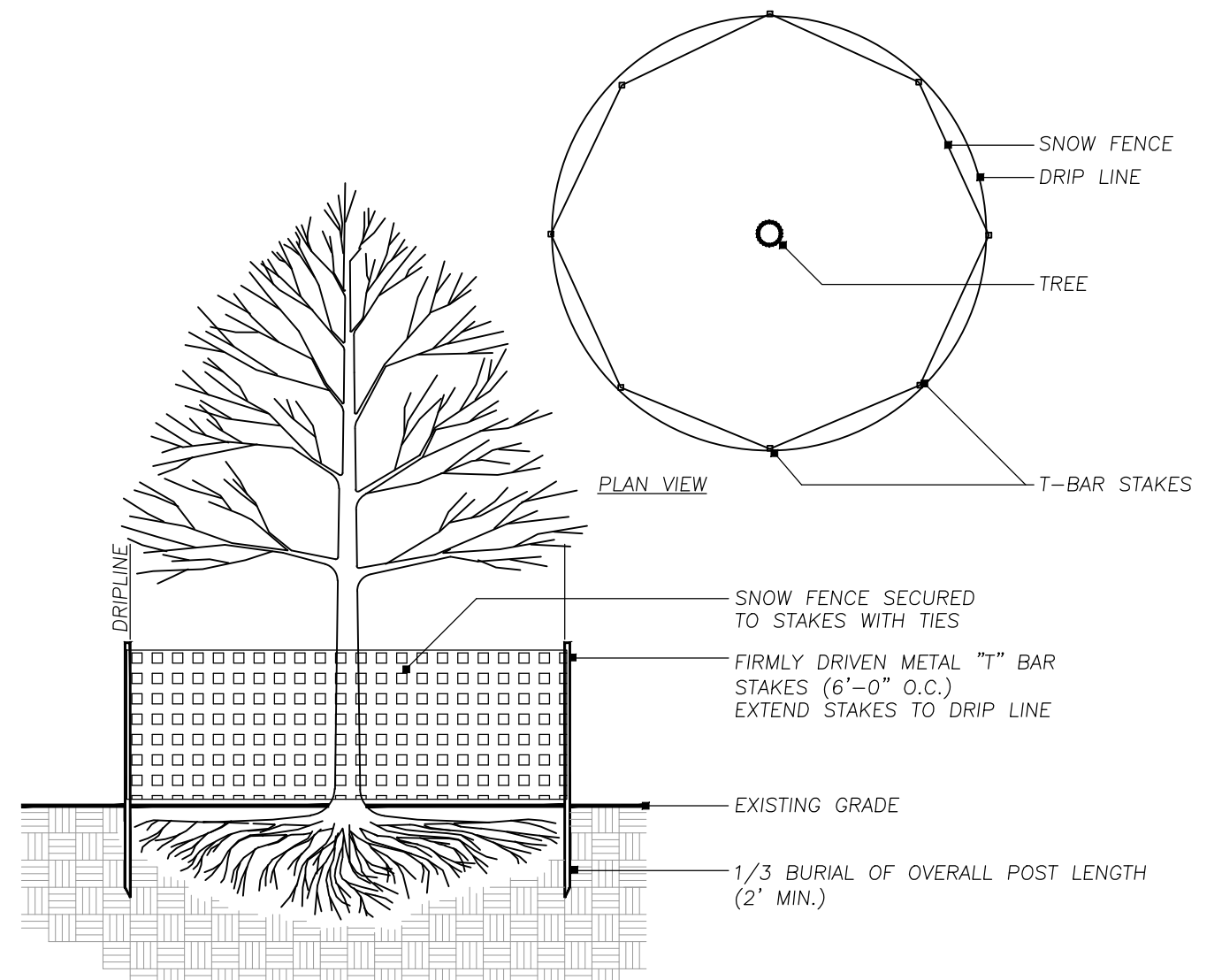
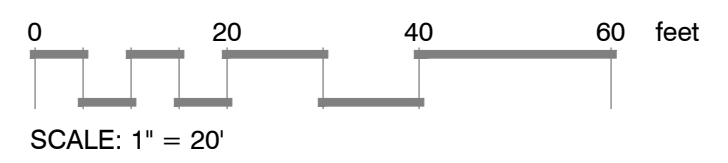
TAG #	BOTANICAL NAME	COMMON NAME	TREE SIZE	CONDITION	COMMENTS	Replacement Req.
501	Gleditsia triacanthos inermis	Thornless Honeylocust	6"	Good	To Remain in Place	0
502	Gleditsia triacanthos inermis	Thornless Honeylocust	5"	Good	To Remain in Place	0
503	Acer rubrum	Red Maple	6"	Good	To Remain in Place	0
504	Gleditsia triacanthos inermis	Thornless Honeylocust	4"	Good	To Remain in Place	0
505	Acer rubrum	Red Maple	8"	Good	To Remain in Place	0
506	Tilia cordata	Littleleaf Linden	6"	Good	To Remain in Place	0
507	Gleditsia triacanthos inermis	Thornless Honeylocust	8"	Good	To Remain in Place	0
508	Betula nigra	River Birch (Multi-trunk)	6"/8"	Fair	Relocate On Site	0
509	Betula nigra	River Birch (Multi-trunk)	4"/4"/5"	Fair	Relocate On Site	0
510	Tilia cordata	Littleleaf Linden	8"	Good	Relocate On Site	0
511	Tilia cordata	Littleleaf Linden	3"	Good	Relocate On Site	0
512	Tilia cordata	Littleleaf Linden	6"	Good	Relocate On Site	0
513	Tilia cordata	Littleleaf Linden	8"	Good	Relocate On Site	0
514	Picea glauca	Blue Spruce	6"	Good	Relocate On Site	0
515	Pinus nigra	Austrian Pine	12"	Good	Relocate On Site	0
516	Gleditsia triacanthos inermis	Thornless Honeylocust	8"	Good	Relocate On Site	0
517	Pinus nigra	Austrian Pine	10"	Good	Relocate On Site	(1) 4" Cal. Trees
518	Picea pungens	Colorado Green Spruce	6"	Good	Relocate On Site	(1) 4" Cal. Trees
519	Pinus nigra	Austrian Pine	10"	Good	Relocate On Site	(1) 4" Cal. Trees
520	Gleditsia triacanthos inermis	Thornless Honeylocust	8"	Good	To Remain in Place	(1) 4" Cal. Trees
521	Picea glauca	Blue Spruce	6"	Good	To Remain in Place	(1) 4" Cal. Trees
522	Picea glauca	Blue Spruce	6"	Good	To Remain in Place	(1) 4" Cal. Trees
523	Picea glauca	Blue Spruce	6"	Good	To Remain in Place	(1) 4" Cal. Trees
524	Tilia americana	American Linden	6"	Good	To Remain in Place	(1) 4" Cal. Trees
525	Pinus nigra	Austrian Pine	8"	Good	To Remain in Place	(1) 4" Cal. Trees
526	Acer x freemanii	Freeman Maple	8"	Good	To Remain in Place	0
527	Gleditsia triacanthos inermis	Thornless Honeylocust	7"	Fair	To Remain in Place	0
528	Tilia americana	American Linden	8"	Good	To Remain in Place	0
529	Picea pungens	Colorado Green Spruce	4"	Good	To Remain in Place	0
530	Picea pungens	Colorado Green Spruce	4"	Good	To Remain in Place	0
531	Acer x freemanii	Freeman Maple	4"	Good	To Remain in Place	0
532	Tilia americana	American Linden	5"	Good	To Remain in Place	0
533	Populus deltoides	Cottonwood	15"	Good	To Remain in Place	0
534	Populus deltoides	Cottonwood	20"	Good	To Remain in Place	0
535	Populus deltoides	Cottonwood	15"	Fair	To Be Removed	(2) 4" Cal. Trees
536	Populus deltoides	Cottonwood	5"	Good	To Be Removed	(1) 4" Cal. Trees
537	Populus deltoides	Cottonwood	8"	Good	To Be Removed	(1) 4" Cal. Trees
538	Populus deltoides	Cottonwood	8"	Good	To Be Removed	(1) 4" Cal. Trees
539	Populus deltoides	Cottonwood	8"	Good	To Be Removed	(1) 4" Cal. Trees
540	Populus deltoides	Cottonwood	6"	Good	To Be Removed	(1) 4" Cal. Trees
541	Populus deltoides	Cottonwood	6"	Good	To Be Removed	(1) 4" Cal. Trees
542	Populus deltoides	Cottonwood	8"	Good	To Be Removed	(1) 4" Cal. Trees
543	Populus deltoides	Cottonwood (Multi-trunk)	10"/12"	Fair	To Be Removed	(1) 4" Cal. Trees
544	Populus deltoides	Cottonwood	4"	Good	To Be Removed	0

Total Number of Mitigation Trees Required (18) 4" Cal. Trees

- Existing Trees to Remain In Place (Phase I)
- Existing Trees to Be Relocated On Site (Phase I)
- Existing Trees to Be Removed Previously Removed and Mitigated
- Existing Trees to Be Removed (Phase II)

Notes:

- In Phase II additional trees will need to be removed if and when the future addition is implemented.
- If Phase II is implemented and additional trees are to be removed then an updated Tree Preservation Plan will be provided at that time in accordance with The Village Tree Preservation Ordinance.
- Phase II has necessitated the removal of Nine additional existing trees. The additional trees to be removed will be replaced in accordance with the Village Ordinance as indicated on this and the updated Landscape Plan.



SECTION VIEW
1 TREE PROTECTION DETAIL
 Not To Scale 329383-01



145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE: (847) 223-4804
 FAX: (847) 223-4864
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2011

**MIDWEST ANIMAL HOSPITAL
 BUILDING EXPANSION
 PHASE II**
 Orland Park, Illinois

Reserved for Seal:

Expiration Date: _____

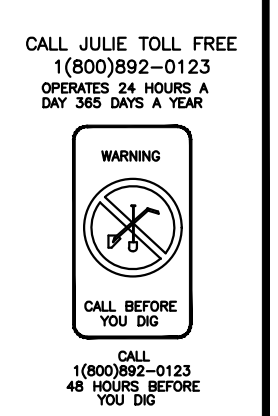
No.	Date	Description

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Design By: SSG Date: 07/13/16
 Approved By: SSG Project No: 0000.00

Sheet Title:
**TREE
 PRESERVATION
 PLAN**

Sheet No:
TP-1



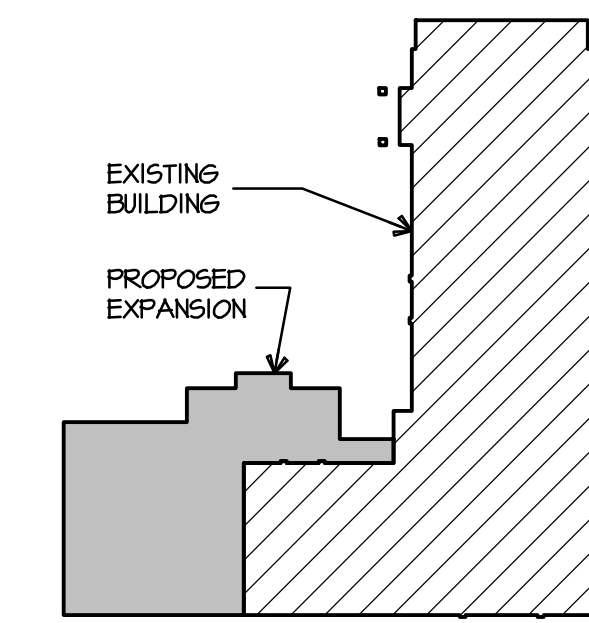
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 Plotted: 7/13/16 11:25am Dr. SSG

ELEVATION TAG KEY

- 1 ASPHALT SHINGLE ROOFING (COLOR AND STYLE TO MATCH EXISTING)
- 2 OVERSIZED PRE-FINISHED COMMERCIAL GRADE ALUMINUM BOX GUTTER & DOWNSPOUT SYSTEM TO MATCH EXISTING (TIED INTO STORM SEWER) w/ PRE-FINISHED ALUMINUM WRAPPED FASCIA (COLOR AND FINISH TO MATCH EXISTING)
- 3 4" STONE SILL TO MATCH EXISTING
- 4 "SPLIT FACE" STONE VENEER WAINSCOT TO MATCH EXISTING
- 5 UTILITY SIZE FACE BRICK VENEER TO MACH EXISTING
- 6 8" BRICK SOLDIER COURSE, MATCH EXISTING BUILDING
- 7 SHINGLED CONTINUOUS RIDGE VENT, TYP.
- 8 SKYLIGHTS, FLASH AND SEAL AS PER MANUFACTURERS REQUIREMENTS
- 9 EXTERIOR RATED LIGHT FIXTURE (FIXTURE TO MATCH EXISTING)
- 10 ENTRANCE DOORS w/ TEMPERED, INSULATED GLAZING (VERIFY COLOR AND FINISH WITH ARCHITECT AND OWNER)
- 11 DRYVIT OUTSULATION PLUS MD SYSTEM. PROFILE EDGES TO MATCH EXISTING. COLOR, FINISH AND TEXTURE TO MATCH EXISTING BUILDING FINISH.
- 12 PREFINISHED ALUMINUM FLASHING
- 13 PREFINISHED MASONRY BASE & COUNTER FLASHING
- 14 FIBER CEMENT HORIZONTAL SIDING SYSTEM (TO MATCH SIDING AT EXISTING MECHANICAL AREAS)
- 15 DASHED LINE INDICATES MECHANICAL AREA BEYOND

GENERAL ELEVATION NOTES

- 1. REFER TO FINAL PRODUCT SELECTION(S) MANUFACTURERS INSTALLATION INSTRUCTIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING ALL EXTERIOR FINISHES.
- 2. ELEVATION NOTES AND TAGS ARE TYPICAL FOR ALL SIMILAR MATERIALS ON SAME ELEVATION AND ALL FOUR SIDES OF BUILDING.
- 3. ALL EXTERIOR CAULKING AND FILLER MATERIAL TO MATCH THE COLOR(S) OF ADJACENT MATERIALS.
- 4. VERIFY ALL MATERIALS, COLORS, FINISHES, ETC. WITH OWNER/ARCHITECT PRIOR TO ORDERING OR BEGINNING CONSTRUCTION.
- 5. SEE SECTIONS ON SHEET A-5.0 FOR TYPICAL CONSTRUCTION NOTES AND DETAIL INFORMATION
- 6. ALL WINDOWS SHALL MATCH EXISTING, OR AS SELECTED BY OWNER.
- 7. SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHT LOCATIONS AND INFORMATION.
- 8. SEE ROOF PLAN FOR PROPOSED DOWN SPOUT LOCATIONS, VERIFY w/ SITE CONDITIONS AND STORM LOCATIONS.
- 9. VERIFY ALL MASONRY CONTROL JOINT LOCATIONS



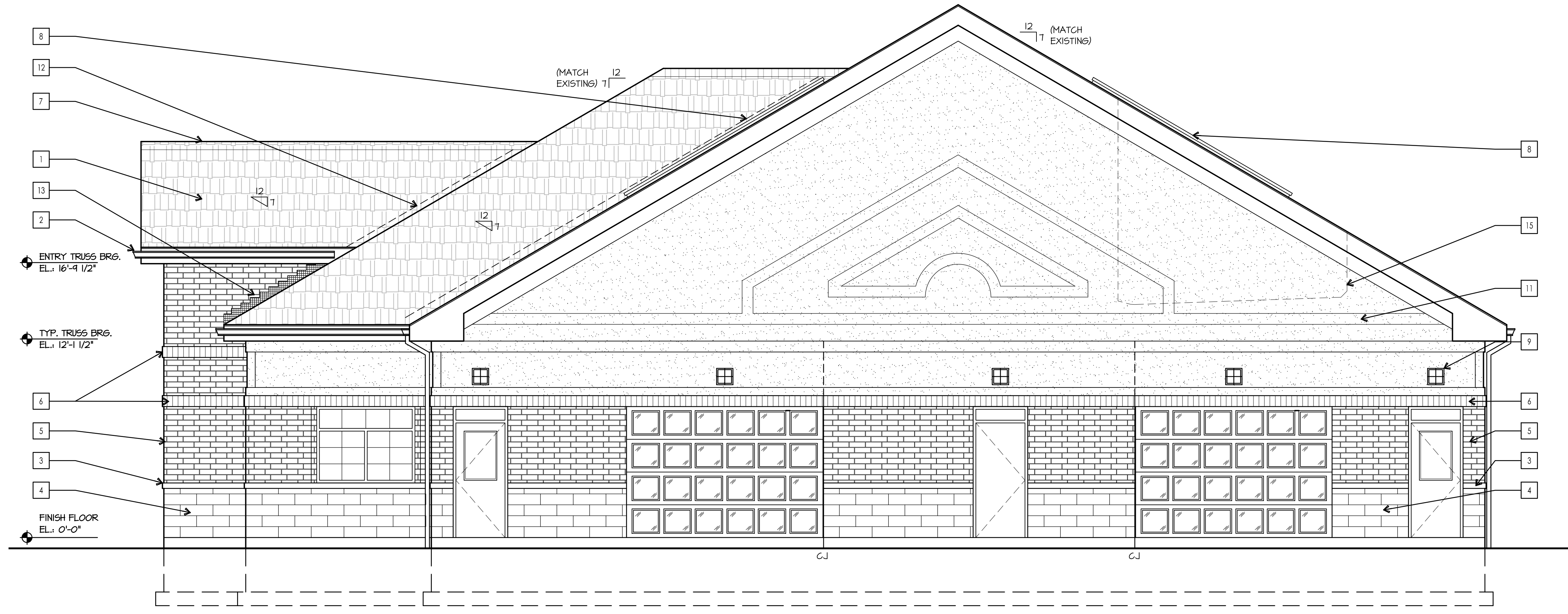
KEY PLAN
N.T.S.



NORTH ELEVATION
0 2 4 8
SCALE: 1/4" = 1'-0"

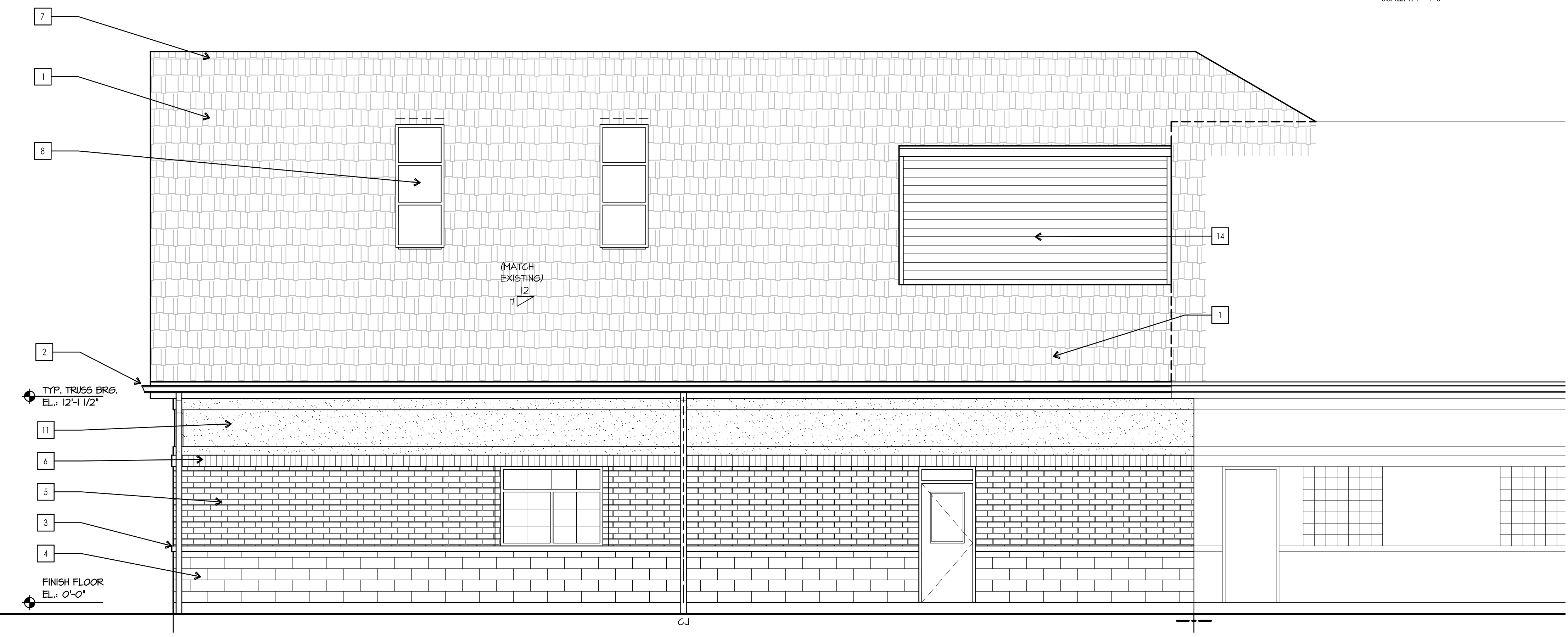
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ELEVATION TAG KEY	
1	ASPHALT SHINGLE ROOFING (COLOR AND STYLE TO MATCH EXISTING)
2	OVERSIZED PRE-FINISHED COMMERCIAL GRADE ALUMINUM BOX GUTTER & DOWNSPOUT SYSTEM TO MATCH EXISTING (TIED INTO STORM SEWER) W/ PRE-FINISHED ALUMINUM WRAPPED FASCIA (COLOR AND FINISH TO MATCH EXISTING)
3	4" STONE SILL TO MATCH EXISTING
4	"SPLIT FACE" STONE VENEER WAINSCOT TO MATCH EXISTING
5	UTILITY SIZE FACE BRICK VENEER TO MACH EXISTING
6	8" BRICK SOLDIER COURSE, MATCH EXISTING BUILDING
7	SHINGLED CONTINUOUS RIDGE VENT, TYP.
8	SKYLIGHTS, FLASH AND SEAL AS PER MANUFACTURERS REQUIREMENTS
9	EXTERIOR RATED LIGHT FIXTURE (FIXTURE TO MATCH EXISTING)
10	ENTRANCE DOORS W/ TEMPERED, INSULATED GLAZING (VERIFY COLOR AND FINISH WITH ARCHITECT AND OWNER)
11	DRYVIT OUTSULATION PLUS MD SYSTEM. PROFILE EDGES TO MATCH EXISTING. COLOR, FINISH AND TEXTURE TO MATCH EXISTING BUILDING FINISH.
12	PREFINISHED ALUMINUM FLASHING
13	PREFINISHED MASONRY BASE & COUNTER FLASHING
14	FIBER CEMENT HORIZONTAL SIDING SYSTEM (TO MATCH SIDING AT EXISTING MECHANICAL AREAS)
15	DASHED LINE INDICATES MECHANICAL AREA BEYOND



WEST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL ELEVATION NOTES	
1.	REFER TO FINAL PRODUCT SELECTION(S) MANUFACTURERS INSTALLATION INSTRUCTIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING ALL EXTERIOR FINISHES.
2.	ELEVATION NOTES AND TAGS ARE TYPICAL FOR ALL SIMILAR MATERIALS ON SAME ELEVATION AND ALL FOUR SIDES OF BUILDING.
3.	ALL EXTERIOR CAULKING AND FILLER MATERIAL TO MATCH THE COLOR(S) OF ADJACENT MATERIALS.
4.	VERIFY ALL MATERIALS, COLORS, FINISHES, ETC. WITH OWNER/ARCHITECT PRIOR TO ORDERING OR BEGINNING CONSTRUCTION.
5.	SEE SECTIONS ON SHEET A-5.0 FOR TYPICAL CONSTRUCTION NOTES AND DETAIL INFORMATION.
6.	ALL WINDOWS SHALL MATCH EXISTING, OR AS SELECTED BY OWNER.
7.	SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHT LOCATIONS AND INFORMATION.
8.	SEE ROOF PLAN FOR PROPOSED DOWN SPOUT LOCATIONS, VERIFY W/ SITE CONDITIONS AND STORM LOCATIONS.
9.	VERIFY ALL MASONRY CONTROL JOINT LOCATIONS.



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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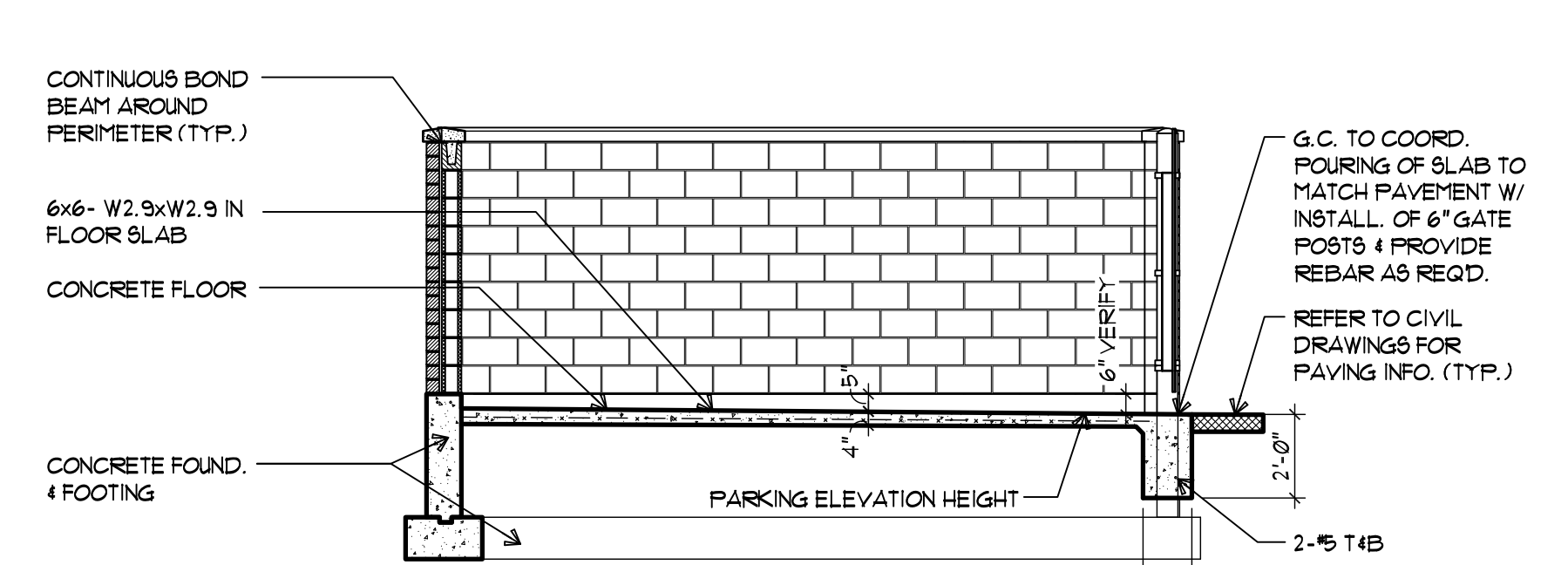
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 W/Out Conditions:



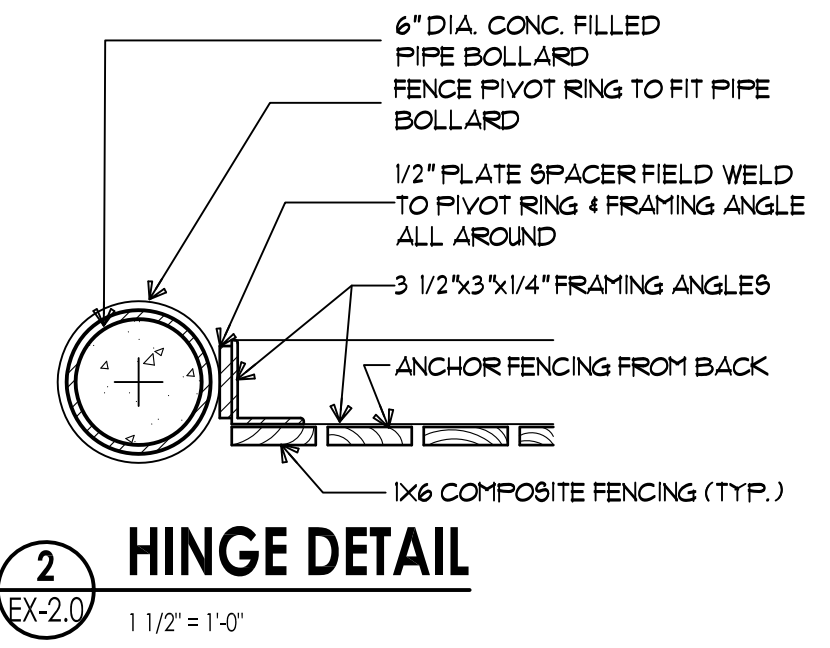
ARCHITECTURE
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 10100 ORLAND PARKWAY SUITE 110
 ORLAND PARK, ILLINOIS 60467
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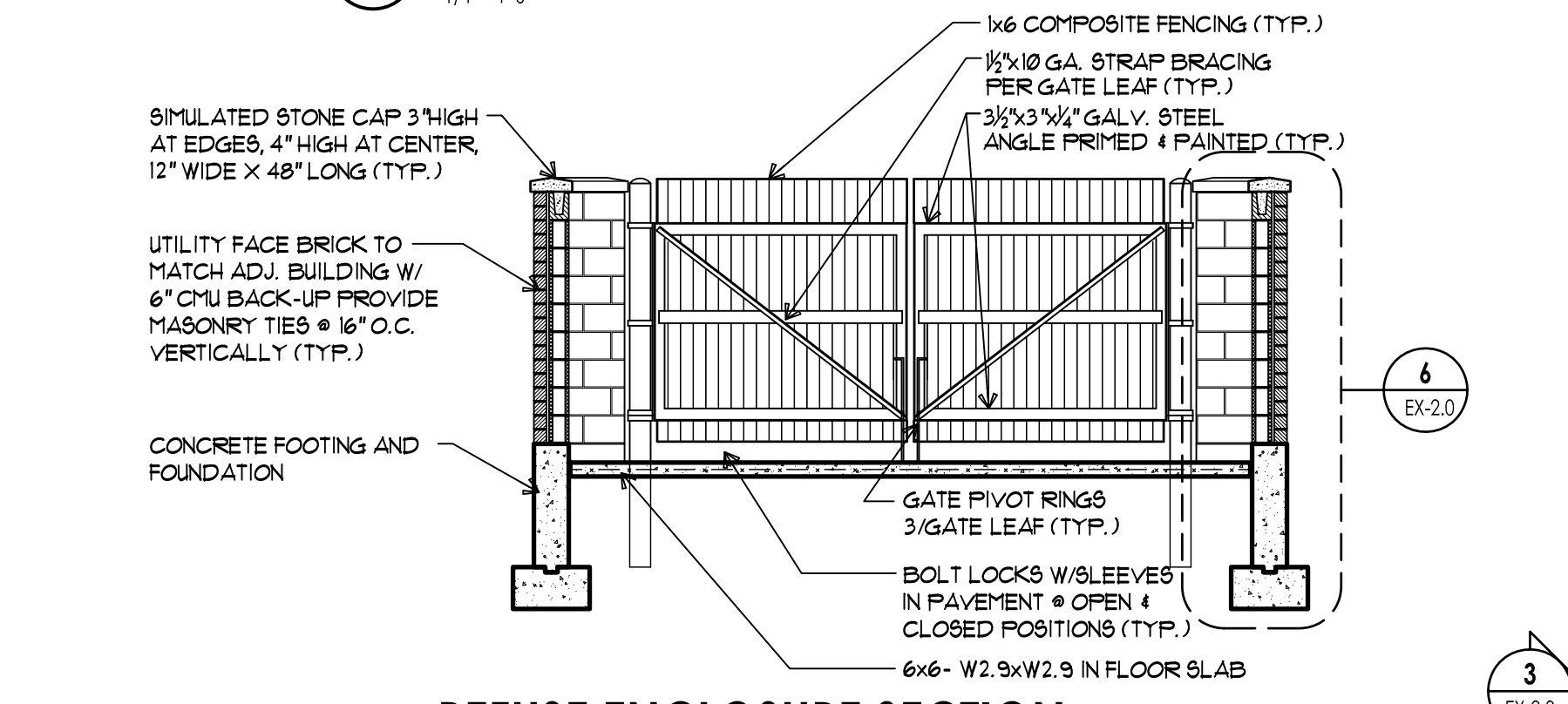
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 11205 183rd Place
 Orland Park, Illinois 60467



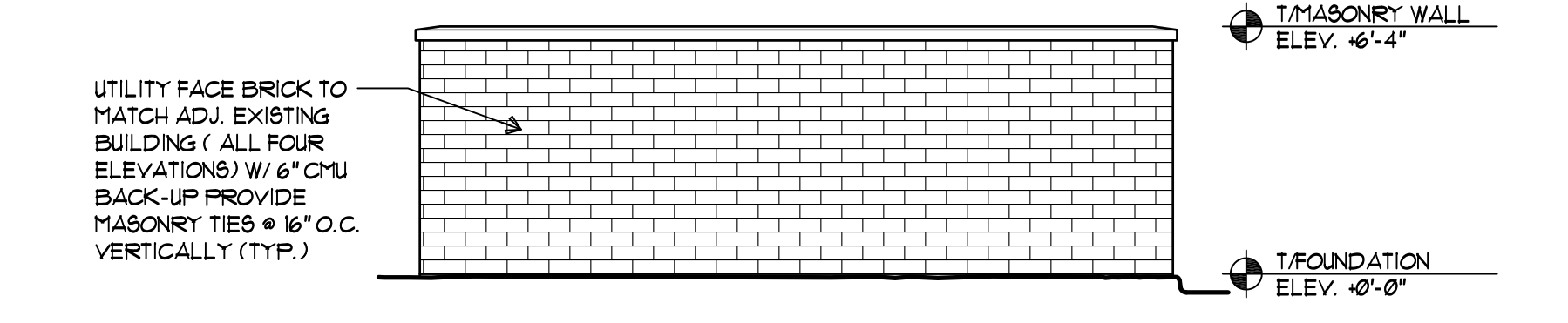
5 REFUSE ENCLOSURE SECTION
 1/4" = 1'-0"



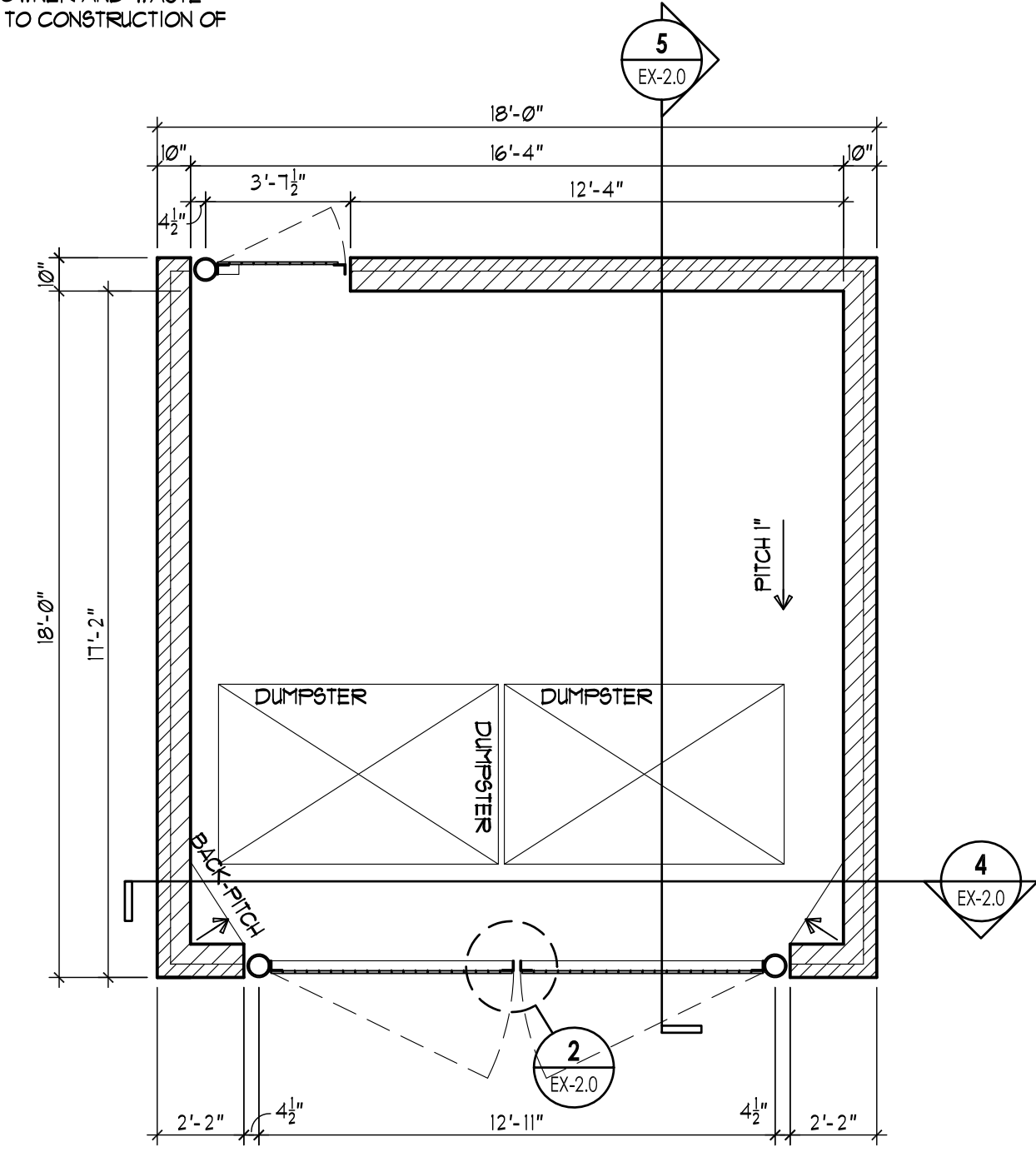
2 HINGE DETAIL
 1 1/2" = 1'-0"



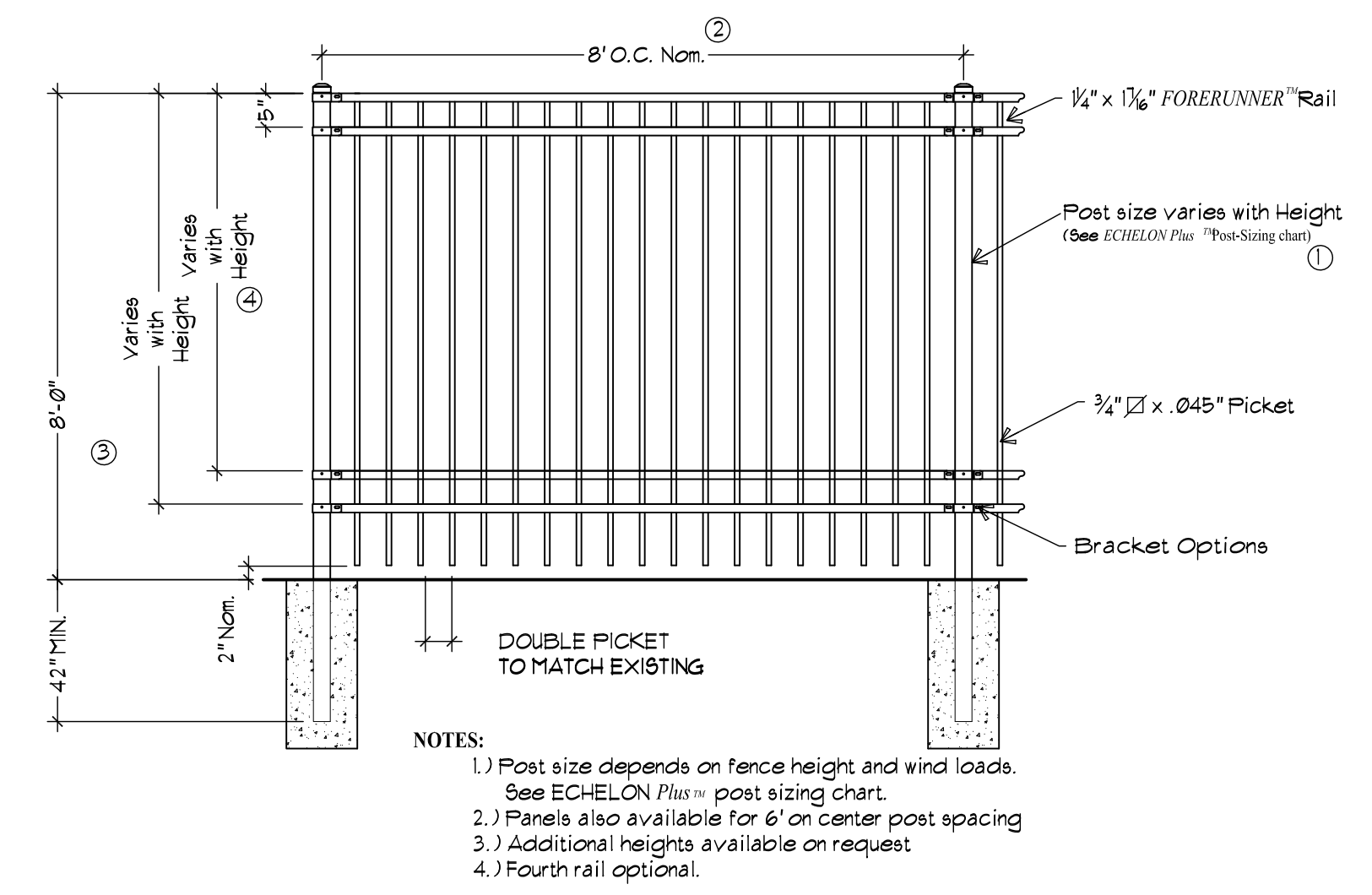
4 REFUSE ENCLOSURE SECTION
 1/4" = 1'-0"



3 REFUSE ENCLOSURE ELEVATION
 1/4" = 1'-0"

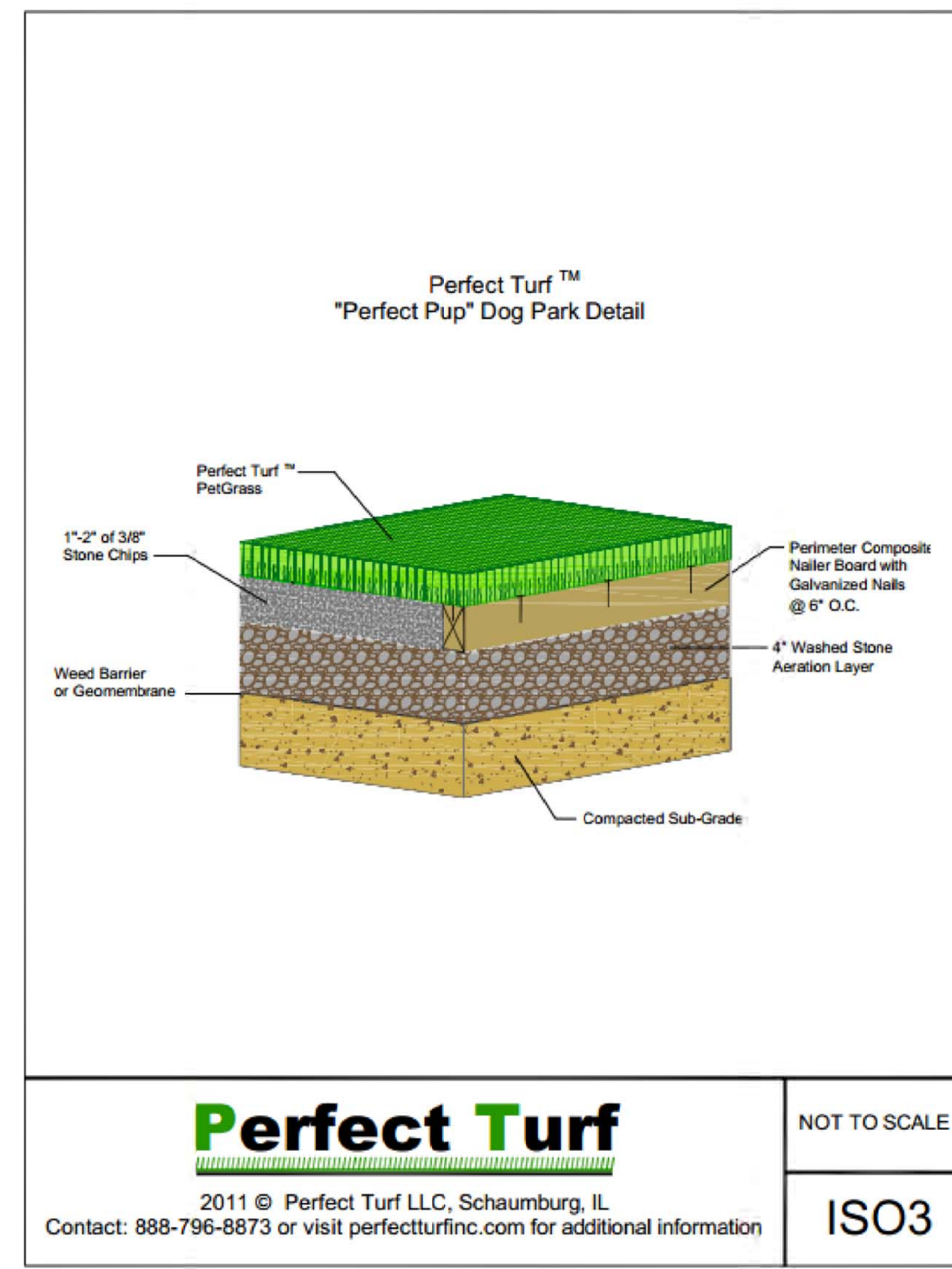


1 REFUSE ENCLOSURE
 1/4" = 1'-0"



PROPOSED 8'-0" HIGH FENCE

N.T.S.



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DATE	DESCRIPTION
09-30-2014	ISSUED FOR ZONING REVIEW
10-22-2014	ZONING REVIEW COMMENT REVISIONS
12-12-2014	PLANNING COMMISSION COMMENT REVISIONS

2014-0050
 PROJECT NUMBER

FILE NUMBER
 12-12-2014
 DATE
 TMH
 DRAWN BY

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SITE DETAILS

SHEET NAME
EX-2.0
 SHEET OF