

February 29, 2024

CERTIFIED MAIL

Mr. Ed Lelo
Economic Development Manager
The Village of Orland Park
14700 S. Ravinia Avenue
Orland Park, IL 60462

RE: Class 7C Application
66 Orland Square Drive, Orland Park, IL
PIN: 27-10-400-043-0000

Dear Mr. Lelo:

Attached hereto is a signed copy of JKD CRE LLC's (hereinafter referred to as "Applicant") 2024 Class 7C Eligibility Application for 66 Orland Square Drive (hereinafter referred to as "Subject Property") and supporting documentation.

At your request, this letter provides a description of the Subject Property, details regarding its historic and persistent vacancy, its planned future use, and an analysis of the tax impact of granting the Class 7C incentive on the vacant Subject Property. The Applicant is seeking the Incentive pursuant to the abandonment of the Subject Property and the fulfillment of all other criteria associated with the Class 7C Ordinance.

Description of the Subject Property:

The subject property was originally purchased in 2014 (PIN 27-10-400-018-0000). The parcel contained approximately 83,944 square feet of undeveloped commercial space and an additional 77,383 square feet of space formerly occupied by Carson Furniture Gallery. The Cook County Assessor's Office divided the parcel into two separate PINs in 2016 (PIN 27-10-400-044-0000 received the 7C incentive). The subject property was designated PIN 27-10-400-043-0000. The Subject Property was subsequently sold to JKD CRE LLC in 2023.

The enclosed site plan (Exhibit A of the Application) describes the retail space and vacant space. Assuming the Incentive is granted, Applicant intends to transform the Vacant Space into a climate controlled self storage facility.

Abandoned Property:

The Vacant Space has been 100% vacant for approximately five years (see the affidavit marked Exhibit B of the Application). In spite of substantial efforts to market the Subject Property, no attempts generated revenue or tenants for the space. Attached to the application is a broker's listing, which includes vacant interior photos. Based on the foregoing, the Vacant Space is chronically incapable of generating revenue without incentives reducing its tax burden and should be treated as abandoned. Based on the foregoing, the Incentive Property fulfills the Incentive's Abandonment requirement.

Historic Tax Analysis:

Pursuant to the Incentive, an applicant must demonstrate that a property's taxes, assessments or equalized assessed values were either stagnant or decreased over the last six years. As Exhibit C to the application indicating the appeal history at the Cook County Assessor's Office and Board of Review, indicates the Property's assessed value has been reduced based on vacancy since tax year 2018. Accordingly, the Subject Property meets the ordinance's requirement as the Subject Property has not been assessed at full value since tax year 2017.

Economic Impact:

Without the Incentive, this development will not be economically viable. The Subject Property's current taxes must either be borne by the applicant who must lease the space for higher/non-competitive rates or by tenants, as pass-throughs, which are equally unattractive. If the incentive is granted, the site will employ 40 construction workers and 12 full time employees likely to frequent nearby businesses which will provide significant additional tax dollars to the village.

Qualification for Incentive:

As set forth above, the applicant has met all criteria for the Incentive. In particular: the Vacant Space has been totally vacant for nearly six years; that the property has not been assessed at full market value (i.e. the assessment has been reduced each year to reflect vacant property); and the development project will create jobs which will provide additional tax dollars to the village. Accordingly, all of the requirements for the Incentive have been met. Applicant respectfully requests the Village of Orland Park pass a resolution in support of the 7C Incentive.

Sincerely,

SAUL EWING LLP

A handwritten signature in black ink, appearing to read 'Erik J. VanderWeyden', with a stylized flourish at the end.

Erik J. VanderWeyden

CONTROL NUMBER

Identification of Person Having an Interest in the Property

Attach a complete list of all owners, developers, occupants and other interested parties (*including all beneficial owners of a land trust*) identified by names and addresses, and the nature and extent of their interest.

Property Use

General Description of Proposed Property Usage: Climate Controlled Self Storage

Attach a detail description of the precise nature and extent of the intended use of the subject property, specifying in the case of the multiple uses the relative percentages of each use.

Attach copies of materials, which explain the occupant's business, including corporate letterhead, brochures, advertising material, leases, photographs, etc.

Employment Opportunities

How many **construction jobs** will be created as a result of this development? 40

How many permanent full-time and part-time employees do you **currently** employ in Cook County?

Full-time: 10 Part-time: 60

How many **new permanent full-time jobs** will be created by this proposed development? 6

How many **new permanent part-time jobs** will be created by this proposed development? 6

Nature of Development

Indicate nature of proposed development by checking the appropriate space:

- ☐ New Construction (**Read and Complete Section A**)
- ☒ Substantial Rehabilitation (**Read and Complete Section A**)
Incentive only applied to the market value attributable to the rehabilitation
- ☐ Occupation of Abandoned Property
(**Read and Complete Section B**)

SECTION A (NEW CONSTRUCTION/SUBSTANTIAL REHABILITATION)

If the proposed development consists of *New Construction* or *Substantial Rehabilitation*, provide the following information:

Estimated date of construction commencement (excluding demolition if any): February 28, 2024

Estimated date of construction completion: July 31, 2024

Total redevelopment cost, excluding land: \$ 1,500,000

Attach copies of the following:

___ Construction Documentation:

- ☒ Architectural Plans
- ☐ Description of Improvement to be demolished or reoccupied
- ☐ Development Schedule
- ☐ Permits

___ Financial Documentation

- ☐ Income Tax Statements (last three years)
- ☐ Recent Appraisal (for Substantial Rehabilitation projects)
- ☐ Agreements with any taxing district for sharing profits

___ Identification of Persons Having an Interest in the Property

SECTION B (VACANT/ABANDONED PROPERTY)

Application must be made to Assessor prior to reoccupation

If the proposed development consists of the re-occupancy of *abandoned property* (property must be twelve months or more vacant), provide the following information:

1. Vacancy Information:

a. How long has the property been vacant?

Five Years.

b. When and by whom was the subject property last occupied and used?

Carson Prairie Scott Furniture

2. Attach copies of the following documents:

_____ Sworn statements from persons having personal knowledge attesting to the fact and duration of vacancy and abandonment

_____ Records (*such as statements of utility companies*), indicating that the property has been vacant and unused and the duration of such vacancy

_____ Records indicating that the property was marketed for 6 continuous months

_____ Income Tax Statements (*last three years*)

3. If a sale has taken place:

Estimated date of reoccupation: _____

Date of purchase: July 25, 2023

Name of purchaser: JKD CRE LLC

Name of seller: RSS BANK2017-BNK9 - DE GPG, LLC

Relationship of purchaser to seller: None

Attach copies of the following documents:

- (a) sale contract
- (b) recorded deed
- (c) assignment of beneficial interest
- (d) real estate transfer declaration

LOCAL APPROVAL

A certified copy of a resolution or ordinance from the municipality in which the real estate is located (or the County Board, if the real estate is located in an unincorporated area) should accompany this Application. The ordinance or resolution must expressly state that the municipality supports and consents to this Class 7C Application and that it finds Class 7C necessary for development to occur on the subject property. If a resolution is unavailable at the time the application is filed, a letter from the municipality or the County Board, as the case may be, stating that a resolution or ordinance supporting the incentive has been requested may be filed with this application instead. If, at a later date, the municipality or the County Board denies the applicant's request for a resolution or ordinance, the applicant will be deemed ineligible for the Class 7C incentive, whether or not construction has begun. In all circumstances, the resolution must be submitted by the time the applicant files an "Incentive Appeal" requesting the Class Change be applied to the property.

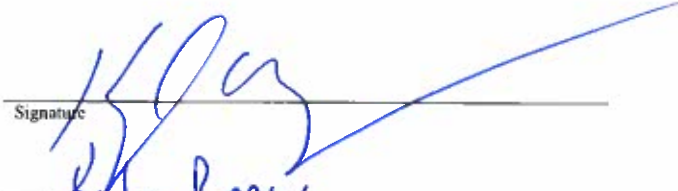
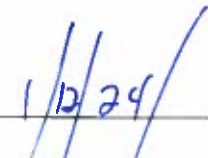
In addition, a copy of the application must be submitted to the Cook County Bureau of Economic Development (BED) for their approval (for additional information contact BED at 312-603-1000).

FINALIZING THE INCENTIVE PROCESS

In order to finalize the class change you will need to file an **Incentive Appeal** with supporting documentation (including **Proof of Occupancy**) in the year that the property has been substantially occupied. It is advised that you access our website (www.cookcountyassessor.com) to determine the allowable filing dates for such action.

When filing an appeal requesting an Incentive Class Change a **\$100.00 filing fee** (made out to the **Cook County Assessor**) must be included. The property cannot receive Class 7C designation until you file an Incentive Appeal, AND this office grants reclassification for the parcel(s).

I, the undersigned, certify that I have read this Application and that the statements set forth in this Application and in the attachments hereto are true and correct, except as those matters stated to be on information and belief and as to such matters the undersigned certifies that he/she believes the same to be true.

Signature 	Date 
Print Name Mike Rapic	Title Member

**Note: If title to the property is held in trust or by a corporation or a partnership, this Class 7C Eligibility Application must be signed by a beneficiary, officer or general partner.*

REVOCATION OR CANCELLATION AGREEMENT

In return for receiving the Class 7c incentive classification for the subject property, the undersigned owner(s) hereby stipulates and agrees that in the event of a voluntary cancellation of the Incentive or upon revocation, that the undersigned shall be personally liable for and shall reimburse to the County Collector an amount equal to the difference, if any, in the amount of taxes that would have been collected had the subject property been assessed without the Class 7c classification and the amount of taxes actually billed and collected upon the subject property for the tax year in which the incentive was revoked or cancelled during which the property was being assessed with the Class 7c classification. Failure of the undersigned to make such a reimbursement to the County Collector shall not constitute a lien upon the subject property but shall constitute an in personam liability, which may be enforced against the owners. Further, the undersigned certifies that he/she has read this Application and that the statements set forth in this Application and in the attachments hereto are true and correct, except as to those matters stated to be on information and belief and as to such matters the undersigned certifies that he/she believes the same to be true.

I, the undersigned, hereby agree to be bound by the terms of the revocation or cancellation agreement.

Signature

Date

Print Name

Title

**Note: If title to the property is held in trust or by a corporation or a partnership, this Class 7c Eligibility Application must be signed by the beneficiary, officer and/or general partner.*

Revised 4/1/22

PROPERTY DESCRIPTION

PARCEL 1A

A TRACT OF LAND IN THE SOUTH 1/2 OF SECTION 10, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING ON THE NORTH AND SOUTH CENTERLINE OF SAID SECTION 10, A DISTANCE OF 501.78 FEET NORTH 0 DEGREES 01 MINUTES WEST OF THE SOUTH 1/4 CORNER OF SAID SECTION 10; THENCE SOUTH 70 DEGREES 48 MINUTES WEST 9.05 FEET TO A POINT ON CURVE; THENCE NORTHERLY ON A CURVE CONVEX TO THE EAST HAVING A RADIUS OF 505.17 FEET, AN ARC DISTANCE OF 223.28 FEET AND A CHORD BEARING OF NORTH 12 DEGREES 38 MINUTES 42 SECONDS EAST TO A POINT OF COMPOUND CURVE; THENCE NORTHERLY ON A CURVE CONVEX TO THE EAST HAVING A RADIUS OF 1330.73 FEET, AN ARC DISTANCE 75.34 FEET AND A CHORD BEARING OF NORTH 01 DEGREES 38 MINUTES 18 SECONDS EAST TO A POINT OF A CONCRETE WALL CENTERLINE EXTENDED EAST AND WEST; THENCE SOUTH 89 DEGREES 59 MINUTES 16 SECONDS EAST ALONG SAID CONCRETE WALL CENTERLINE EXTENDED EAST AND WEST 539.86 FEET; THENCE SOUTH 02 DEGREES 10 MINUTES 40 SECONDS WEST 185.49 FEET; THENCE DUE WEST 275.00 FEET; THENCE SOUTH 70 DEGREES 48 MINUTES WEST 313.00 FEET TO THE POINT OF BEGINNING IN COOK COUNTY, ILLINOIS

PARCEL 1B

TRACT OF LAND IN THE SOUTH 1/2 OF SECTION 10, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING ON THE NORTH AND SOUTH CENTERLINE OF SAID SECTION 10, A DISTANCE OF 501.76 FEET NORTH 0 DEGREES 01 MINUTES WEST OF THE SOUTH 1/4 CORNER OF SAID SECTION 10; THENCE SOUTH 70 DEGREES 48 MINUTES WEST 9.05 FEET TO A POINT ON CURVE. THENCE NORTHERLY ON A CURVE CONVEX TO THE EAST HAVING A RADIUS OF 505.17 FEET, AN ARC DISTANCE OF 223.24 FEET AND A CHORD BEARING OF NORTH 12 DEGREES 38 MINUTES 42 SECONDS EAST TO A POINT OF COMPOUND CURVE. THENCE NORTHERLY ON A CURVE CONVEX TO THE EAST HAVING A RADIUS OF 1330.75 FEET, AN ARC DISTANCE 75.34 FEET AND A CHORD BEARING OF NORTH 01 DEGREES 38 MINUTES 18 SECONDS EAST TO A POINT OF A CONCRETE WALL CENTERLINE EXTENDED EAST AND WEST, THAT POINT BEING THE POINT OF BEGINNING. THENCE CONTINUING NORTHERLY ON SAID CURVE CONVEX TO THE EAST AN ARC DISTANCE 307.12 FEET AND A CHORD BEARING OF NORTH 09 DEGREES 52 MINUTES 19 SECONDS WEST TO A POINT OF TANGENT; THENCE NORTH 16 DEGREES 29 MINUTES WEST 27.08 FEET. THENCE NORTH 73 DEGREES 31 MINUTES EAST 535.00 FEET. THENCE SOUTH 16 DEGREES 29 MINUTES EAST 328.90 FEET. THENCE SOUTH 02 DEGREES 10 MINUTES 40 SECONDS WEST 164.51 FEET TO A POINT OF A CONCRETE WALL CENTERLINE EXTENDED EAST AND WEST. THENCE NORTH 89 DEGREES 59 MINUTES 36 SECONDS WEST ALONG SAID CONCRETE WALL CENTERLINE EXTENDED EAST AND WEST 539.86 FEET TO THE POINT OF BEGINNING IN COOK COUNTY, ILLINOIS.

PARCEL 2

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS TO PARCEL 1A AND PARCEL 1B ABOVE, ACROSS AND UPON THE ORLAND SQUARE RING ROAD AS ESTABLISHED BY ARTICLE X, PARAGRAPH H, SUBPARAGRAPH (B) (1) OF THAT CERTAIN EASEMENT AND OPERATING AGREEMENT DATED MAY 15, 1976 AND RECORDED AUGUST 10, 1976 AS DOCUMENT 23591873 AND AS GRANTED IN DEED DATED DECEMBER 14, 1977 AND RECORDED DECEMBER 16, 1977 AS DOCUMENT 2424009R, IN COOK COUNTY, ILLINOIS



FINAL PLAT
66 ORLAND SQUARE DRIVE
ORLAND PARK, ILLINOIS

ZARKO SEKEREZ & ASSOCIATES, Inc.
SURVEYING & LAND PLANNING
 116 WEST CLARK STREET
 CROWN POINT, INDIANA 46307
 Phone: 312-726-1313
 Fax: 312-236-9506
 Web: www.sekerez.com

DRAWN BY: PS	CHECKED BY: RJ
DATE: February 7, 2023	
JOB No. 11449	

FINAL PLAT of First Addition to 66 Orland Square Drive

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE LAND DESCRIBED IN THE ATTACHED PLAT AND HAS CAUSED THE SAME TO BE ANNEXED AS SHOWN BY THE PLAT FOR USES AND PURPOSES AS INDICATED THEREIN, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. FURTHERMORE, PURSUANT TO SECTION 1-005 OF THE PLAT ACT, THIS DOCUMENT SHALL SERVE AS THE SCHOOL DISTRICT STATEMENT AND TO THE BEST OF THE OWNER'S KNOWLEDGE, THE TRACT OF LAND LEGALLY DESCRIBED HEREON LIES WITHIN THE FOLLOWING SCHOOL DISTRICTS:

ELEMENTARY DISTRICT _____ HIGH SCHOOL DISTRICT _____
DATED AT ORLAND PARK, ILLINOIS, THIS _____ DAY OF _____, A.D. 20__

OWNER _____

NOTARY PUBLIC CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

I, _____, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ WHO IS (ARE) PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (SHE) (THEY) SIGNED AND DELIVERED THE SAID INSTRUMENTS AT HIS (HER) (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS _____ DAY OF _____, A.D. 20__

NOTARY PUBLIC _____ COMMISSION EXPIRES _____

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
COUNTY OF COOK)

I, _____, VILLAGE FINANCE DIRECTOR OF THE VILLAGE OF ORLAND PARK, DO HEREBY CERTIFY THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DELINQUENT INSTALLMENTS THEREOF THAT HAVE BE APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT ORLAND PARK, COOK COUNTY, ILLINOIS, THIS _____ DAY OF _____, A.D. 20__

FINANCE DIRECTOR _____

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

I, _____, A COUNTY CLERK OF COOK COUNTY, ILLINOIS, DO HEREBY CERTIFY THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT CHICAGO, COOK COUNTY, ILLINOIS

THIS _____ DAY OF _____, A.D. 20__

COUNTY CLERK _____

COUNTY RECORDER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

THIS PLAT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE COOK COUNTY, ILLINOIS ON THE _____ DAY OF _____, A.D. 20__ AS DOCUMENT NUMBER _____

COUNTY RECORDER _____

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

APPROVED BY THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF ORLAND PARK, COOK COUNTY, ILLINOIS THIS _____ DAY OF _____, A.D. 20__

PRESIDENT _____

VILLAGE CLERK _____

BLANKET PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF ORLAND PARK, ILLINOIS AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF ORLAND PARK, INCLUDING, BUT NOT LIMITED TO: COMED COMPANY AND THEIR SUCCESSORS AND ASSIGNS, OVER ALL OF THE PROPERTY (EXCEPT AREAS TO BE IMPROVED WITH) SIGNAGE AND BUILDINGS PURSUANT TO A PLAN APPROVED BY THE VILLAGE) ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, COMMUNITY ANTENNA TELEVISION SYSTEMS AND INCLUDING STORM AND/OR SANITARY SEWERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, OVER, UPON, UNDER AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH RIGHT OF ACCESS ACROSS THE GRANTOR'S PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

THIS RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENTS THAT INTERFERE WITH THE OPERATION OF THE SAID SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED BOTH FOR SEWERS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF ORLAND PARK.

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF ORLAND PARK AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBDIVIDED HEREBY, OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS AND THE PERFORMANCE OF OTHER GOVERNMENTAL SERVICES, INCLUDING WATER, STORM AND SANITARY SEWER SERVICE AND MAINTENANCE.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

ALL EASEMENTS INDICATED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS ON THE PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF ORLAND PARK AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF ORLAND PARK, INCLUDING, BUT NOT LIMITED TO: COMED COMPANY AND THEIR SUCCESSORS AND ASSIGNS, FOR PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITIES, TRANSMISSION AND DISTRIBUTION SYSTEMS INCLUDING STORM AND/OR SANITARY SEWERS, WATER MAINS, VALVE VAULTS AND HYDRANTS TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE OF ORLAND PARK, OVER, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH THE RIGHT OF ACCESS ACROSS PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THIS RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS AND OTHER UTILITIES. NO PERMANENT BUILDINGS, TREES OR OTHER STRUCTURES SHALL INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED FOR BOTH SEWER AND/OR WATER MAINS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF ORLAND PARK.

THE PLACEMENT OF ANY LANDSCAPING NOT IN KEEPING WITH THE APPROVED LANDSCAPE PLAN OR GRADING PLAN FOR A GIVEN PROPERTY OR ANY ACCESSORY BUILDING OR STRUCTURE, SWIMMING POOL, FENCE OR OTHER IMPROVEMENT WHICH IN ANY WAY COULD CAUSE AN IMPEDIMENT TO THE OVERLAND FLOW OF STORM WATER WITHIN SAID DRAINAGE EASEMENT IS HEREBY PROHIBITED.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED AND GRANTED OVER AND UNDER THE PLATTED AREAS HEREON NOTED AS "PUBLIC UTILITY & DRAINAGE EASEMENT" TO AT&T, COMMUNICATIONS COMPANY, INCORPORATED, THE VILLAGE OF ORLAND PARK, TOGETHER WITH THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, LAY, CONSTRUCT, REPAIR, OPERATE AND MAINTAIN CONDUITS, CABLES, WIRES, SEWERS, PIPES, SURFACE AND SUBSURFACE DRAINAGE, AND WATER MAINS, UNDERGROUND, WITH ALL NECESSARY MANHOLES, WATER VALVES AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THE SAID REAL ESTATE WITH TELEPHONE COMMUNICATIONS, ELECTRICITY, SEWER, GAS, WATER SERVICE, DRAINAGE, AND OTHER MUNICIPAL SERVICES. ALSO THERE IS HEREBY GRANTED THE RIGHT TO ENTER UPON THE SAID REAL ESTATE AT ALL TIMES TO INSTALL, LAY, CONSTRUCT, REPAIR, OPERATE AND MAINTAIN WITHIN THE SAID REAL ESTATE SAID CONDUITS, CABLES, WIRES, MANHOLES, WATER VALVES, PIPES, SURFACE AND SUBSURFACE DRAINAGE, AND OTHER EQUIPMENT. THE RIGHT OF INGRESS AND EGRESS IS HEREBY GRANTED OVER, UPON AND THROUGH THE SAID REAL ESTATE OF EMERGENCY VEHICLES OF ANY AND ALL TYPES FOR ANY PURPOSE WHATSOEVER. NO PERMANENT BUILDING SHALL HEREAFTER BE PLACED ON THE SAID EASEMENT, AS DETERMINED, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND SUCH OTHER PURPOSES THAT THEN AND LATER DO NOT UNREASONABLY INTERFERE WITH THE USES OR THE RIGHTS HEREIN GRANTED.

NO OVERHEAD UTILITY FACILITIES ARE PERMITTED IN THESE HEREBY CREATED EASEMENTS.

SURVEYOR

I, RUSSEL WAID DILLON, hereby certify that I have prepared the plat shown hereon and that it is correct; the iron rod monuments will be placed in the ground as indicated hereon, in accordance with the Subdivision Regulations of the Des Plaines City Code; that the property is within the corporate limits of the City of Des Plaines, which has adopted an official comprehensive plan; that the property is not within a Special Flood Hazard Area, as identified by the Federal Emergency Management Agency on the most recent Flood Insurance Rate Map Panel 702 of 852, Community Panel No. 17031C.

Surveyor _____

STATE OF ILLINOIS)
COUNTY OF _____)

I, _____, a Notary Public in and for said County, in the State aforesaid, do hereby certify that _____ personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered said instrument as his free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and official seal this _____ day of _____, 20__

Notary Public _____

My Commission Expires _____

DRAINAGE CERTIFICATE

To the best of our knowledge and belief, the drainage of surface waters will not be changed by the construction of this subdivision or any part thereof, or if such surface water drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public areas, or drains which the owner has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to the adjoining property because of the construction of this subdivision.

OWNER _____ REGISTERED PROFESSIONAL ENGINEER _____

Name _____ Date _____
Name _____ Date _____
Firm _____
Date _____
(SEAL)

Send Tax Bill To
Pearl Street Commercial LLC
2207 Patriot Blvd.
Glenview, IL 60026

Return Drawing To:
Village of Orland Park
Village Hall
14700 Ravinia Avenue
Orland Park, IL 60462

SHEET
2
OF
2

Pearl Street Commercial LLC
2207 Patriot Blvd.
Glenview, IL 60026

FINAL PLAT
66 ORLAND SQUARE DRIVE
ORLAND PARK, ILLINOIS

ZARKO SEKEREZ & ASSOCIATES, Inc.
SURVEYING & LAND PLANNING
116 WEST CLARK STREET
CROWN POINT, INDIANA 46037
Phone: 312-726-1313
Fax: 312-238-9508
Web: www.sekerez.com

DRAWN BY:	PS	CHECKED BY:	RI
DATE: February 7, 2023			
JOB No: 11449			

CUBE SMART SELF-STORAGE

ORLAND PARK, IL

66 ORLAND SQUARE DRIVE

GENERAL NOTES

- The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. Neither the engineer nor his personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contingency basis at the site.
- The contractor, by agreeing to perform the work, agrees to indemnify and hold harmless the owner, the engineer, the city, and all agents and assigns of those parties, from all suits and claims arising out of the performance of said work, and further agrees to defend or otherwise pay all legal fees arising out of the defense of said parties.
- In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for coordination of the design with the utility records of all existing and proposed utilities in the project area. The contractor shall apply performance to not be limited to include review of the adequacy of the contractor's safety measures, in, or near the construction site. The contractor is responsible for maintaining adequate signs, barricades, fencing, traffic control devices and measures, and all other measures that are necessary to protect the safety of the site at all times.
- Maintain access for vehicular and pedestrian traffic, as required for other construction activities. Use traffic control devices to include temporary striping, barriers, barricades, warning signs, and warning lights shall be in accordance with current MUTCD and IDOT standards.
- All phases of the site work for the project shall meet or exceed industry standards and requirements set forth by the owner's Description of Work, Village of Orland Park, the State of Illinois, and the plan set.
- The Village of Orland Park be notified at least two (2) working days prior to the commencement or resumption of any work.
- The contractor shall coordinate all permit and inspection requirements with responsible local, state, and federal agencies. The contractor shall include the costs of this coordination and all inspection fees in the bid price.
- All work performed by the contractor shall come with a warranty applied defects in workmanship and materials. The warranty period shall run concurrent with the required warranty periods the owner must provide to each local government agency, as a condition of the permit.
- The contractor will be held solely responsible for and shall take precautions necessary to avoid property damage to adjacent properties during the construction of this project.
- All structures, inlets, pipes, sewers, roads and public egresses must be kept clean and free of dirt and debris at all times.
- Any field lines encountered during construction shall be recorded showing their location, and depth by the contractor, and either reconnected and rerouted or connected to the storm sewer system. The owner shall be notified immediately upon encountering any line.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify the location and elevation of existing pipes inlets, curb or pavement where matching into existing work. The contractor shall field verify horizontal control by referencing property corners to known property lines. Notify the engineer of discrepancies in either vertical or horizontal control prior to proceeding.
- All elevations are on NAVD 88 datum.
- Paving areas designated as A.D.A. and all sidewalks shall be compliant with state and local A.D.A. requirements.
- Traffic warning plates per IDOT specifications shall be placed at all locations where sidewalks that it to be replaced intersects public roads and at locations indicated in the plan set.
- The contractor shall verify the location of all utilities in the field prior to construction. The location existing sewer, water main, storm sewer, General Telephone, Commonwealth Edison, Northern Illinois Gas and cable television, if any. The J.U.L.I.E. number is 1-800-962-0123.
- Property corners shall be carefully protected until they have been referenced by a Professional Land Surveyor.
- The contractor shall keep careful measurements and records of all construction and shall furnish the Engineer, the Owner and the City with record drawings in a digital format compatible with AutoCAD Release 14 upon completion of the work.
- Any excess dirt or materials shall be placed by the contractor on-site at the owner's direction or as indicated on the plans.
- Notify the owner and Village of Orland Park of any existing wells. Obtain permit from the Illinois Bureau of Minerals and the State Water Survey. Cap and abandon wells in accordance with local, state, and federal regulations.
- Final grade shall in all areas not specifically reserved for storm water management shall drain freely. No ponding shall occur. Tolerances to be observed will be measured to the nearest 0.04 of a foot for paved surfaces and 0.10 of a foot for unpaved areas.

DEVELOPMENT AREA

Total Development Area = 17.036 sf (0.39 ac)
Development area that is naturalized landscape = 9,461 sf
Net development area = 7,575 sf

VICINITY MAP



OWNER:

Pearl Orland Storage, LLC
STEVE SCHWARTZ
5514 Linden Avenue, Suite 200
Libe, IL 60532-2806
847-367-7200

ENGINEER:

Call Before You Dig
ILLINOIS
ONE CALL SYSTEM
DIAL 811 OR (800) 892-0123



Allen Nicole Downing

ARC DESIGN
RESOURCES INC.

5301 320TH AVENUE
LIBE PARK, IL 61111
VOICE: (815) 644-4300
FAX: (815) 644-4303
www.arcdesign.com
Illinois Design Firm License No. 184-001334

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C00	COVER
C01	GENERAL NOTES
C02	REMOVALS PLAN
C03	OVERALL LAYOUT PLAN
C04	CONSTRUCTION MANAGEMENT PLAN
C05	LAYOUT PLAN
C06	GRADING & EROSION CONTROL
C07	GRADING PLAN - SIDEWALKS
C08	DETAILS
C09	DETAILS
L01	LANDSCAPE PLAN (NORTH)
L02	LANDSCAPE PLAN (SOUTH)

APPROVAL

VILLAGE OF ORLAND PARK

DATE

PENDING

UTILITY OFFICIALS

PUBLIC WORKS DEPARTMENT:

VILLAGE OF ORLAND PARK
14700 RAVENNA AVE
ORLAND PARK, IL 60462
(708) 405-6100

PUBLIC WORKS INSPECTION:

VILLAGE OF ORLAND PARK
14700 RAVENNA AVE
ORLAND PARK, IL 60462
(708) 405-6100

SEWER DISTRICT:

VILLAGE OF ORLAND PARK
14700 RAVENNA AVE
ORLAND PARK, IL 60462
(708) 405-6100

WATER DEPARTMENT:

VILLAGE OF ORLAND PARK
14700 RAVENNA AVE
ORLAND PARK, IL 60462
(708) 405-6100

TELEPHONE:

ORGANIZATION
ADDRESS
CONTACT NAME
CONTACT TITLE
PHONE NUMBER

CABLE TELEVISION:

ORGANIZATION
ADDRESS
CONTACT NAME
CONTACT TITLE
PHONE NUMBER

ELECTRIC:

COMED
(800) 334-7161

GAS:

NICOR GAS
(888) 642-6748

ARC DESIGN
RESOURCES INC.

5301 320TH AVENUE
LIBE PARK, IL 61111
VOICE: (815) 644-4300
FAX: (815) 644-4303
www.arcdesign.com
Illinois Design Firm License No. 184-001334

PROJECT NAME
CUBE SMART SELF-STORAGE

OWNER NAME
66 ORLAND SQUARE DRIVE
ORLAND PARK, IL

PH: 87-10-400-043-000
Pearl Orland Storage, LLC
5514 Linden Avenue, Suite 200
Libe, IL 60532-2806
847-367-7200

CONSULTANTS

REVISIONS

NO.	DATE	DATE
1. DESIGN REVIEW	9/1/02	
2. DESIGN REVIEW	10/22	
3. DESIGN REVIEW	11/22	
4. DESIGN REVIEW	10/22/02	
5. DESIGN REVIEW	10/22/02	
6. DESIGN REVIEW	10/22/02	
7. DESIGN REVIEW	10/22/02	
8. DESIGN REVIEW	10/22/02	
9. DESIGN REVIEW	10/22/02	
10. DESIGN REVIEW	10/22/02	
11. DESIGN REVIEW	10/22/02	
12. DESIGN REVIEW	10/22/02	

SHEET TITLE
COVER

PROJECT NUMBER
20027

SHEET NUMBER
C00

1 Unreliable Memory

- was part of.

1. All pavement shall be constructed in accordance with the following

- C** No ponding shall occur on paved surfaces.

1. **Material description:** a fast drying, high building marking paint for concrete, brick, and bituminous surface, suitable for painting centerlines and edges of highway's

1. **Prohibit discgolf:** A disc golfing, high-velocity mini golf park (in Lincoln, IL, etc.) and numerous others, including the parking lot at Village of Oxford Park, crosswalks and stop zones, parking lots, traffic lights, etc. Do not apply to in temperatures below 50 °F.

1. The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set.

11. Any damage sustained by items that are to remain in place shall be repaired or replaced to the owner's satisfaction at no cost to the owner.

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	PROPERTY LINE		EXISTING WATER TO REMAIN
	LOT LINE		EXISTING SLOPE TO REMAIN
	EXISTING RIGHT-OF-WAY		EXISTING GAS METER TO REMAIN
	EXISTING EASEMENT LINE		EXISTING ELECTRIC METER TO REMAIN
	EXISTING CURB AND GUTTER		EXISTING STORM SEWER TO REMAIN
	EXISTING CURB AND GUTTER TO BE REMOVED		EXISTING SANITARY SEWER TO REMAIN
	EXISTING SANITARY SEWER TO REMAIN		EXISTING LIGHT POLE TO REMAIN
	EXISTING WATER TO REMAIN		EXISTING LIGHT POLE TO BE REMOVED/RELOCATED
	EXISTING FENCE TO REMAIN		EXISTING SHRUBS TO BE REMOVED
	EXISTING FENCE TO BE REMOVED		
	EXISTING CONTOUR LINE		
	EXISTING PAVEMENT TO BE REMOVED		
	EXISTING CONCRETE TO BE REMOVED		
	EXISTING TUFF TO BE REMOVED		
	"TO BE REMOVED"		
	"SALVAGE"		
	TYPICAL FOR ALL SPECIAL ITEMS		
	BENCHMARK		
	MISC. REMOVALS FOR SIDEWALK		

[illegible]

LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED FENCE (CONCRETE/WOODEN)
- EXISTING FENCE
- EXISTING LIGHT POLE AND FIXTURE
- PROPOSED LIGHT POLE AND FIXTURE
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED BUILDING ADDITION
- PAINTED CROSS WALK

ZONING / SITE DATA TABLE

SITE ZONING - CURRENT	COM - MIXED USE COM DISTRICT
SITE ZONING - PROPOSED	COM - MIXED USE COM DISTRICT - SPECIAL USE
LOT AREA - (P) 27-10-00-03-000 (OWN)	1,200 S.F. (11.33 AC)
LOT AREA - (P) 27-10-00-03-000 (OWN)	1,200 S.F. (11.33 AC)
MINIMUM LOT AREA	1,200 S.F. (11.33 AC)
MINIMUM LOT WIDTH	60 FT
MINIMUM LOT DEPTH	200 FT
MAXIMUM COVERED AREA (GROSS INT)	75%
MAXIMUM COVERED AREA (GROSS INT)	90,755 S.F. (2.08 AC)

* WHEN BRGP ARE REQUIRED

LANDSCAPE DATA

15,328 S.F. (1.17 AC)

SETBACKS

PROVIDED

FRONT

25'

SIDE

15'

REAR

20'

BUILDING

PROPOSED

SQUARE FOOTAGE

83,712 S.F.

BUILDING HEIGHT

35' (12 STORY)

FLOOR AREA RATIO

6.9

PARKING

PROVIDED

TYPICAL PARKING DIMENSIONS

9' X 18'

ACCESSIBLE PARKING

3 SPACES

TOTAL PARKING SPACES

65 SPACES

MINIMUM ACCESS WIDTH

20' (40' FOR STALLS)

BICYCLE PARKING

7 PROVIDED

LOADING

PROPOSED

REQUIRED DIMENSIONS

12' X 25'

LAYOUT NOTES

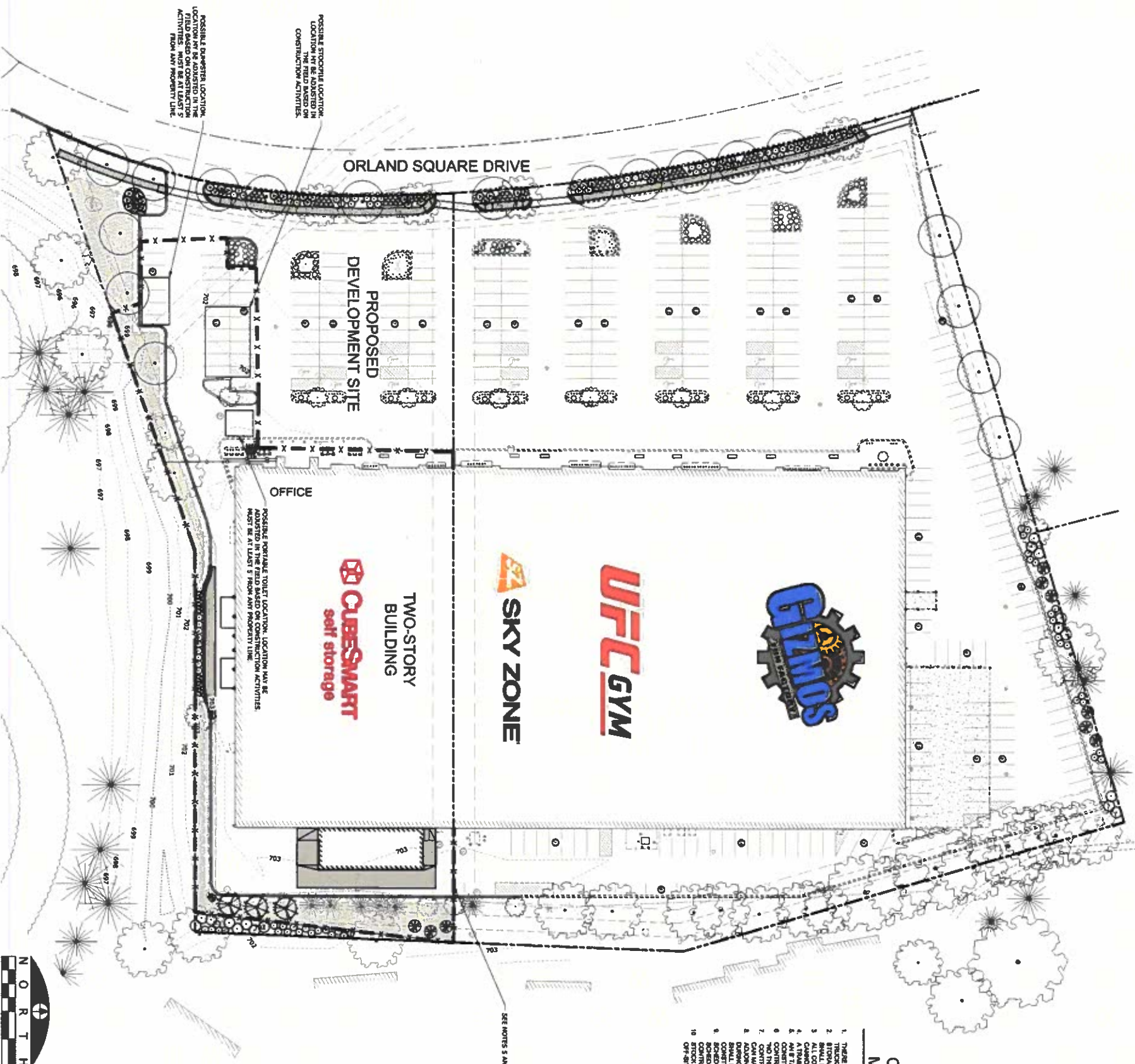
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF THE BENCHMARKS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF THE BENCHMARKS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF THE BENCHMARKS.
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BENCHMARKS

DESCRIPTION	ELEVATION (NAD 83)
BENCHMARK 1	703.90
FLANGE ON FIRE HYDRANT AT SOUTH LINE OF SUBJECT PARCEL	
SET BY: RUSSEL WARD DILLON, P.E. 83153	
EXPIRES: NOVEMBER 30, 2022	

ISSUED FOR	DATE
1. ASHLEY REVIEW	3/2/22
2. ASHLEY REVIEW	3/2/22
3. ASHLEY REVIEW	3/2/22
4. ASHLEY REVIEW	3/2/22
5. ASHLEY REVIEW	3/2/22
6. ASHLEY REVIEW	3/2/22
7. ASHLEY REVIEW	3/2/22
8. ASHLEY REVIEW	3/2/22
9. ASHLEY REVIEW	3/2/22
10. ASHLEY REVIEW	3/2/22
11. ASHLEY REVIEW	3/2/22
12. ASHLEY REVIEW	3/2/22

REVISIONS	DATE
1. ASHLEY REVIEW	3/2/22
2. ASHLEY REVIEW	3/2/22
3. ASHLEY REVIEW	3/2/22
4. ASHLEY REVIEW	3/2/22
5. ASHLEY REVIEW	3/2/22
6. ASHLEY REVIEW	3/2/22
7. ASHLEY REVIEW	3/2/22
8. ASHLEY REVIEW	3/2/22
9. ASHLEY REVIEW	3/2/22
10. ASHLEY REVIEW	3/2/22
11. ASHLEY REVIEW	3/2/22
12. ASHLEY REVIEW	3/2/22



BENCHMARKS	
DESCRIPTION	ELEVATION (NAVD 88)
BENCHMARK 1 FLANGE ON FIRE HYDRANT AT SOUTH LINE OF SUBJECT PARCEL.	703.80
SET BY: RUSSELL WAARD DELTON, PLS #0153 DOPREPS: NOVEMBER 30, 2022	

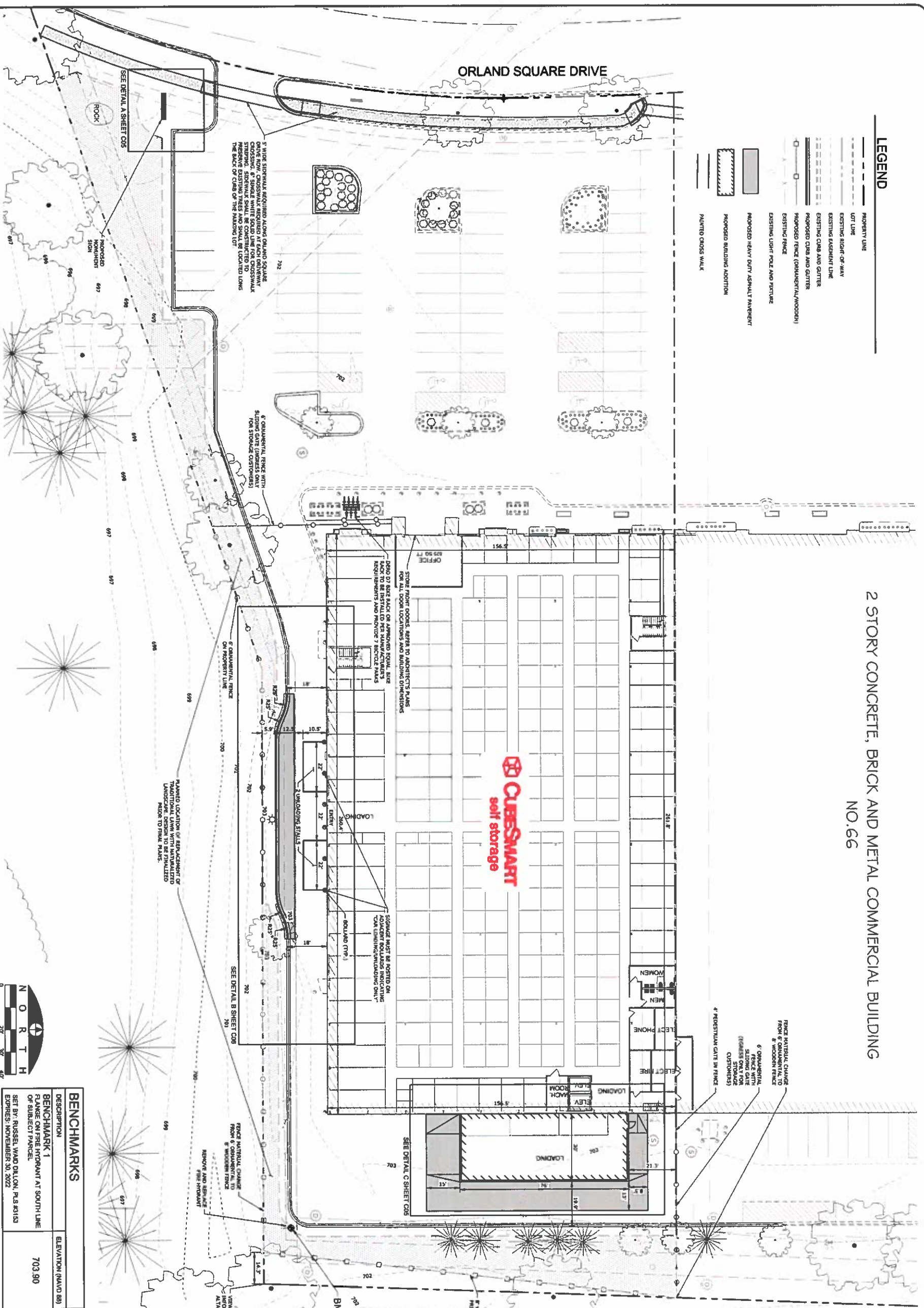
PROJECT NUMBER
SHEET NUMBER
20027
C04

LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED FENCE (ORNAMENTAL/METAL)
- EXISTING FENCE
- EXISTING LIGHT POLE AND FIXTURE
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED BUILDING ADDITION
- PAVING CROSS WALK

2 STORY CONCRETE, BRICK AND METAL COMMERCIAL BUILDING
NO.66

CUBE SMART
self storage



BENCHMARKS	
DESCRIPTION	ELEVATION (NAD 83)
BENCHMARK 1 FLANGE ON FIRE HYDRANT AT SOUTH LINE OF SUBJECT PARCEL SET BY: RUSSEL, WARD & OLSON, P.L.S. 03/15/20 EXPIRES: NOVEMBER 30, 2022	703.90

PROJECT NUMBER	20027
SHEET NUMBER	C05

DRAWN	ST
CHECKED	LKD
IN	RCB

SHEET TITLE	
LAYOUT PLAN	

NO.	DATE	REVISIONS
1.	1/1/2020	1. ASBCT REVIEW
2.	2/1/2020	2. ASBCT REVIEW
3.	3/1/2020	3. ASBCT REVIEW
4.	4/1/2020	4. ASBCT REVIEW
5.	5/1/2020	5. ASBCT REVIEW
6.	6/1/2020	6. ASBCT REVIEW
7.	7/1/2020	7. ASBCT REVIEW
8.	8/1/2020	8. ASBCT REVIEW
9.	9/1/2020	9. ASBCT REVIEW
10.	10/1/2020	10. ASBCT REVIEW
11.	11/1/2020	11. ASBCT REVIEW
12.	12/1/2020	12. ASBCT REVIEW

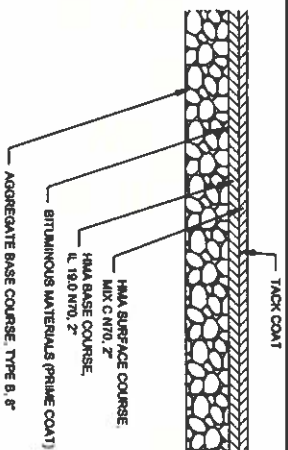
COMMENTS	

PROJECT NAME	
CUBE SMART SELF-STORAGE 66 ORLAND SQUARE DRIVE ORLAND PARK, IL	
PROJECT NUMBER	
20027	
DRAWN	
ST	
CHECKED	
LKD	
IN	
RCB	

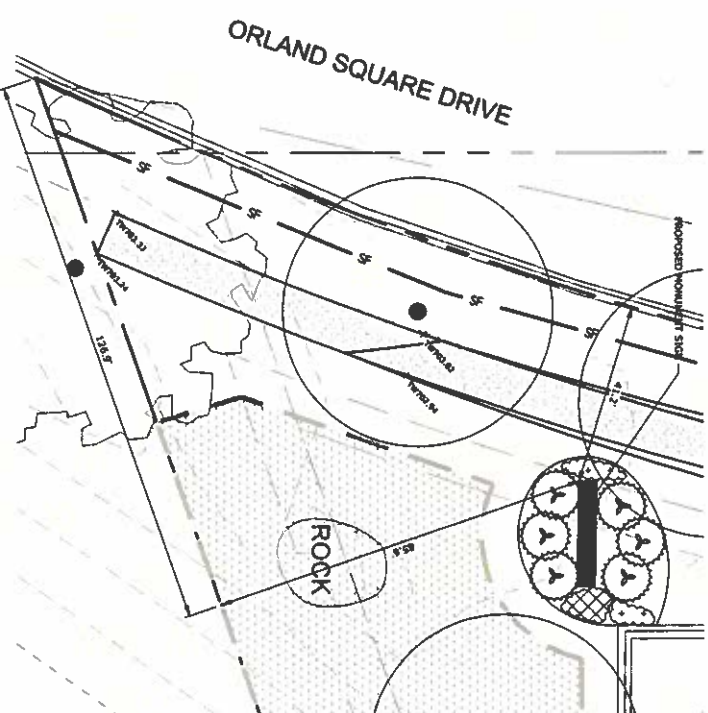
ARC DESIGN RESOURCES INC.	
301 WEST 10TH AVENUE LOUISVILLE, KY 40202 PHONE: (502) 464-4000 FAX: (502) 464-4001 WWW.ARCDESIGN.COM	



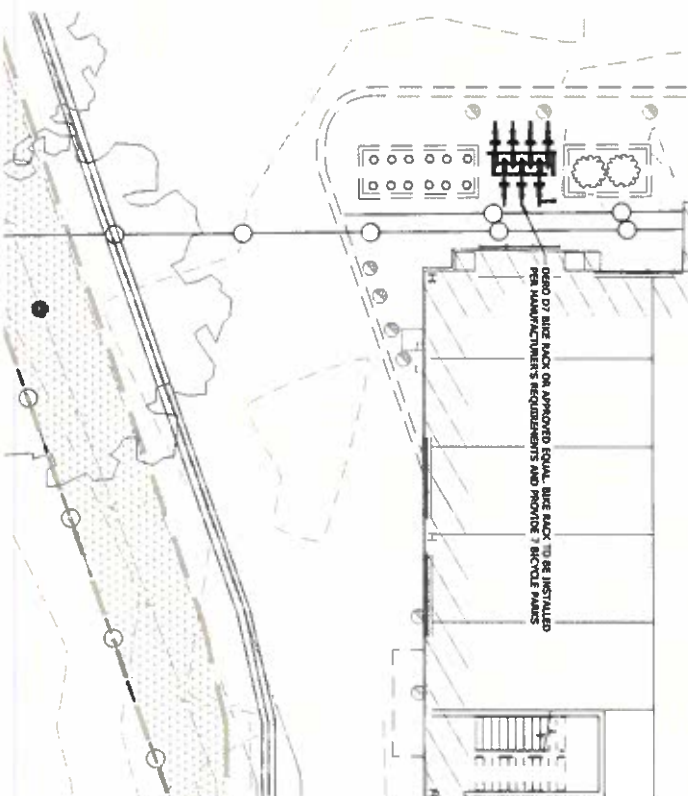
DETAIL A
ASPHALT PAVEMENT OVER EXISTING
AGGREGATE BASE COURSE



ASPHALT PAVEMENT W/ NEW BASE



DETAIL B



- EROSION CONTROL
SEQUENCE OF CONSTRUCTION**
1. PREPARE TEMPORARY FLOODING AND STORAGE AREA, UPON COMPLETION OF THE CONSTRUCTION OF THE EROSION CONTROL MEASURES, THE CONTRACTOR SHALL FILL THE EROSION CONTROL MEASURES WITH CONCRETE, CEMENT, GRAVEL, SAND, FUEL, AND NATURAL STORAGE CONTAINERS, ETC. LOCATE THEM ON THE EROSION CONTROL MEASURES, AND LOCATE THEM ON THE EROSION CONTROL MEASURES, AND LOCATE THEM ON THE EROSION CONTROL MEASURES.
 2. PROTECT THE EROSION CONTROL MEASURES FROM THE CONSTRUCTION PROCESS.
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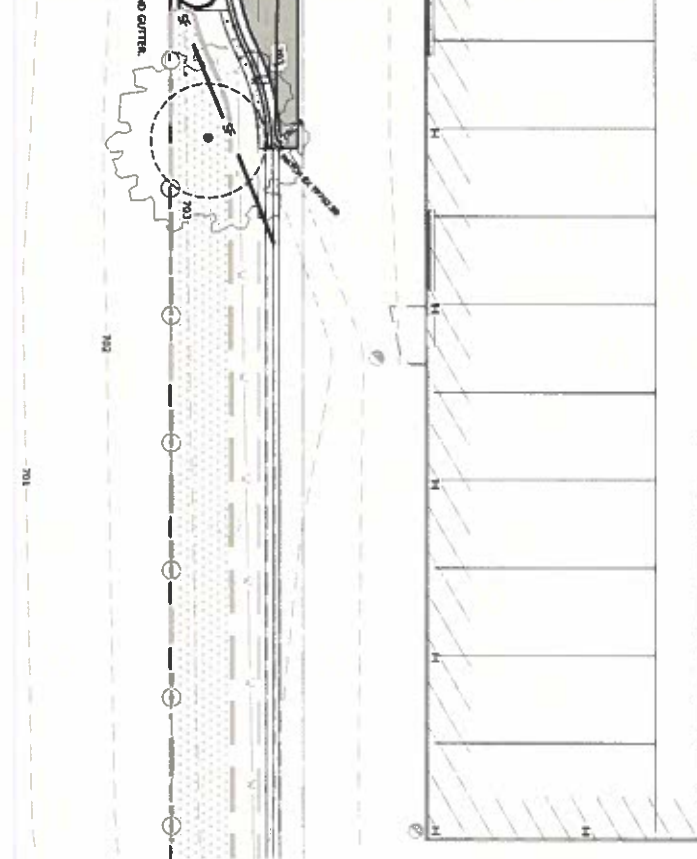
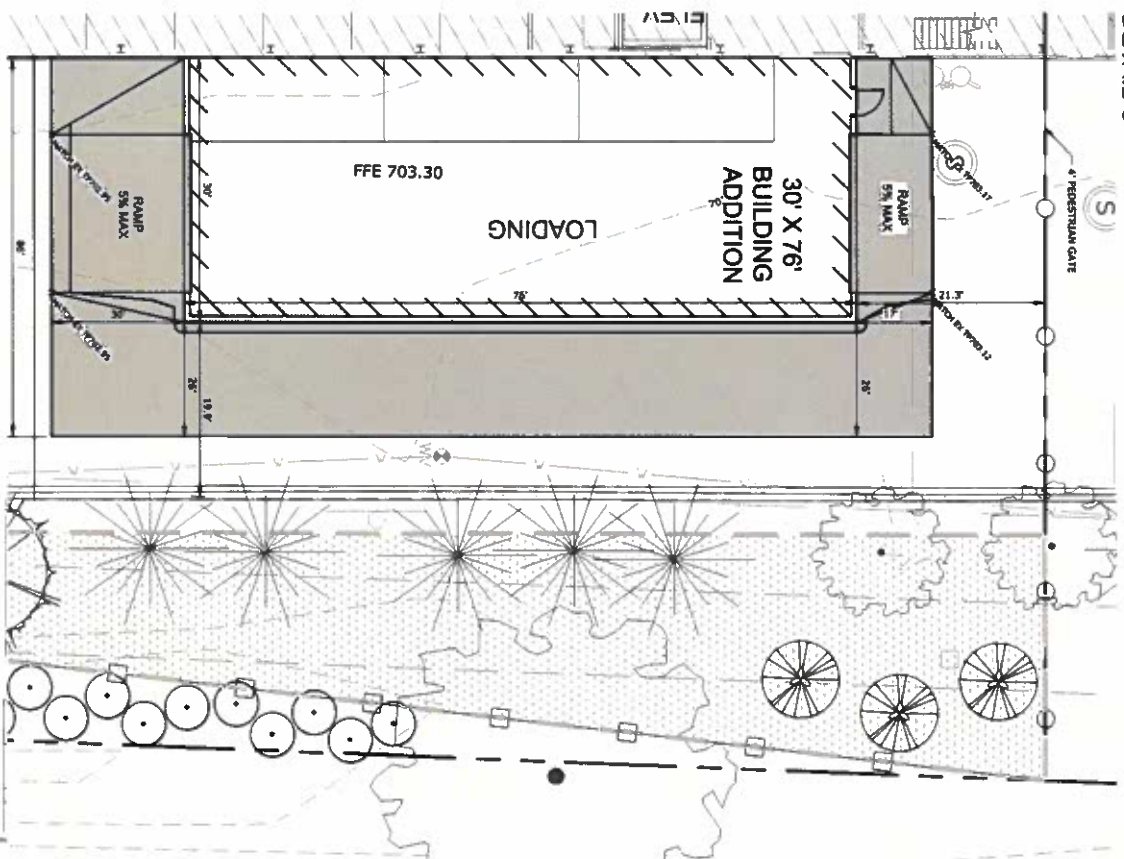
LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- EXISTING BASEMENT LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED FENCE (CONCRETE/ALUMINUM)
- EXISTING FENCE
- EXISTING LIGHT POLE AND FIXTURE
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED BUILDING ADDITION
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- DIRECTION OF SHEET FLOW
- TOP OF PAVEMENT ELEVATION
- FINISHED GRADE ELEVATION
- THREE INCHES AT TOP LINE
- SEE DETAIL SHEET FOR
- TEMPORARY EROSION CONTROL
- SEE DETAIL SHEET FOR

GRADING NOTES

1. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF THE REMAINING PLOT TO THE EXISTING GRADE. THE CONTRACTOR SHALL FILL THE EROSION CONTROL MEASURES WITH CONCRETE, CEMENT, GRAVEL, SAND, FUEL, AND NATURAL STORAGE CONTAINERS, ETC. LOCATE THEM ON THE EROSION CONTROL MEASURES, AND LOCATE THEM ON THE EROSION CONTROL MEASURES.
2. PROTECT THE EROSION CONTROL MEASURES FROM THE CONSTRUCTION PROCESS.
3. PROTECT THE EROSION CONTROL MEASURES FROM THE CONSTRUCTION PROCESS.
4. PROTECT THE EROSION CONTROL MEASURES FROM THE CONSTRUCTION PROCESS.
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10. PROTECT THE EROSION CONTROL MEASURES FROM THE CONSTRUCTION PROCESS.
11. PROTECT THE EROSION CONTROL MEASURES FROM THE CONSTRUCTION PROCESS.

DETAIL C



ARC DESIGN
RESOURCES INC.

301 SOUTH PARKWAY
CHICAGO, IL 60607
TEL: (312) 464-4300
FAX: (312) 464-4301
www.arcresources.com

Shawn Dwyer, Project Manager, 104-011354

**CUBE SMART
SELF-STORAGE**

66 ORLAND SQUARE
DRIVE
ORLAND PARK, IL

Project Owner: Storage, LLC
5514 Linden Avenue, Suite 200
Oak Brook, IL 60110-1200
Tel: 630-582-2000
Fax: 630-582-2001

CONTRACT NOTES

1. ASBESTOS REVIEW
2. ASBESTOS REVIEW
3. ASBESTOS REVIEW
4. ASBESTOS REVIEW
5. ASBESTOS REVIEW
6. ASBESTOS REVIEW
7. ASBESTOS REVIEW
8. ASBESTOS REVIEW
9. ASBESTOS REVIEW
10. ASBESTOS REVIEW
11. ASBESTOS REVIEW
12. ASBESTOS REVIEW

REVISIONS

NO.	DATE	DESCRIPTION
1	10/22	1. ASBESTOS REVIEW
2	10/22	2. ASBESTOS REVIEW
3	10/22	3. ASBESTOS REVIEW
4	10/22	4. ASBESTOS REVIEW
5	10/22	5. ASBESTOS REVIEW
6	10/22	6. ASBESTOS REVIEW
7	10/22	7. ASBESTOS REVIEW
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9	10/22	9. ASBESTOS REVIEW
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11	10/22	11. ASBESTOS REVIEW
12	10/22	12. ASBESTOS REVIEW

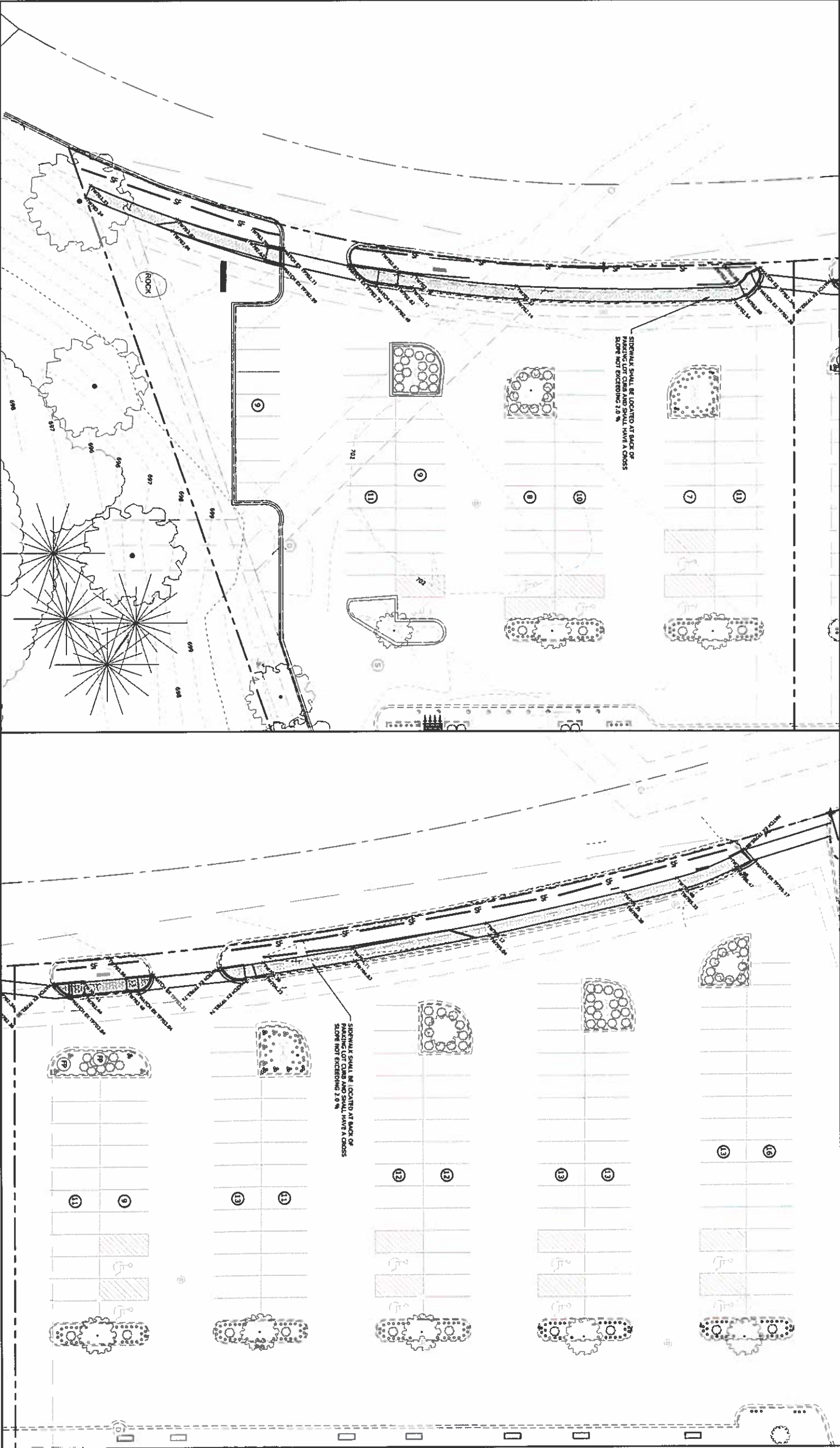
SHEET TITLE
GRADING &
EROSION CONTROL

PROJECT NUMBER
20027

SHEET NUMBER
C06

SOUTH LOT SIDEWALK GRADING

NORTH LOT SIDEWALK GRADING



PROJECT NAME

OWNERS NAME

CUBE SMART
SELF-STORAGE
66 ORLAND SQUARE
DRIVE
ORLAND PARK, IL

CONSULTANTS

ISSUED FOR

NO.	DATE	REVISIONS
1.	3-9-02	1. ASHBY REVIEW
2.	6-02	2. ASHBY REVIEW
3.	6-02	3. ASHBY REVIEW
4.	6-02	4. ASHBY REVIEW
5.	6-02	5. ASHBY REVIEW
6.	6-02	6. ASHBY REVIEW
7.	6-02	7. ASHBY REVIEW
8.	6-02	8. ASHBY REVIEW
9.	6-02	9. ASHBY REVIEW
10.	6-02	10. ASHBY REVIEW
11.	6-02	11. ASHBY REVIEW
12.	6-02	12. ASHBY REVIEW

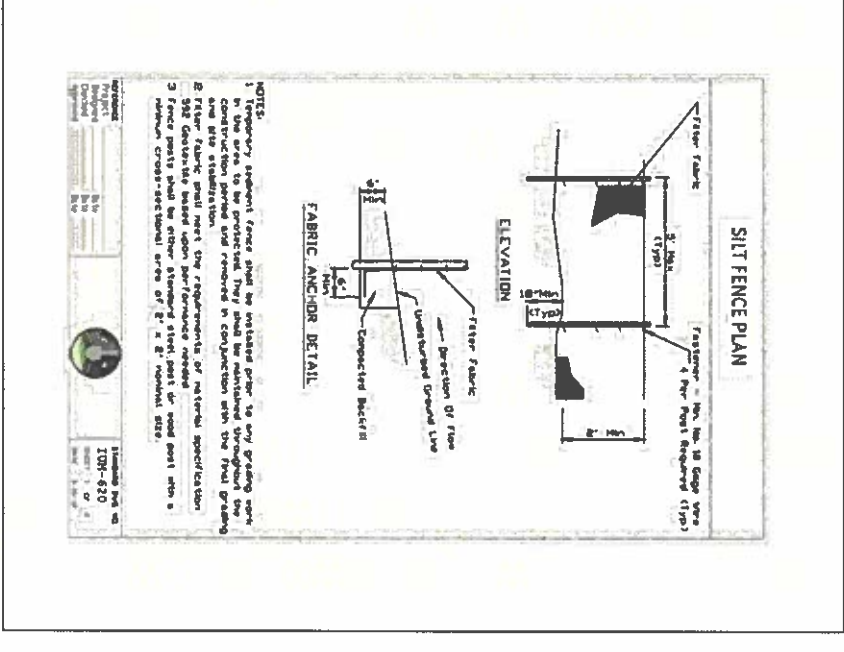
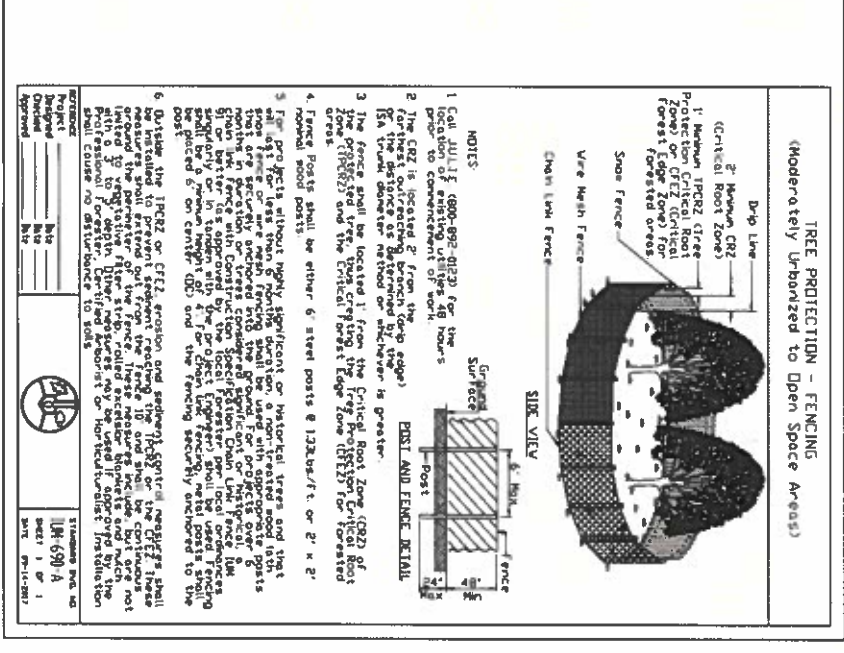
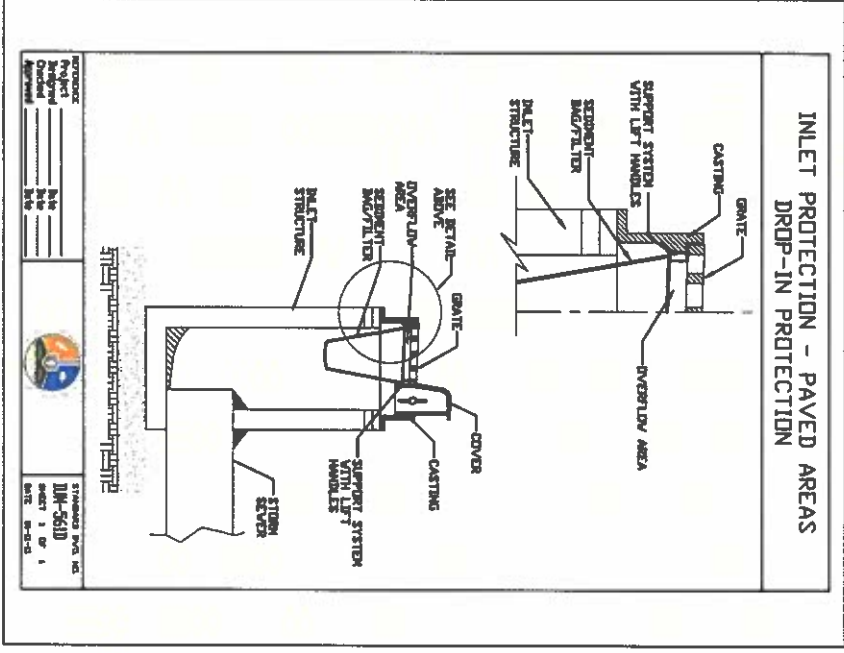
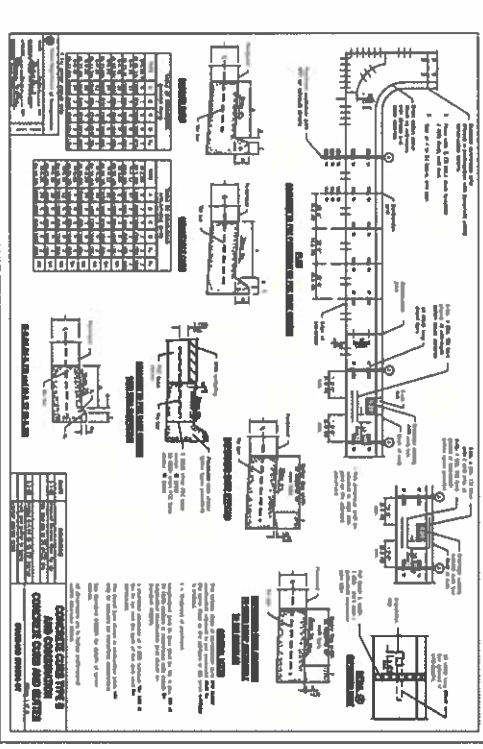
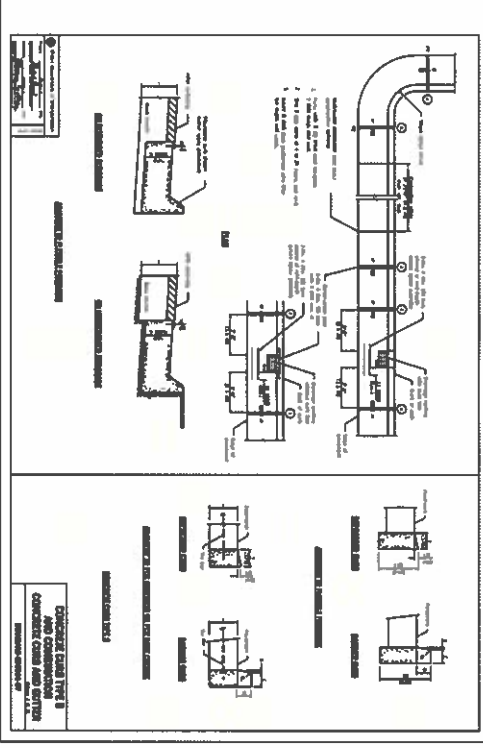
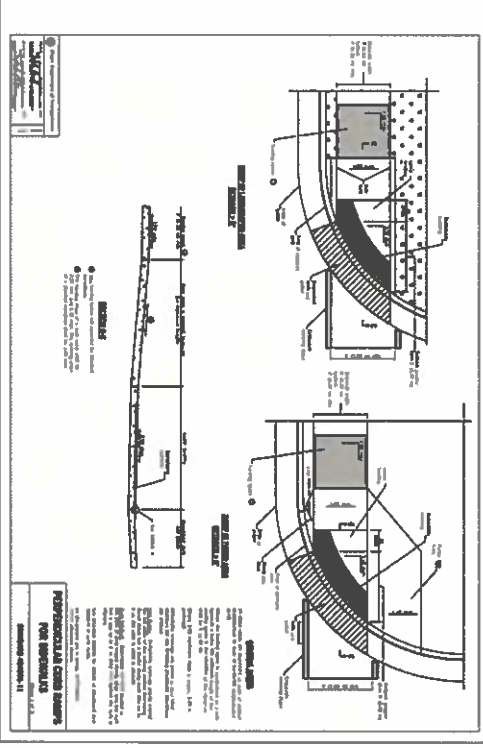
SHEET TITLE
GRADING PLAN -
SIDEWALKS

DRAWN
CHECKED
DATE

PROJECT NUMBER
SHEET NUMBER

20027
C07

NO.	REVISION	DATE
1.	1.	10/22/2010
2.	2.	10/22/2010
3.	3.	10/22/2010
4.	4.	10/22/2010
5.	5.	10/22/2010
6.	6.	10/22/2010
7.	7.	10/22/2010
8.	8.	10/22/2010
9.	9.	10/22/2010
10.	10.	10/22/2010
11.	11.	10/22/2010
12.	12.	10/22/2010



HPHA™ Specifications

HPHA™ Harrington Permanent Hydrant Adapter™
Harrington Permanent Hydrant Adapter™. A Metal Face Storz with Female Thread, secured to the male nozzle w/ (2) Set Screws, includes Storz Cap with Reflective Aircraft Cable



Harrington, Inc.
2630 West 21st St., Erie, PA 16506
800.553.0078

HPHA™ adapter thread onto existing nozzle.

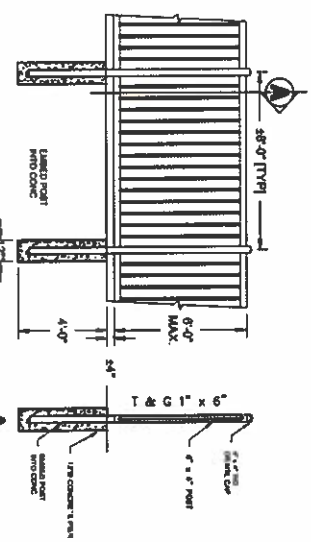
4" STORZ x Female	4" Special thread	5" STORZ x Female
HPHA40-40-XXX/Cap	HPHA50-40-XXX/Cap	
HPHA40-40NH/Cap	HPHA50-40NH/Cap	
HPHA40-45NH/Cap	HPHA50-45NH/Cap	

Made in USA from forged 6061-T6 Aluminum. Hard Anodized to MIL-A-8625, Type 3, Dark Gray, and tested for "High-Torque".
* ANY "SPECIAL THREAD" SIZE IS AVAILABLE AND CUT DIRECTLY INTO THE FORGING TO PROVIDE THE LOWEST PROFILE AVAILABLE.
Note: 4" NH (NPT) = 5.010" ODM x 1.75", 4.5" NH (NPT) = 5.760" ODM x 1.75"
"ODM" = Outside Diameter of the Male Thread. "TPI" = Threads Per Inch

HPHA™ SPECIFICATION

The Permanent Hydrant Adapter threads onto the male nozzle and is secured permanently to the hydrant. A Storz square wrench is required for cap removal.
The Storz adapter shall have a hard anodized aluminum metal face seal and hard anodized aluminum Storz ramps and lugs. The adapter's finish shall be hardcoat anodized to MIL-A-8625, Type 3, dark gray. The adapter shall be made in USA from forged 6061-T6 aluminum and secured to the nozzle by (2) stainless steel set screws, inserted 180° apart. The female adapter shall contain a fiber rubber gasket which seals against the male hydrant nozzle.
The blind cap shall have hard anodized aluminum Storz ramps and lugs, made of forged 6061-T6 aluminum. The cap shall be equipped with a suction seal. The cap shall be connected to the adapter or the hydrant with a 0.125" very coarse stainless steel aircraft cable. The cable shall be reflective to assist in locating the hydrant at night. The high torque cap requires a Storz square wrench for removal. Once installed, the Permanent Hydrant Adapter with cap extends less than 5" from the hydrant nozzle.

SPECIFY: HARRINGTON "HPHA"



WOOD FENCE DETAIL

6'H X 6'W INFINITY ALUMINUM FENCE PANEL
TRADITIONAL GRADE - STYLE #2 POOL

IRON FENCE
1-800-241-2729
www.ironfence.com

71' (73' INSTALLED W/ POSTS)

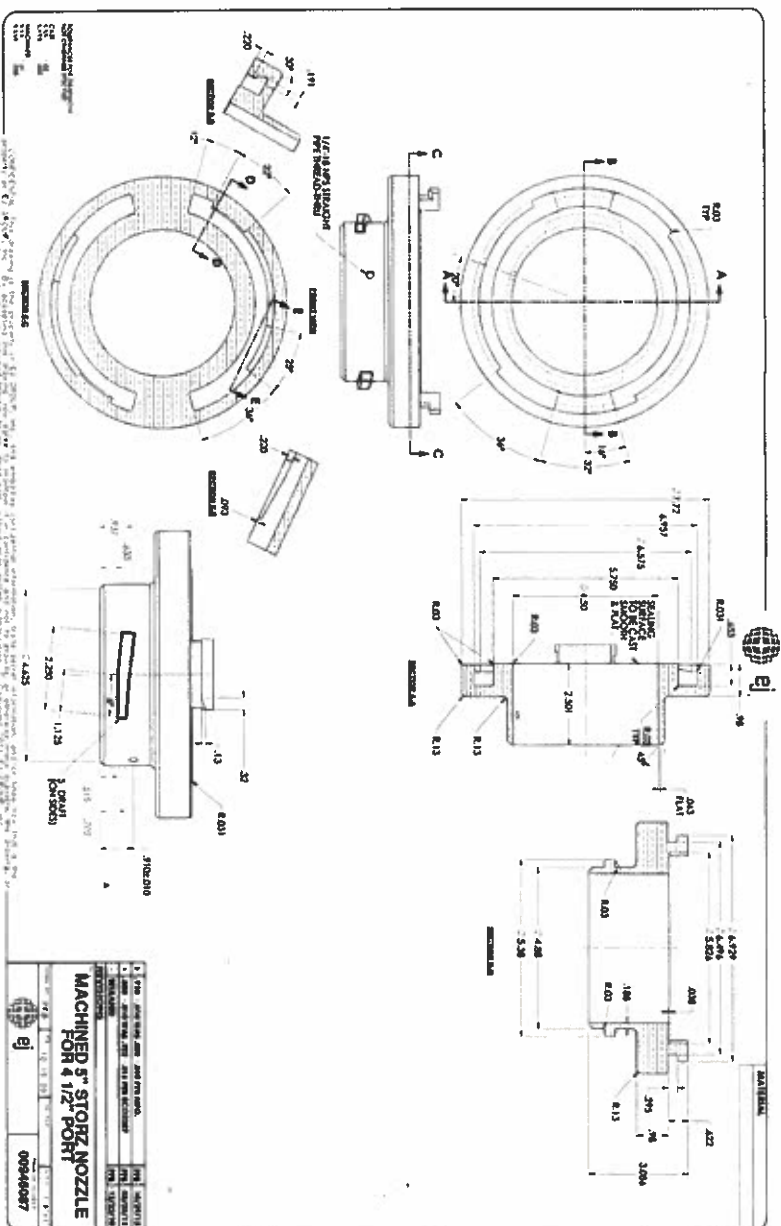
3.88'

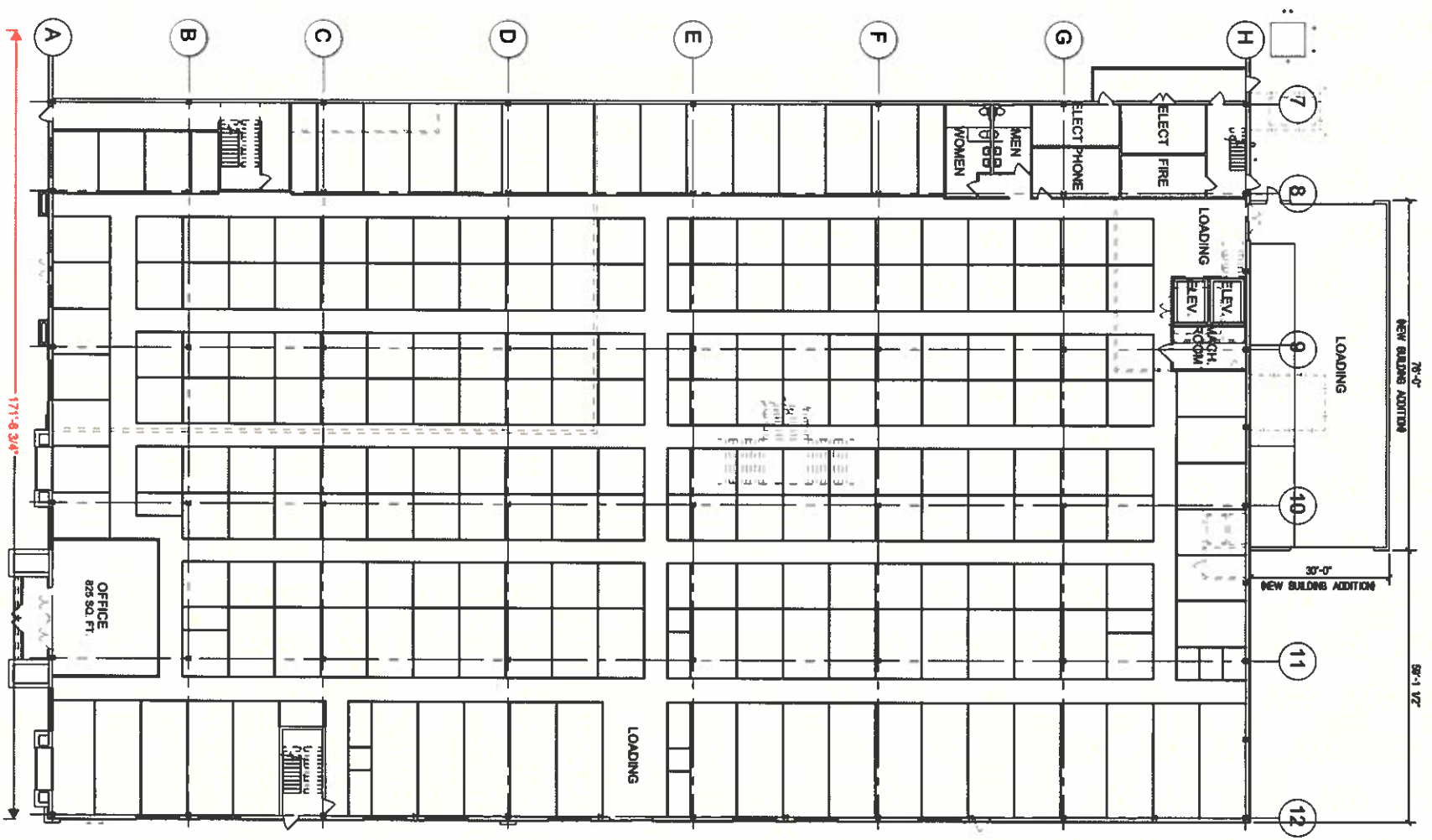
4"

72"

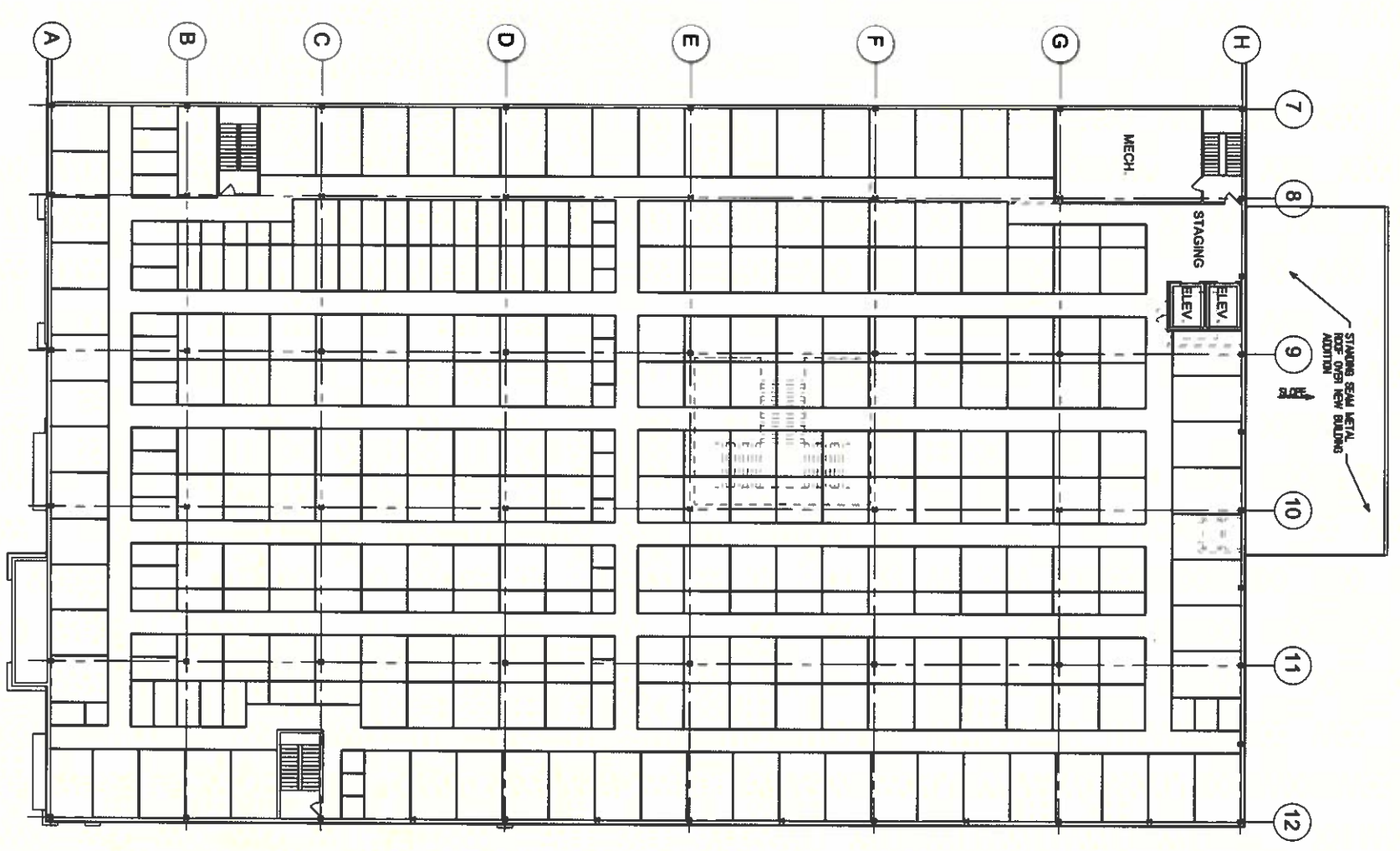
NO.	MATERIAL	QTY
1	1"x1/8"x0.007"	15
2	3/4"x3/4"x0.005"	3

TPA5406R





Main Floor Plan
 SCALE: 1/16" = 1'-0"
 171'-8 3/4"



Upper Floor Plan
 SCALE: 1/16" = 1'-0"

STATE OF ILLINOIS)
) SS.
 COUNTY OF COOK)

AFFIDAVIT

I, Justin Tauber, being duly sworn under oath, do hereby depose and state as follows:

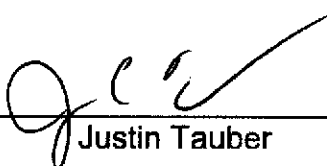
1. That I am a member of JKD CRE LLC, owner of the following-described property:

66 Orland Square Drive
 Orland Park, Illinois
 Township: Orland
 Permanent Index Number: 27-10-400-043-0000

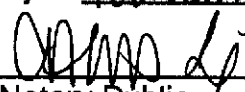
2. That in my capacity, I have personal knowledge of the property and all matters pertaining thereto and am authorized to make this affidavit.

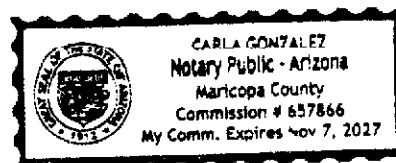
3. That the subject property has been entirely vacant since 2018.

Further affiant sayeth not.


 Justin Tauber

Subscribed and sworn to before me,
 this 26 day of February, 2024.


 Notary Public



BOARD OF REVIEW DECISION SEARCH

Property Information

Address: 66 ORLAND SQUARE DR, ORLAND PARK
PIN: 27-10-400-043-0000

Current Year 2023

COMPLAINT	TYPE	CLASS	ASSESSOR TOTAL
2816597.001	A - ADD	5-17	\$1,300,106

Appeal History

2023 Decision Information

Complaint:	2816597.001
Appellant:	JKD CRE LLC
Attorney:	FIELD, JAMES A. (FIELD & GOLDBERG, LLC)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2023	2816597	\$346,095	\$954,011	\$1,300,106	\$346,095	\$389,120	\$735,215
2022	2811000	\$346,095	\$355,780	\$701,875	\$346,095	\$261,998	\$608,093
2021	2813056	\$346,095	\$410,516	\$756,611	\$346,095	\$174,666	\$520,761
2020	2817104	\$346,095	\$547,356	\$893,451	\$346,095	\$196,005	\$542,100
2019		\$209,099	\$108,922	\$318,021	\$209,099	\$108,922	\$318,021

Reason

empty

2022 Decision Information

Complaint: 2811000.001

Appellant: RSS BANK2017-BNK9-DE G

Attorney: FIELD, JAMES A. (FIELD & GOLDBERG, LLC)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2022	2811000	\$346,095	\$355,780	\$701,875	\$346,095	\$261,998	\$608,093
2021	2813056	\$346,095	\$410,516	\$756,611	\$346,095	\$174,666	\$520,761
2020	2817104	\$346,095	\$547,356	\$893,451	\$346,095	\$196,005	\$542,100
2019		\$209,099	\$108,922	\$318,021	\$209,099	\$108,922	\$318,021
2018		\$209,099	\$289,194	\$498,293	\$209,099	\$289,194	\$498,293

Change Reason

The Decrease is the result of: Vacancy, demolition, fire, natural disaster, exemption, or a Certificate of Correction.

2021 Decision Information

Complaint: 2813056.001

Appellant: RSS BANK2017-BNK9-DE G

Attorney: FIELD, JAMES A. (FIELD & GOLDBERG, LLC)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2021	2813056	\$346,095	\$410,516	\$756,611	\$346,095	\$174,666	\$520,761
2020	2817104	\$346,095	\$547,356	\$893,451	\$346,095	\$196,005	\$542,100

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2019		\$209,099	\$108,922	\$318,021	\$209,099	\$108,922	\$318,021
2018		\$209,099	\$289,194	\$498,293	\$209,099	\$289,194	\$498,293
2017	2817201	\$209,099	\$598,460	\$807,559	\$209,099	\$544,623	\$753,722

Change Reason

The Decrease is the result of: Vacancy, demolition, fire, natural disaster, exemption, or a Certificate of Correction.

2020 Decision Information

Complaint: 2817104.001

Appellant: MATT TARSHIS, COURT AP

Attorney: FIELD, JAMES A. (FIELD & GOLDBERG, LLC)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2020	2817104	\$346,095	\$547,356	\$893,451	\$346,095	\$196,005	\$542,100
2019		\$209,099	\$108,922	\$318,021	\$209,099	\$108,922	\$318,021
2018		\$209,099	\$289,194	\$498,293	\$209,099	\$289,194	\$498,293
2017	2817201	\$209,099	\$598,460	\$807,559	\$209,099	\$544,623	\$753,722
2016	2812018	\$194,678	\$514,474	\$709,152	\$194,678	\$514,474	\$709,152

Change Reason

The Decrease is the result of: Vacancy, demolition, fire, natural disaster, exemption, or a Certificate of Correction.

2017 Decision Information

Complaint: 2817201.001

Appellant: MCRIL, LLC

Attorney: GRIFFIN, EUGENE P (EUGENE L. GRIFFIN & AS)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2017	2817201	\$209,099	\$598,460	\$807,559	\$209,099	\$544,623	\$753,722
2016	2812018	\$194,678	\$514,474	\$709,152	\$194,678	\$514,474	\$709,152
2015							
2014							
2013							

FINAL DECISION: DECREASE

2016 Decision Information

Complaint: 2812018.001

Appellant: 66 ORLAND SQUARE, LLC

Attorney: FIELD, JAMES A. (FIELD & GOLDBERG, LLC)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2016	2812018	\$194,678	\$514,474	\$709,152	\$194,678	\$514,474	\$709,152
2015							
2014							
2013							
2012							

FINAL DECISION: NO CHANGE

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Property Details

27-10-400-043-0000

66 ORLAND SQUARE DR • ORLAND PARK, IL • Orland

Tax Details

PROPERTY CLASSIFICATION	517
SQUARE FOOTAGE (LAND)	115,365
NEIGHBORHOOD	36
TAXCODE	28011
NEXT SCHEDULED REASSESSMENT	2023

Assessed Valuation

2020 Assessor Certified values include adjustments, where applicable, for COVID-19 effects on property.

	2023 Board of Review Certified	2022 Board of Review Certified
TOTAL ESTIMATED MARKET VALUE	\$2,940,860	\$2,432,376
TOTAL ASSESSED VALUE	\$735,215	\$608,094
LAND ASSESSED VALUE	\$346,095	\$346,095
BUILDING ASSESSED VALUE	\$389,120	\$261,999

* "Property Location" is not a legal/postal mailing address. Its sole purpose is to help our Office locate the property. Therefore, you should not utilize the property location for any purpose, however, you may update the Property Location with your Legal/Postal Mailing Address should you choose to do so. Updating the address will not change the Property Location to a Legal/Postal Mailing Address.

** Information may be available by submitting an FOIA Request

Exemption Status

Exemption History

Characteristics

DESCRIPTION	One story store
AGE	**
BUILDING SQUARE FOOTAGE	**
ASSESSMENT PHASE	Assessor Valuation

¹ Excluded from building square footage, except apartment

² Excluded from building square footage

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** Information may be available by submitting an FOIA Request

Appeal History

Year	Previous Board Certified	Assessor Post-Appeal Valuation	Assessor Valuation	Appeal Number	Attorney/Tax Representative	Applicant	Status	Result
2023	\$1,729,793 (2022)	\$1,300,106	\$1,729,793	837719	JAMES A. FIELD	RSS BANK2017-BNK9 – DE GPG, LLC	Appeal Review Complete	Assessed Value Adjusted - Income, Market or Cost
2022	\$893,452 (2021)	\$701,877	\$893,452	535453	JAMES A. FIELD		Appeal Review Complete	Assessed Value Adjusted - Partial Occupancy
2021	\$893,452 (2020)	\$756,612	\$893,452	323788	JAMES A. FIELD		Appeal Review Complete	Assessed Value Adjusted - This is due to income, market or cost analysis supporting the assessment.
2019	\$498,293 (2018)	\$318,021	\$753,721	171164	JAMES A. FIELD	Mitch Goltz	Appeal Review Complete	Assessed Value Adjusted - This is the result of the total vacancy of your property.
2018	\$753,722 (2017)	\$498,293	\$753,722	140869	JAMES A. FIELD	Mitch Goltz	Appeal Review Complete	Assessed Value Adjusted - This is the result of the partial occupancy of your property.

Year	Previous Board Certified	Assessor Post-Appeal Valuation	Assessor Valuation	Appeal Number	Attorney/Tax Representative	Applicant	Status	Result
2017	\$709,152 (2016)	\$807,559	\$880,221	136449	EUGENE P GRIFFIN	Mitch Goltz	Appeal Review Complete	Assessed Value Adjusted - This is the result of an income, market or cost analysis.

1

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