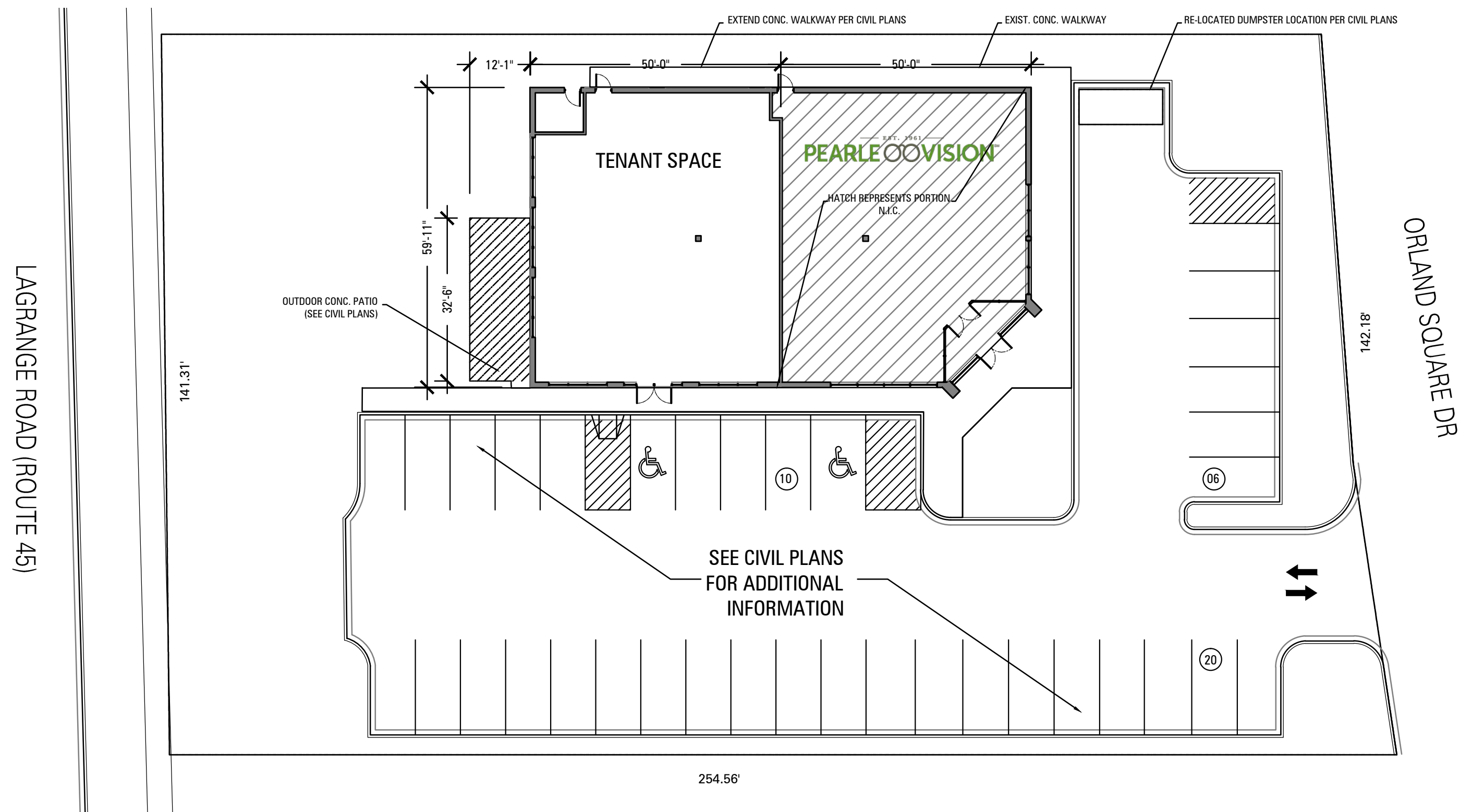
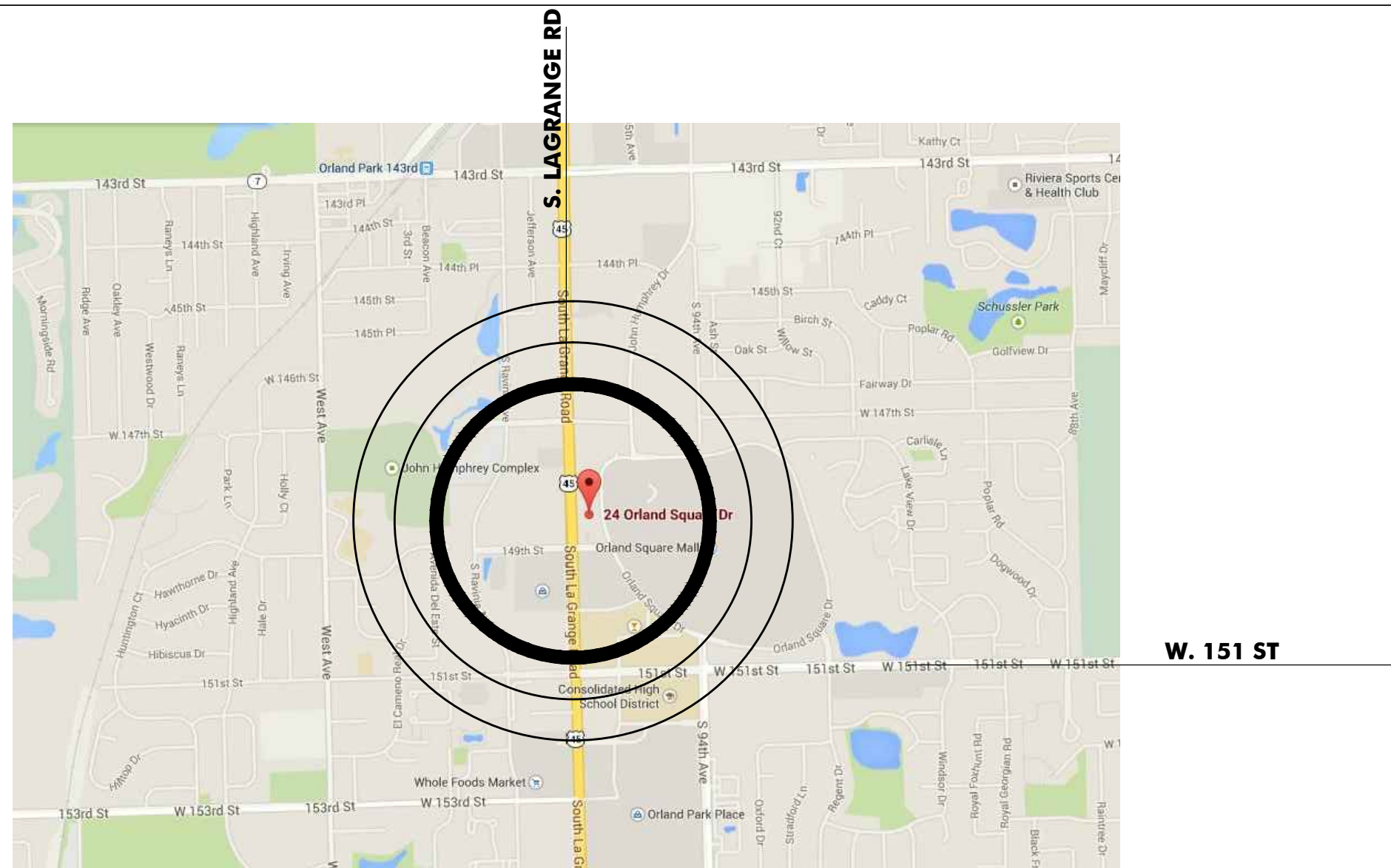
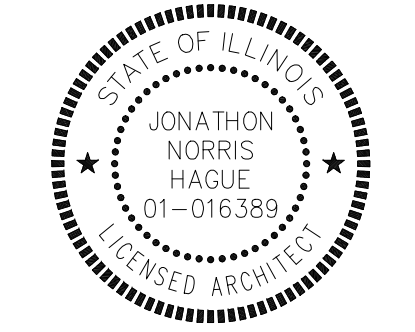


FACADE RENOVATION & INTERIOR RENOVATIONS
24 ORLAND SQUARE DRIVE
ORLAND PARK, IL 60462

APRIL 22, 2016



1. DRAWINGS GENERALLY INDICATE SCOPE OF WORK. EACH CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK TO ENSURE A COMPLETE AND PROPER INSTALLATION OF THEIR WORK.

2. ALL WORK SHALL COMPLY WITH ALL STATE, LOCAL, AND FEDERAL ORDINANCES HAVING JURISDICTION. NOTHING HEREIN SHALL BE INTERPRETED TO THE CONTRARY. ALL PERMITS AND INSPECTIONS REQUIRED SHALL BE SECURED BY THE CONTRACTOR INVOLVED.

1. EXISTING ELECTRICAL SERVICE: 400 AMP, 120V/208 V, 3 PHASE, 4 WIRE. MODIFY EXISTING ELECTRICAL SERVICE AS NECESSARY TO PROVIDE MAIN DISTRIBUTION PANEL FOR "TENANT A" AS SHOWN ON DRAWINGS.
2. MODIFY EXISTING ELECTRICAL SERVICE AS NECESSARY TO PROVIDE 400 AMP SERVICE WITH A 200 AMP SUB PANEL FOR "TENANT A".
3. REMOVE ALL ABANDONED CONDUIT, WIRING, AND EQUIPMENT THROUGHOUT.
4. ELECTRICAL MAIN AND SUB PANELS TO BE "SQUARE-D" OR EQUIVALENT NEMA PB1, TYPE 1 PANELS. MAIN PANEL: 400 AMPS, 42 POLE, PROVIDE CIRCUIT BREAKERS AS SPECIFIED BY TENANT BUILD-OUT REQUIREMENTS.

SUBPANEL: 200 AMP, 42 POLE, PROVIDE CIRCUIT BREAKERS AS SPECIFIED BY TENANT BUILD-OUT REQUIREMENTS.

ALL PANELS SHALL BE RECESSED INTO WALL CONSTRUCTION PROVIDED IN TENANT BUILD-OUT.

1. MODIFY EXISTING FIRE ALARM SYSTEM AS NECESSARY TO DEMISE EXISTING SERVICE AS SHOWN. LOCATE FIRE ALARM PANEL AT "TENANT F" IN PROXIMITY TO PROPOSED MAIN ELECTRICAL DISTRIBUTION PANEL. VERIFY FINAL LOCATION WITH TENANT BUILD-OUT REQUIREMENTS AND OWNER. FINAL LOCATIONS OF ALL REQUIRED STROBES, ALARMS, DETECTORS AND PULL STATIONS TO BE PROVIDED BY TENANT BUILD-OUT DOCUMENTS.

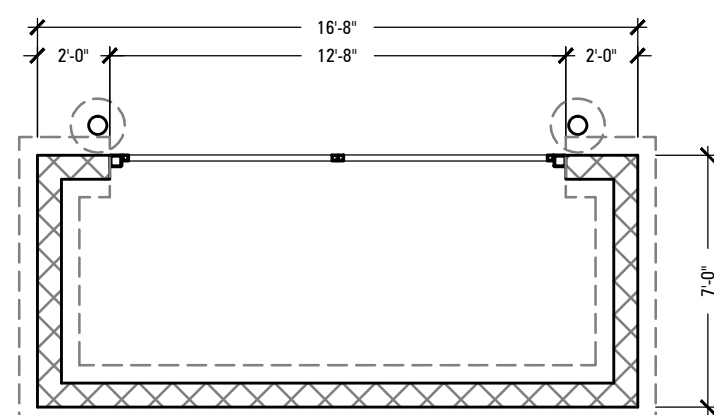
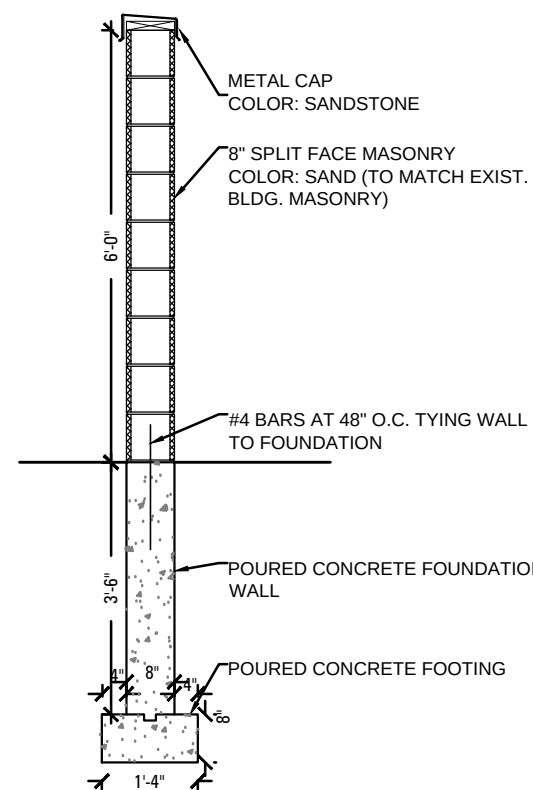
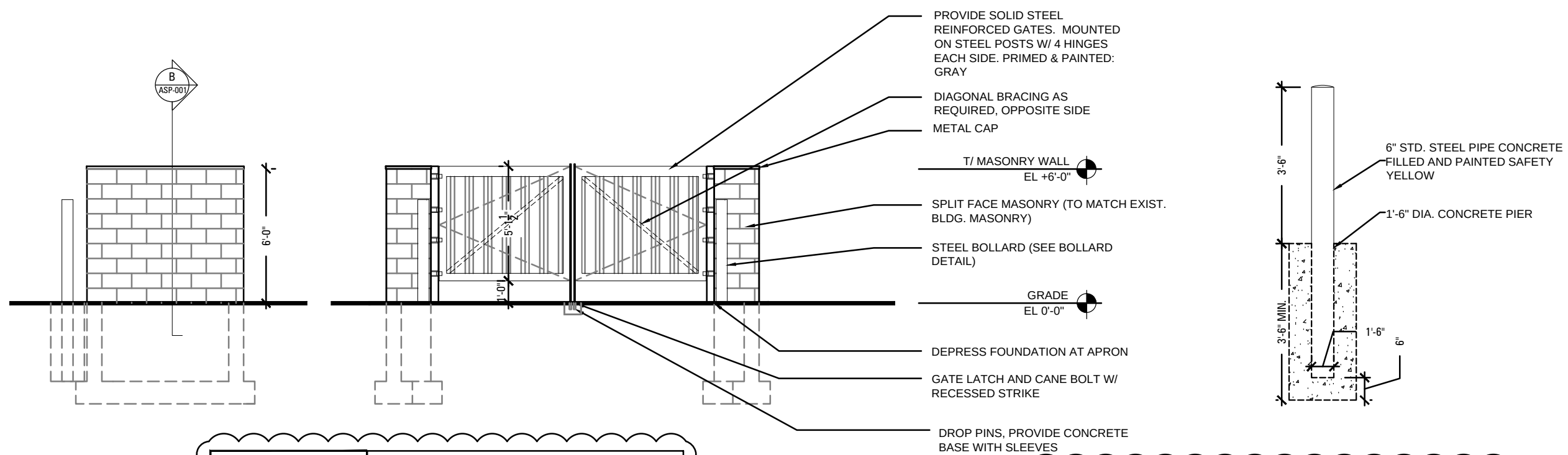
DESCRIPTION:	INSTALLATION OF NEW STOREFRONT AND METAL SIDING PANELS
LOCATION:	24 ORLAND SQUARE DRIVE ORLAND PARK, ILLINOIS
DESIGN USE GROUP(S) CLASSIFICATION (B 302.1):	M
CONSTRUCTION TYPE (B 602)	2B
BUILDING / HORIZONTAL PROJECTION AREA (B 503.1)	5,736 SF
PROPOSED AREA SCOPE OF WORK	2,878 SF
BUILDING HEIGHT IN FEET (B 503.1)	21' - 6"
NUMBER OF STORIES (B 503.1)	1 LEVEL
REQUIRED NUMBER OF EXITS (B 1003)	2
NUMBER OF EXITS	3 EAST TENANT, 1 WEST TENANT; TOTAL 5 EXITS
OCCUPANT LOAD	96 OCC, WEST TENANT SPACE + 29 OCCUPANTS EAST TENANT SPACE
FIRE PROTECTION PER NFPA 13 (B 903)	13

2012	INTERNATIONAL BUILDING CODE WITH AMENDMENTS, VILLAGE CODE, TITLE 5, CHAPTER 1
2012	INTERNATIONAL MECHANICAL CODE WITH AMENDMENTS, VILLAGE CODE, TITLE 5, CHAPTER 6
2014	STATE OF ILLINOIS PLUMBING CODE WITH AMENDMENTS, VILLAGE CODE, TITLE 5, CHAPTER 4
2012	INTERNATIONAL FIRE CODE WITH AMENDMENTS, VILLAGE CODE, TITLE 5, CHAPTER 5
2014	NATIONAL ELECTRIC CODE WITH AMENDMENTS, VILLAGE CODE, TITLE 5, CHAPTER 3
2012	ILLINOIS ENERGY CONSERVATION CODE (IECC)
1997	ILLINOIS ACCESSIBILITY CODE
2012	INTERNATIONAL PROPERTY MAINTENANCE CODE WITH AMENDMENTS, VILLAGE CODE, TITLE 5, CHAPTER 7
2010	ASME A17.1 SAFETY CODE FOR ELEVATORS AND ESCALATORS

AD-1 NOTES, LEGEND
AD-1 DEMOLITION PLANS AND FLOOR PLANS/BATHROOM ELEVATIONS
AD-2 ROOF PLANS, INTERIOR WALL SECTION DETAILS, MECH. DETAILS, ROOFTOP SCHEDULE
AD-3 BATHROOM PLANS & DETAILS, DOOR ELEVATIONS, BATHROOM ELECTRICAL PLAN & SCHEDULE
AD-4 TENANT PLANS & WORK LETTER
AD-1 ELEVATIONS, EXTERIOR WALL SECTION & DETAILS, WINDOW & DOOR SCHEDULE/SPECIFICATION

I HEREBY CERTIFY THAT I HAVE PREPARED OR CAUSED TO PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE REQUIREMENTS OF THE VILLAGE OF ORLAND PARK, THE ENVIRONMENTAL BARRIERS ACT [410ILCS 25] AND THE ILLINOIS ACCESSIBILITY CODE (71 ILL. ADM. CODE 400).

JONATHON N. HAGUE, ARCHITECT (IL REGISTRATION NO. 01-016389 EXP 11/2016) DATE



01

ARCHITECTURAL SITE PLAN
1" = 20'-0"

$$1'' = 20'-0''$$

BO
$1/2^8 =$

BOLLARD DETAIL

$$1/2^8 = 1^8 - 0^8$$
B

TRASH WALL SECTION

$$1/2^i = 1 \cdot 0^i$$

02

TRASH ENCLOSURE PLAN

$$1/4'' = 1'-0''$$
[illegible]

ISSUE DATE: 04.22.2016

PROJECT NUMBER: 2696.00

CHECKED BY: _____

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SHEET TITLE

NOTES /

NOTES /

LEGENDS

LEGENDS /
CHIEF PLANS

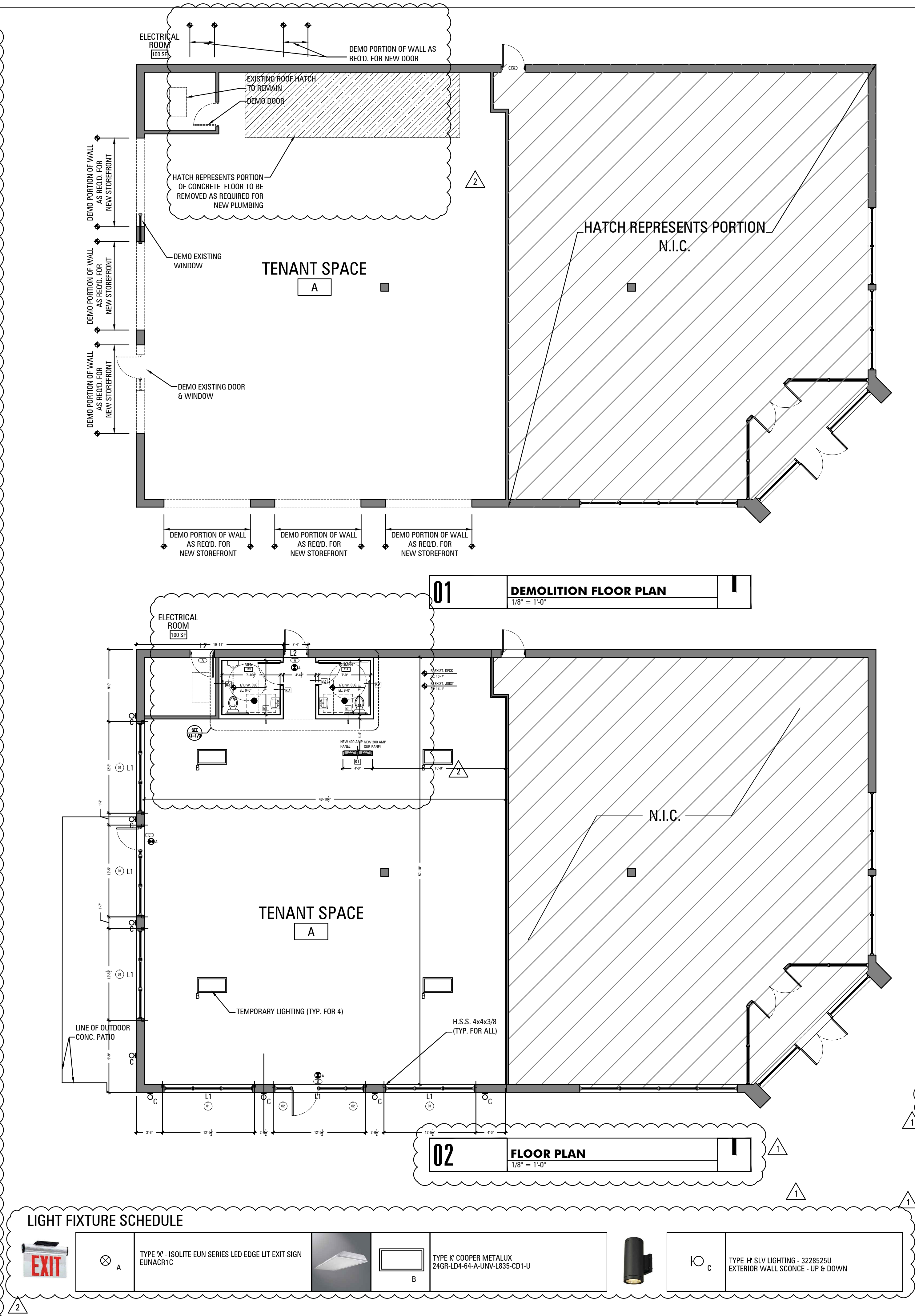
SITE PLAN

10. *Journal of the American Medical Association*, 2000; 284: 2689-2695.

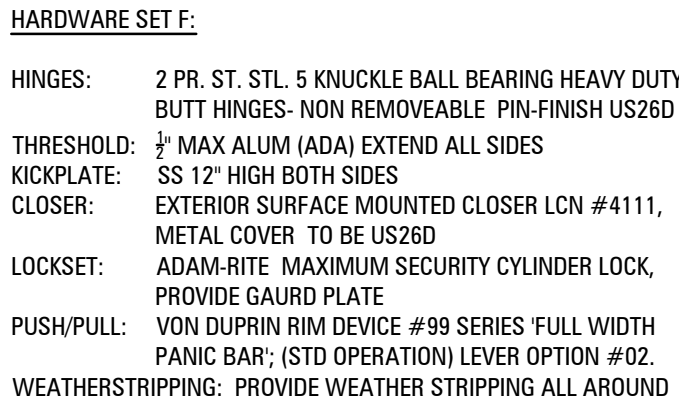
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Λ0-1

AU-1



DEMOLITION LEGEND:	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
DEMOLITION NOTES:	
1. ALL WORK TO BE DONE IN ACCORDANCE WITH APPLICABLE CODES THAT HAVE AUTHORITY OVER THIS PROPERTY. PROVIDE ALL NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, FIRE PROTECTION LIGHTING, ETC. AS REQUIRED DURING DEMOLITION. 2. DEMOLITION INCLUDES COMPLETE REMOVAL, DISPOSAL OR SAVINGS OF SPECIFIED WORK. 3. SUBMIT PROPOSED METHODS AND OPERATION OF DEMOLITION TO OWNER FOR REVIEW PRIOR TO START OR WORK. INCLUDE IN SCHEDULE COORDINATION FOR SHUT-OFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED. 4. ELECTRICAL, TELEPHONE, MECHANICAL & PLUMBING SYSTEMS DELETED BY NEW CONSTRUCTION SHALL BE REMOVED TO THE FURTHEST TERMINATION POINT U.O.N. 5. ALL SALVAGEABLE SURPLUS BUILDING MATERIALS, HARDWARE, DOOR FRAMES, FIRE EXTINGUISHERS, LIGHT FIXTURES, FURNITURE, ETC. NOT INDICATED TO BE RELOCATED OR REUSED SHALL BE TURNED OVER TO OWNER. VERIFY WITH OWNER. 6. REMOVE EXISTING FINISH FLOORING THROUGHOUT RENOVATED AREAS, U.N.O. 7. WHERE GLUE DOWN CARPET, RESILIENT FLOOR OR OTHER GLUED FLOORING INSTALLATION IS REMOVED, REMOVE ALL ADHESIVE TO LEAVE FLOOR WITH A SMOOTH LEVEL FINISH. 8. REFER TO ELECTRICAL, REFLECTED CEILING AND MECHANICAL DRAWINGS AND NOTES FOR ADDITIONAL AREAS OF WORK. 9. GENERAL CONTRACTOR TO COORDINATE ALL TRADES REQUIRED TO PERFORM DEMOLITION WORK AS OUTLINED IN THE CONTRACT DOCUMENTS. 10. DEMOLISH NON LOAD-BEARING PARTITIONS ONLY	
GENERAL PLAN SYMBOL SCHEDULE	
ROOM ROOM NAME & NUMBER PARTITION TAG WINDOW TAG STAIR CORR	DOOR NUMBER ROOM NAME & NUMBER PARTITION TAG WINDOW TAG ROOM TAG ROOM NAME ROOM NUMBER
WALL TYPES	
EXISTING PARTITIONS NEW INTERIOR PARTITION - SEE SHEET A1-2 OUTSIDE OF SCOPE OF WORK	
ARCHITECTURAL NOTES	
1. THE DRAWINGS INDICATE THE GENERAL SCOPE OF WORK, INCLUDING PROPOSED LOCATION OF NEW CONSTRUCTION. ALL DIMENSIONS ARE TO FINISHED WALL U.N.O. 2. SEAL ALL STRUCTURAL SHAPES, DUCTS, PENETRATIONS THROUGH PARTITIONS AND WALLS AIRTIGHT AND AS OTHERWISE REQUIRED. ALL PENETRATIONS THROUGH FIRE-RATED CONSTRUCTION SHALL BE SEALED WITH U.L. RATED FIRE SAFE AND SMOKE SEAL MATERIALS. 3. REFER TO SHEET A102 FOR DOOR SCHEDULES, TYPES, ETC. DOOR "HANDING", QUANTITIES, AND VERIFICATION OF RETROFIT CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. 4. ALL OTHER ITEMS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION OF FINISH HARDWARE SHALL BE SELECTED BY THE CONTRACTOR, SUBJECT TO ARCHITECT'S APPROVAL. 5. DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO REMAIN UNOBSTRUCTED AND READILY OPERATIONAL WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE FROM THE SIDE EGRESS IS MADE. 6. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHEREIN THE SILL OF THE SUCH GLAZED PANEL IS LESS THAN 24" AFF SHALL BE CONSIDERED 'HAZARDOUS LOCATIONS' AND SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS. 7. MATERIALS USED FOR INTERIOR WALLS, CEILING AND FLOOR FINISH INCLUDING INTERIOR TRIM, SHALL HAVE THE FOLLOWING FLAME SPREAD RATING: STAIRWAYS, LOBBIES AND PUB. CORRIDORS-CLASS 1 (0-25) INTERIOR OFFICE AND SPACES - CLASS 2 (26-75) INTERIOR FLOOR COVERINGS - CLASS A 8. ALL WOOD BLOCKING SHALL BE FIRE-RETARDANT TREATED 9. GC TO REPAIR OR REPLACE ANY EXISTING FIREPROOFING DISTURBED BY WORK 10. PROVIDE FIRE EXTINGUISHERS WITH CURRENT INSPECTION TAG PER NFPA PAMPHLET #10-2010 EDITION - CABINET LOCATIONS PER PLAN 11. ALL PANIC DEVICES SHALL BE MIN. 50% ACTIVE DOOR LEAF PER IBC 1008.1.10.1 & SHALL HAVE MAX. 15# PRESSURE ACTIVATING FORCE, & CONFIRM TO UL 305 12. BLOCK OUT SEWER & GREASE INTERCEPTOR POINTS-OF-CONNECTION	
GENERAL BATHROOM NOTES	
1. SEE SHEET A1-3 FOR ACTUAL ROOM DIMENSIONS AND WALL CONSTRUCTION 2. FAUCET CONTROLS SHALL BE LEVER OPERATED 3. MAXIMUM TEMPERATURE TO LAVATORIES SHALL BE 110 DEGREES F.	
LINTEL SCHEDULE:	
L1 - W16x40 + PL 3"x13" L2 - W8x21 + PL 3"x13"	

[illegible]

HARDWARE SET C:	
HINGES	HAGER CONTINUOUS CONCEALED LEAF HINGE
THRESHOLD:	ALUM, 1/2" HT. MAX
CLOSER:	NORTON SURFACE 1605 CLOSER FINISH TO MATCH FRAME, INCLUDE W/ STOREFRONT PACKAGE

PUSH/PULL PANIC EXIT DEVICE #88 SERIES (OR KAWNEER
PANIC GAURD DEVICE. ROCKWOOD OR EQUAL
SOLID DOUBLE (2) 1" DIA. PUSH BARS @ EXTERIOR
AND INTERIOR (NO LOCK) FINISH TO MATCH
DOORFRAME

LOCKSET: ADAMS-RITE ADAMS-RITE MS1850SN SERIES
CYLINDER: VERIFY WITH OWNER.
BY OWNER

Technical drawing of a window unit showing dimensions and material specifications. The drawing includes a side elevation and a top-down view. Dimensions are given in feet and inches (e.g., 2', 11 1/2", 3'-0", 8'-0", 1'-0"). The drawing identifies the components: ALUMINUM FRAME, STOREFRONT: KAWNEER, CLEAR TEMPERED INSULATED GLASS, ANODIZED CLEAR ALUMINUM, and T DENOTES TEMPERED GLASS.

<u>HARDWARE SET C:</u>	
HINGES	HAGER CONTINUOUS CONCEALED LEAF HINGE
THRESHOLD:	ALUM, 1/2" HT. MAX
CLOSER:	NORTON SURFACE 1605 CLOSER FINISH TO MATCH FRAME, INCLUDE W/ STOREFRONT PACKAGE

PUSH/PULL PANIC EXIT DEVICE #88 SERIES (OR KAWNEER
PANIC GAURD DEVICE. ROCKWOOD OR EQUAL
SOLID DOUBLE (2) 1" DIA. PUSH BARS @ EXTERIOR
AND INTERIOR (NO LOCK) FINISH TO MATCH
DOORFRAME

LOCKSET: ADAMS-RITE ADAMS-RITE MS1850SN SERIES
CYLINDER: VERIFY WITH OWNER.
BY OWNER

03 BATHROOM FLOOR PLAN

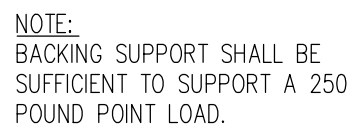
1. ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO BE READILY OPENED WITH OUT THE USE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.
2. BASIC ITEMS ONLY ARE SPECIFIED. HARDWARE CONTRACTOR SHALL FURNISH ALL ITEMS INCLUDING BRACKETS, MOUNTING PLATES, ETC) FOR A COMPLETE FUNCTIONAL INSTALLATION
3. ALL HARDWARE SHALL BE COMMERCIAL GRADE, HEAVY DUTY OF THE FINISH INDICATED (OR ARCHITECT APPROVED ALTERNATE)
4. ANY DEVICES OR ALARMS INSTALLED TO RESTRICT THE IMPROPER USE OF EXITS SHALL BE SO DESIGNED AND INSTALLED SO THAT THEY CANNOT, EVEN IN CASE OF FAILURE, IMPEDE OR PREVENT EMERGENCY USE OF SUCH EXITS. ALL HARDWARE FINISHES ARE TO MATCH THE FINISH OF THE DOOR LOCKSET UNLESS OTHERWISE NOTED.
5. WOOD BLOCKING IS TO BE PROVIDED WITHIN THE PARTITION AT ALL DOOR STOP LOCATIONS
6. ALL CYLINDER HOUSINGS TO ACCEPT MEDECO CYLINDERS. EXISTING HARDWARE TO BE MODIFIED AS REQUIRED TO ACCEPT MEDECO CYLINDERS.
7. ALL CLOSERS TO BE THRU-BOLTED OR SEXBOLTED WITH LOCKTITE APPLIED
8. ALL HOLLOW METAL FRAMES TO BE GALVANIZED, WELDED AND GROUND SMOOTH
9. ALL HOLLOW METAL DOOR SEAMS TO BE FILLED AND GROUND SMOOTH
10. PROVIDE SEALED (WELDED) DOOR CAPS FOR TOPS AND BOTTOMS OF ALL HOLLOW METAL DOORS
11. ALL INSULATED DOORS TO HAVE POLYURETHANE FOAM INSULATION
12. DOORS TO BE GALVANIZED AND VERTICALLY STIFFENED, ALL SEAMS TO BE WELDED, NO BOND
13. ALL WOOD DOORS TO BE 1 3/4" SOLID ENGINEERED WOOD CORE WITH PLAIN SLICED VENEER T&B. ALL DOORS TO BE PRE-FINISHED AND PRE-FINISH.
14. ALL TOILET ROOM DOORS SHALL HAVE LEVEL STYLE HARDWARE.

1. STOREFRONT TO BE KAWNEER 451T OR APPROVED EQUAL
SUBMIT COLOR FOR APPROVAL
2. U-FACTORS FOR FIXED GLAZING TO BE 0.38
3. U-FACTORS FOR ENTRANCE DOORS TO BE 0.77

SYMBOL	MANUFACTURER & MODEL #:	DESCRIPTION	LAMPING
 R1 R2	HOUSING: ELITE LED #D6IC-14W-DIMTR-120 MODULE: ELITE LED #RL607-14W-DIMTR-120-30K-WB-BK (ISQUTE INVERTER: #MI-12-V1 OR #MI-25-V1) HOUSING: LITON #H7ICA-GU24-LBL1326 MODULE: LITON #LH7A-LBL15/RS40B-B	6" RECESSED DOWNLIGHT W/ BLACK RING. EM FIXTURES SHALL HAVE A 90 MIN. BATTERY BACKUP- CENTER IN 2x4 CEILING TILE 6" RECESSED HOUSING DOWNLIGHT, BLACK RING FINISH - INSTALL CENTER ABOVE FOOD TRAYS WALL MOUNT SCONCE BLACK TEXTURE W/ LAMP GUARDS - MOUNT @ 7'-0" A.F.F., U.N.O	(1) 14W LED INCLUDED (1) CREE 14W LED LRP38-1L-27K-25D-GU24 (1) GREENCREATIVE 9.5W 9.5A19C4DIM/827/GU24
 ESC1 EM1, 100T EM3, 300T	HI-LITE #H-LFG-U-BQ-91-RIB/GU24 EXITRONIX #VEX-U-BP-WB-WH-EL90 EXITRONIX #LED-90-R	EXIT/UNIT COMBO EMERGENCY LIGHT WITH 90 MIN. BATTERY BACKUP EMERGENCY LIGHT WITH 90 MIN. BATTERY BACKUP, MOUNT HORIZONTALLY ON CEILING - BLACK FINISH TO BE USED IF INSTALLED AT GRAPHIC WALL	INCLUDED INCLUDED
B2	MATCH TENANT SPEC.		
P-4	SHERWIN WILLIAMS SW 7100 - ARCTIC WHITE		

TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	REMARKS	FURN.	INST.
A	42" HORIZONTAL GRAB BAR	BOBRICK	EXPOSED MOUNTING SERIES B-6106	(1) 2X6'S 4'-0" LONG CENTER MOUNTED @ 33" A.F.F. TO CENTER OF SUPPORT GRAB BAR.	GC	GC
	18" VERTICAL GRAB BAR	BOBRICK	EXPOSED MOUNTING SERIES B-6106	2x6 WOOD BLOCKING FOR 18" VERTICAL GRAB BAR.	GC	GC
B	36" HORIZONTAL GRAB BAR	BOBRICK	EXPOSED MOUNTING SERIES B-6106	(1) 2X6'S 4'-0" LONG CENTER MOUNTED @ 33" A.F.F. TO CENTER OF SUPPORT GRAB BAR.	GC	GC
C	DUAL TOILET TISSUE DISPENSER	BOBRICK	B-2740	(2) 2X6'S 2'-6" LONG (1) MOUNTED @ 44" A.F.F. (1) @ 53" A.F.F. TO CENTER OF SUPPORT (HANDICAPPED STALL TISSUE DISPENSER)	GC	GC
D	WATER CLOSETS	KOHLER	HIGHLINE MODEL K3999 16.5" WHITE VITREOUS CHINA FLOOR MOUNTED		GC	GC
	WATER CLOSET SEATS	KOHLER	WHITE		GC	GC
E	LAVATORIES	KOHLER	KOHLER GREENWICH K-2032 VITREOUS CHINA - WALL MOUNT ADA	(1) 2X6 WALL TO WALL 3'-7" MOUNTED @ 30" A.F.F. TO CENTER OF SUPPORT (LAVATORIES)	GC	GC
F	MIRROR	BOBRICK	#B-165 2436		GC	GC
G	SOAP DISPENSER	BY DISTRIBUTOR	BOBRICK #B-40		VENDOR	GC
H	ROLL PAPER TOWEL DISPENSER	SAN JAMAR	T1900SS	(1) 2X10 1'-4" LONG MOUNTED @ 48" A.F.F. TO CENTER OF SUPPORT (PAPER TOWEL DISP.)	OWNER	GC
I	URINAL	KOHLER	BARDON MODEL K-4904-ET WHITE VITREOUS CHINA TOP SPUD URINAL	(2) 2X6 2'-6" LONG (1) MOUNTED @ 10" A.F.F. AND (1) MOUNTED @ 30" A.F.F. TO CENTER OF SUPPORT (URINAL)	N/A	N/A
J	BABY CHANGING STATION	BY DISTRIBUTOR	KOALA KARE #KB208, WHITE GRANITE	HORIZONTAL UNIT	OWNER	GC
K	SANITARY NAPKIN DISPOSER	BOBRICK	#B-353		GC	GC
L	COAT HOOK	BOBRICK	B-6717	LOCATE ON RESTROOM DOOR, PARTITION DOOR OR ACCESSIBLE STALL DOOR @ 4'-0" A.F.F.	GC	GC
M	PROTECTIVE PLUMBING COVERS	TRUEBRO	LAV GUARD 2, #103 E-Z		GC	GC
N	TOILET SEAT COVER DISPENSER	ECOLAB	B-221	INSTALL MAX. 40" A.F.F. SEE ELEVATIONS FOR CLARIFICATION	VENDOR	GC
O	RESTROOM STALL PARTITIONS	BOBRICK	1530 SERIES	LAMINATE COLOR: D-91-60 - 2X6 WOOD BLOCKING AT PARTITION WALL ANCHORS	GC	GC
P	FLOOR DRAIN	J.R. SMITH	#2010-NB-P050	W/ NICKEL BRONZE STRAINER, MEM. FLASHING CLMAP & 1/2" TRAP PRIMER CONNECTION.	GC	GC

1. ALL FIXTURES & ACCESSORIES MUST MEET ALL NATIONAL AND LOCAL CODES AND ADA REQUIREMENTS. PROVIDE SOLID FIRE TREATED BLOCKING AT ALL WALL MOUNTED FIXTURES FOR SECURE ANCHURING, VERIFY LOCATION WITH MANUFACTURER'S SPECIFICATIONS. CLEAR SILICONE CAULK ALL FIXTURES TO PARTITION.
2. WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING MECHANISM CONTROLS, SHALL BE OPERABLE WITH ONE HAND, SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR.
3. THE FORCE REQUIRED TO ACTIVATE WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING CONTROLS, SHALL BE NO GREATER THAN 5 LBF.
4. FAUCETS CONTROLS SHALL BE LEVER OPERATED, PUSH TYPE, TOUCH TYPE OR ELECTRONICALLY CONTROLLED FAUCETS.
5. THE MAX. TEMP. TO LAVATORIES SHALL BE 100 DEGREES F. MAX.
6. WATER CLOSET SEAT SHALL BE ANTIMICROBIAL



PLAN

ALTERNATE ADA ROOM IDENTIFICATION SIGN, SEE NOTE 3

60" CENTERLINE

10"

RESTROOM

BLACK PAINT DOOR FRAME

CLEAR COAT ON DOOR

LATCH SIDE OF DOOR

KICKPLATE ON BOTH SIDES

18" MIN

18" MIN

ADA ROOM IDENTIFICATION SIGN

Q OF TACTILE CHARACTERS

PREFERRED LOCATION OF ADA ROOM IDENTIFICATION SIGN

RESTROOM

ADA SIGN

MEN

WOMEN

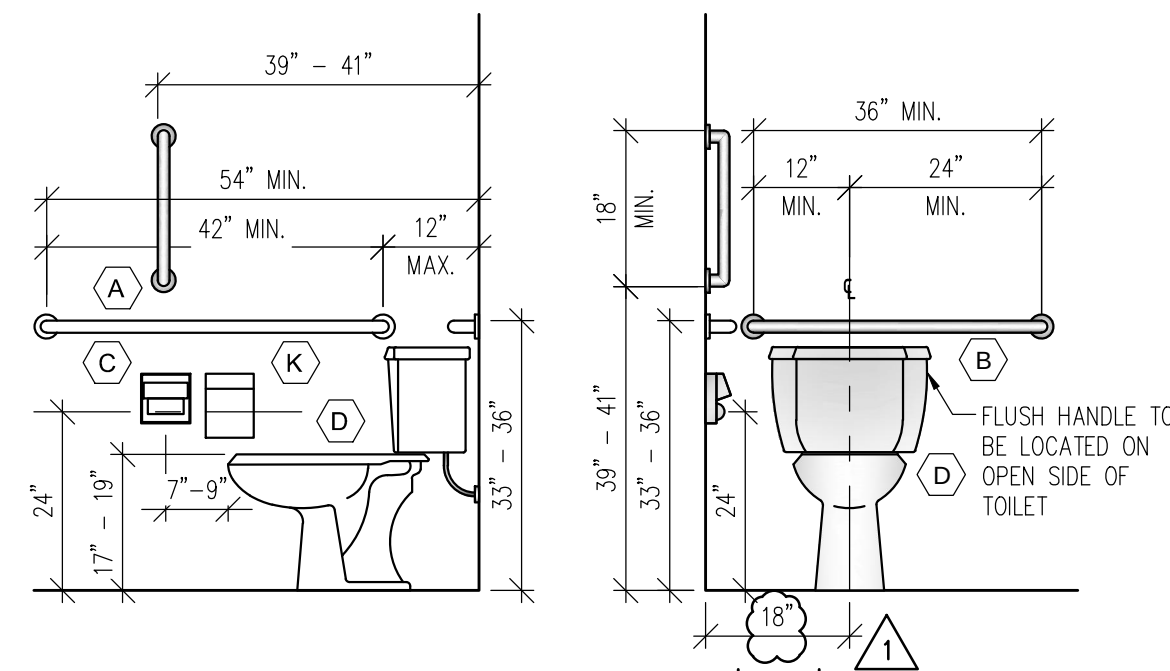
GRADE 2 BRAILL

HANDICAPPED SIGNAGE NOTES

1. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. IDENTIFICATION SYMBOLS ARE TO BE DISTINCTLY DIFFERENT FROM THE DOOR IN COLOR AND CONTRAST.
2. PROVIDE ROOM IDENTIFICATION SIGN ON LATCH SIDE OF DOOR. ALTERNATE SIGN LOCATION IF NO ROOM LATCH SIDE IS ADJACENT WALL OR ON PUSH SIDE OF DOOR WITH CLOSER AND WITHOUT HOLD OPEN DEVICE.
3. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18"x18" MIN, CENTER LINE OF TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45° OPEN POSITION.
4. LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MIN. SHALL BE 5/8" MIN. HIGH AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE.

RESTROOM SIGNAGE DETAIL

Scale: 1/2" = 1'-0"



CLIENT: FRONTIER DEVELOPMENT

	04.22.2016	REVISED FOR PERMIT
	04.07.2016	REVISED FOR PERMIT
	02.24.2016	ISSUE FOR PERMIT
	02.04.2016	ISSUE FOR PERMIT REVIEW
REV	DATE	DESCRIPTION

ISSUE DATE: 04.22.2016

PROJECT NUMBER: 2696.00

CHECKED BY: JLM

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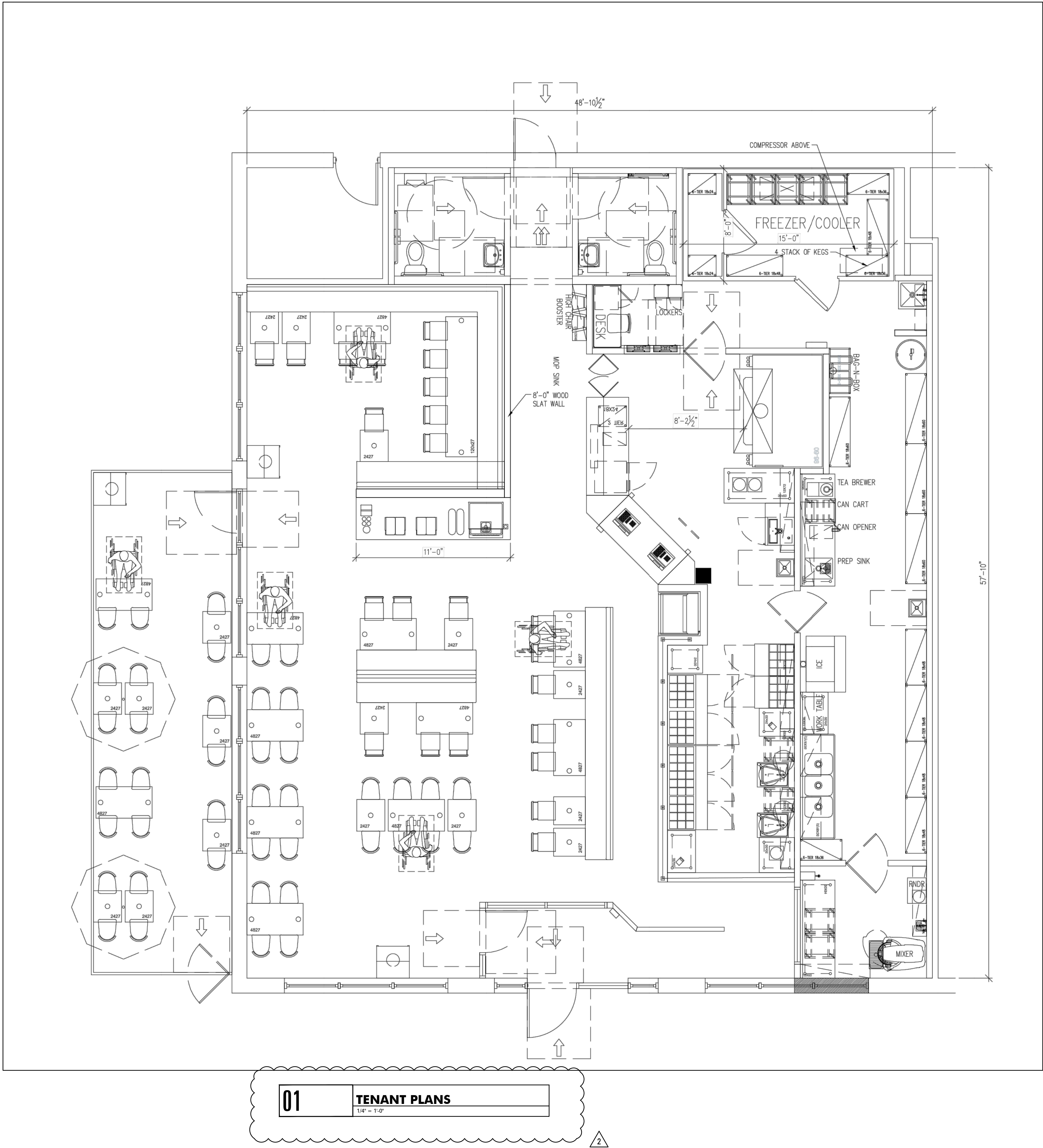
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SHEET TITLE

BATHROOM DETAILS

SHEET NUMBER:

A1-3



01 TENANT PLANS

1/4" = 1'-0"

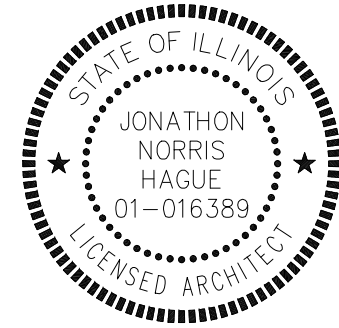
LANDLORD' WORK

- DEMOLITION: REMOVAL OF ALL IMPROVEMENTS BY PREVIOUS TENANTS TO A CLEAN VANILLA SHELL & BROOM CLEAN CONDITIONS, FREE OF ALL FLOORING MATERIAL, PAINT, WALLPAPER, CEILING SYSTEMS, MECHANICAL DUCTWORK, SPRINKLERLS, INTERIOR PARTITIONS, DOORS, FLOORS SINKS & DRAINS, AND STOREFRONT SIGNAGE, AWNINGS, & FINISHES NOT PART OF THE BASE BUILDING DESIGN.
- FACADE: PROVIDE NEW BUILDING FACADE PER AGREED UPON LANDLORD & TENANT DESIGN.
- ROOF: WATERTIGHTS WITH ALL EXISTING PENETRATIONS CAPPED AND SEALED AS REQUIRED BY CODE & ALL APPLICABLE WARRANTIES IN EFFECT.
- WALLS: DEMISING WALLS TO BE FULL HEIGHT METAL STUD WALLS FAMED W/ 20GA STUDS @ 16" ON CENTER & FINISHED W/ 5/8" DRYWALL READY FOR PAINT.
- CEILING: OPEN TO STRUCTURE ABOVE W/ A MIN. 15' CLEARANCE. ALL LANDLORD OBSTRUCTION, I.E. DUCTWORK, FIRE SPRINKLERS, WATER LINES, GAS LINES MUST BE ABOVE 12'.
- STOREFRONT: NEW ALUMINUM FRAME SYSTEM WITH 3/8" TEMPERED GLASS AND (1) SET OF DOUBLE DOORS. THE STOREFRONT SYSTEM TO RUN THE FULL LENGTH OF THE STOREFRONT, DOORS TO BE LOCATED PER TENANT'S PLANS.
- REAR EXIT DOOR: (1) 3'-0" x 7'-0" SOLID METAL DOOR WITH PANIC HARDWARE AS REQUIRED BY CODE. DOOR TO BE LOACTED AS PER TENANT'S PLANS.
- FLOOR: PROVIDED A SMOOTH AND LEVEL REINFORCED 4" CONCRETE FLOOR THROUGHOUT THE LEASED PREMISES. BLOCK OUT FOR SEWER & GREASE INTERCEPTOR POINTS-OF-CONNECTION.
- ASBESTOS/MOLD: LANDLORD SHALL PROVIDED TENANT WITH A STATE REQUIRED ASBESTOS & MOLD SURVEY AND ABATEMENT DATES (IF ANY).
- ELECTRICAL: PROVIDE ONE 42-POLE, 400 AMP, 208/120 VOLT, 3 PHASE, 4 WIRE FLUSH MOUNT DISTRIBUTION PANEL & A SECONDARY ONE 42-POLE, 200 AMP 208/120 VOLT, 3 PHASE 4 WIRE SECONDARY DISTRIBUTION PANEL LOCATED AS SHOWN ON TENANT'S DRAWINGS OR PROVIDE ONE 84-POLE, 400 AMP, 208/120 VOLT, 3 PHASE, 4 WIRE FLUSH MOUNT DISTRIBUTION PANEL AS SHOWN ON TENANT'S DRAWINGS. SERVICE SHALL BE BROUGHT VIA A 2" CONDUIT TO A LOCATION ON A WALL OF THE LEASED PREMISES. PER TENANT LOCATION ELECTRICAL COMPANY WILL SET TENANT'S METER. LANDLORD TO COORDINATE. SUPPLY ELECTRICAL CONDUIT TO THE FRONT, BACK & SIDE FASCIA FOR SIGNAGE.
- MECHANICAL: PROVIDE A SYSTEM CAPABLE OF PROVIDING 1 TON OF HVAC FOR 125 SF OF LEASE SPACE. ALL ROOF TOP UNITS TO HAVE MAIN SUPPLY AND RETURN DROPS INSTALLED WITHIN LEASED PREMISES FOR TENANT DISTRIBUTION. ALL ROOF TOP EQUIPMENT TO INCLUDE SMOKE DETECTORS AND THERMOSTATS. LANDLORD WILL START-UP UNITS & TRANSFER WARRANTIES TO TENANT.
- WATER: 1-1/2" WATER LINE WITH A MINIMUM OF 60 PSI WITH SEPARATE METER & BACKFLOW DEVICES & SHUT OFF VALVE RATED FOR 200 PSI.
- GAS: PROVIDE A 1600MBH SERVICE, SEPARATELY METERED, TO THE REAR OF THE SPACE. GAS DELIVERY PRESSURE TO BE 7" WATER COLUMN.
- SEWER: PROVIDE A 4" CASE IRON SEWER LINE STUBBED WITHIN THE PREMISES PER TENANT'S PLANS. BLOCK OUT CONCRETE FOR SEWER LINE POINT-OF-CONNECTION.
- TELECOMMUNICATION: PROVIDE 2" CONDUIT WITH PULL STRINGS FROM THE LEASED PREMISES TO LANDLORD'S TELECOMMUNICATION ROOM FOR TELEPHONE & HIGH-SPEED INTERNET SERVICE. PROVIDE IT CABINET WITH ADEQUATE SHELF SPACE FOR TENANT'S NETWORKING EQUIPMENT.
- IMPACT FEES: LANDLORD SHALL BE RESPONSIBLE FOR ANY AND ALL IMPACT FEES THAT MAY BE INCURRED TO DO TENANT'S USE.
- RESTROOMS: PROVIDE TWO (2) ADA COMPLIANT & COMPLETED RESTROOM(S) PER TENANT'S PLAN W/ WATER HEATER. GENERAL LOCATION WILL BE IN THE BACK OF THE SPACE ACCESSIBLE FROM THE DINING AREA; RESTROOM FINISHES TO INCLUDE SMOOTH CONCRETE FLOOR W/ BASE TILE TO MATCH TENANT SPECS, WALL PAINTED WHITE; HARDWARE & ACCESSORIES TO INCLUDE MIRROR, SINK, PAPER TOWEL DISPENSER, GRAB BAR, ETC. PER TENANT'S PLANS.
- GREASE INCEPTOR: PROVIDE A POINT-OF-CONNECTION AT THE REAR OF THE LEASED PREMISES TO LANDLORD SUPPLIED GREASE INTERCEPTOR. GREASE WASTE LINE TO BE A MINIMUM OF 4" & AT A SUFFICIENT DEPTH FOR TENANT'S USE PER TENANT'S DRAWINGS. MINIMUM 1,250 GALLON OUTDOOR GREASE INTERCEPTOR W/ SAMPLE WELL. INTERCEPTORS SUBJECT TO VEHICULAR TRAFFIC SHALL BE TRAFFIC RATED.
- SPRINKLER: IF REQUIRED BY ANY CODE OR REGULATION, LANDLORD SHALL PROVIDE & INSTALL A COMPLETE WET TYPE, AUTOMATIC SPRINKLER SYSTEM WITH ALL PIPING, RISER, DISTRIBUTION GRID SPRINKLER HEADS & MATERIALS TO COMPLY WITH STATE, LOCAL NFPA & AUTHORITIES HAVING JURISDICTION CODES & REQUIREMENTS. FIRE RISER SHALL BE LOCATED OUTSIDE THE TENANT SPACE.
- CO2 SYSTEM: WHERE ALLOWED BY CODE, TENANT SHALL BE ALLOWED TO PLACE ITS CO2 DELIVERY CYLINDER BEHIND THE LEASED PREMISES.
- OUTDOOR PATIO: LANDLORD SHALL PROVIDE TENANT WITH A CONCRETE BASE OUTDOOR DINING/PATIO AREA IN THE GENERAL DIMENSIONS OF 10' X 40'. SAID PATIO AREA SHALL BE LOCATED ON THE SIDE OF TENANT'S LEASED PREMISES.
- BUILDING ENVELOPE: PRIOR TO DELIVERY TO THE TENANT, THE LANDLORD SHALL PROVIDE THE TENANT WITH DOCUMENTATION VERIFYING THE BUILDING, AS DELIVERED, COMPLIES WITH MOST CURRENT REQUIREMENTS OF THE APPLICABLE ENERGY CODE OR INTERNATIONAL ENERGY CONSERVATION CODE (WHICHEVER MAY APPLY). IF THE SPACE IS CURRENTLY NON-CONDITIONED SPACE, THE LANDLORD SHALL SPECIFICALLY PROVIDE COMPLIANCE DOCUMENTATION THAT THE TENANT PREMISES (BUILDING ENVELOPE) DEMONSTRATES COMPLIANCE AS A CONDITIONED SPACE.
- EXHAUST CHASE/ROOF PENETRATIONS: PROVIDE EXHAUST CHASE W/ APPROPRIATE DUCTWORK STUBBED TO SPACE FOR TENANT'S COOKING EXHAUST & MAKE-UP AIR. ALL ROOF PENETRATIONS TO BE PROVIDED BY LANDLORD'S ROOFING VENDOR.

NOTE

WORK UNDER SEPARATE PERMIT

HAGUE ARCHITECTURE
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RIVER FOREST, ILLINOIS
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**TENANT IMPROVEMENTS
FACADE RENOVATION & INTERIOR RENOVATION**
24 ORLAND SQUARE DRIVE
ORLAND PARK, ILLINOIS
CLIENT: FRONTIER DEVELOPMENT

REV	DATE	DESCRIPTION
04.22.2016		REVISED FOR PERMIT
04.07.2016		REVISED FOR PERMIT
02.24.2016		ISSUE FOR PERMIT
02.04.2016		ISSUE FOR PERMIT REVIEW

ISSUE DATE: 04.22.2016

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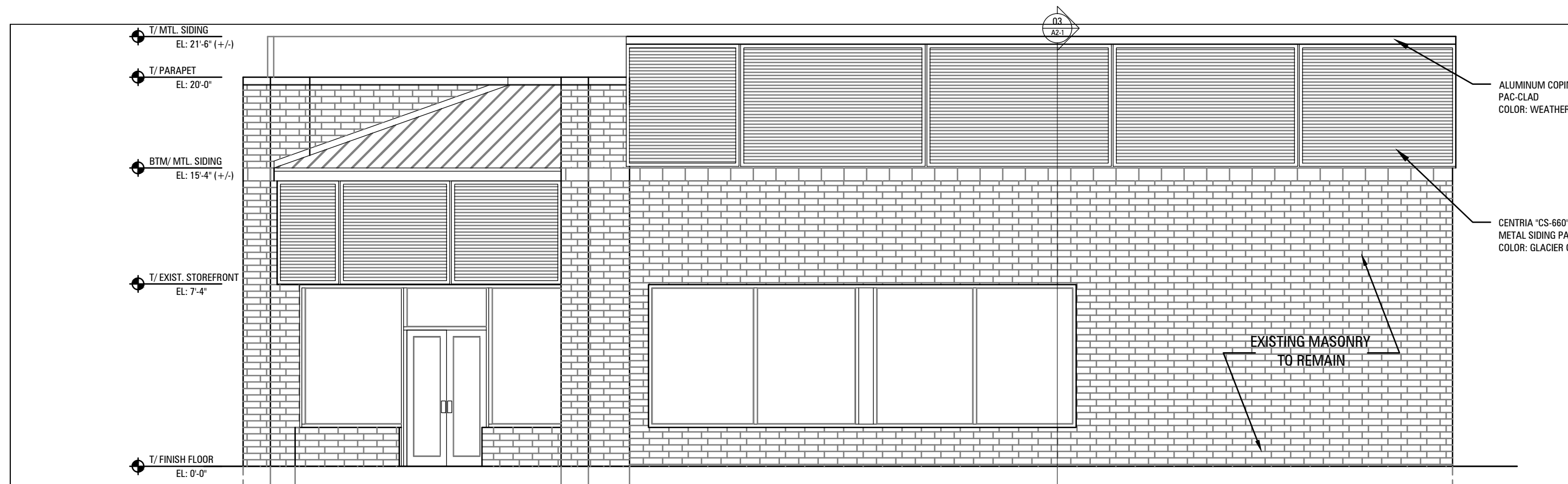
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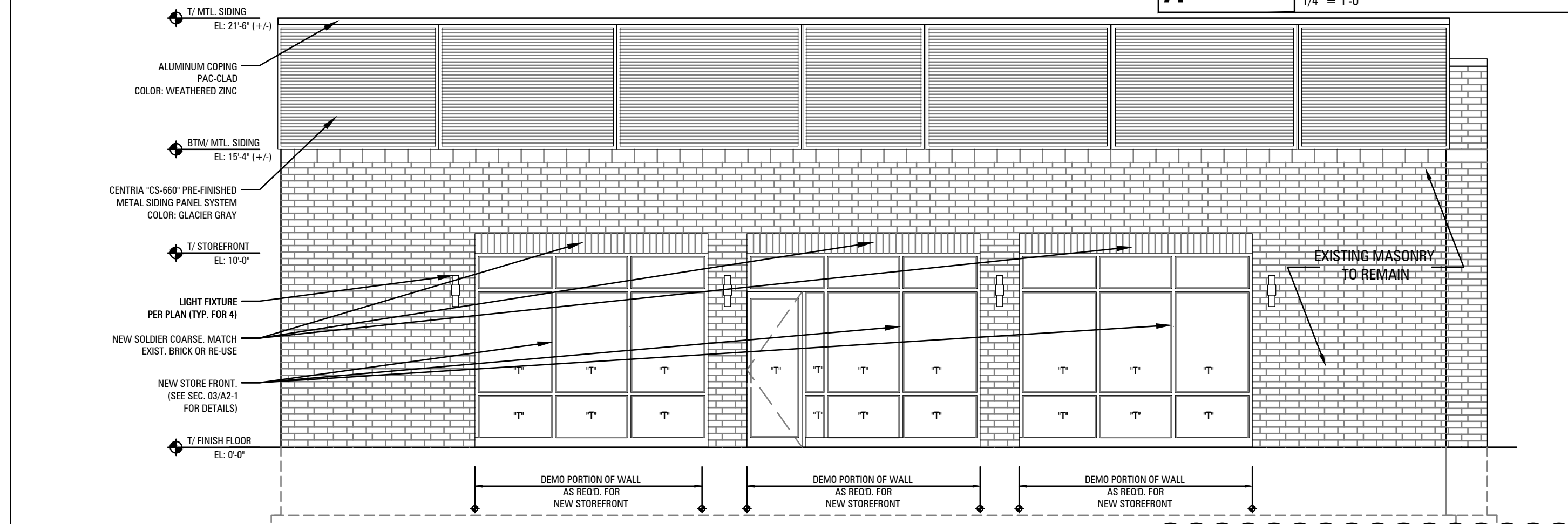
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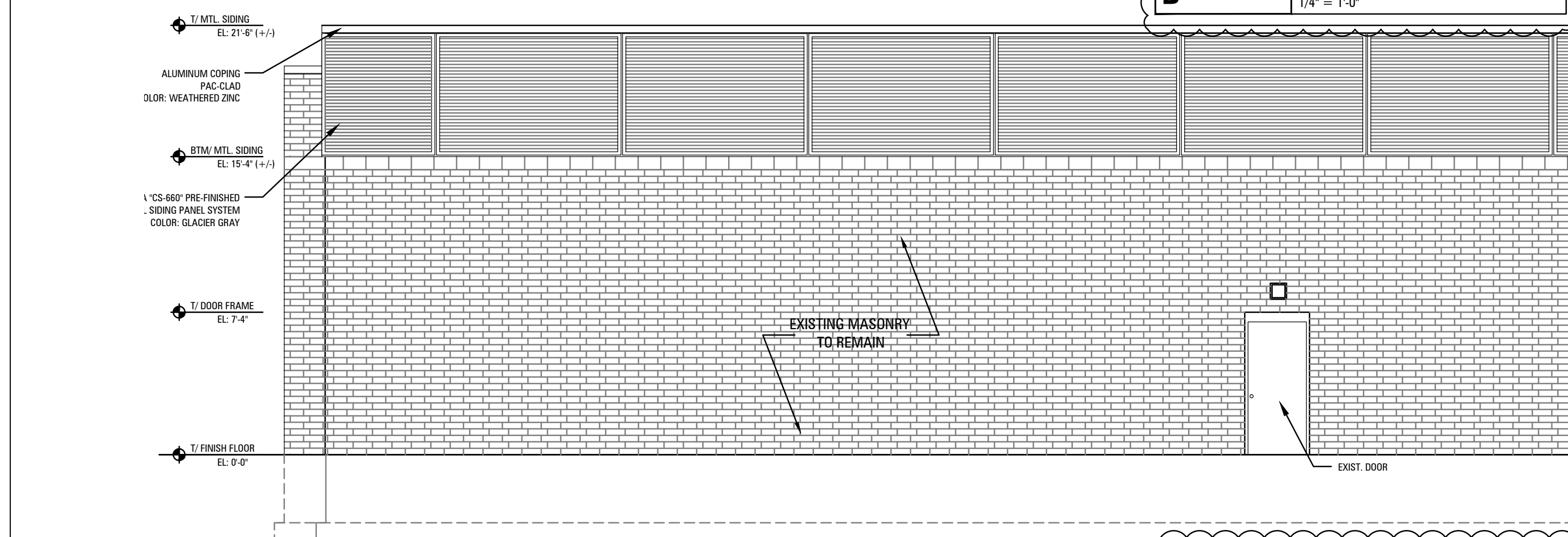
A1-4



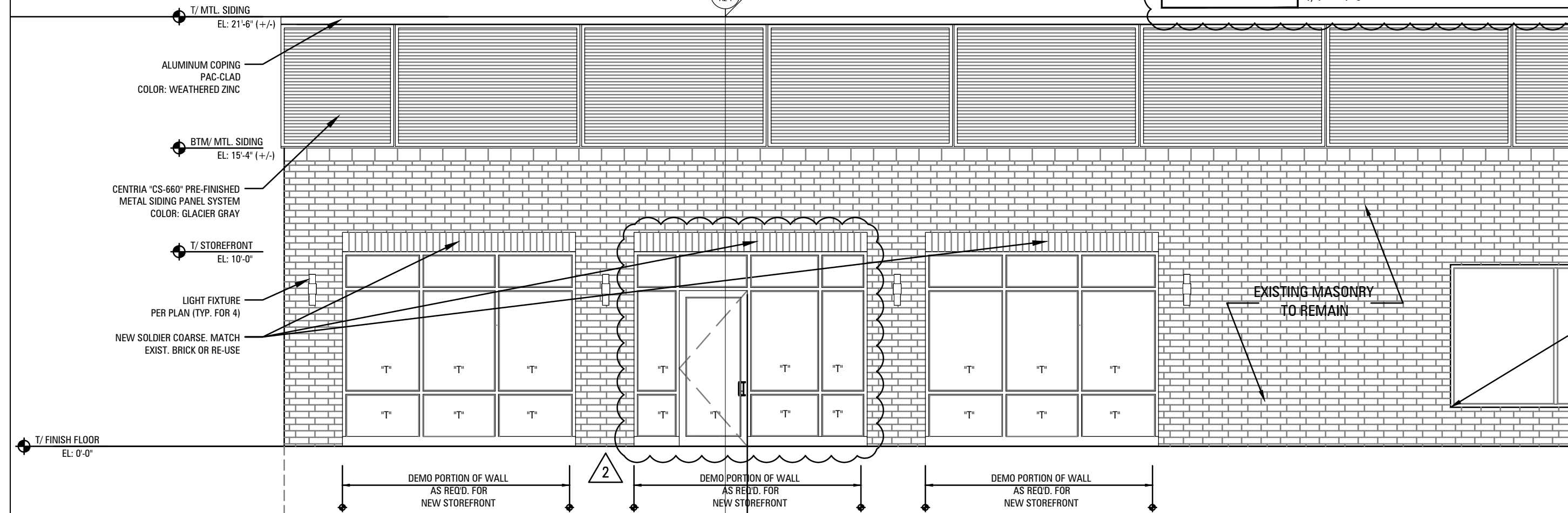
A EAST ELEVATION
1/4" = 1'-0"



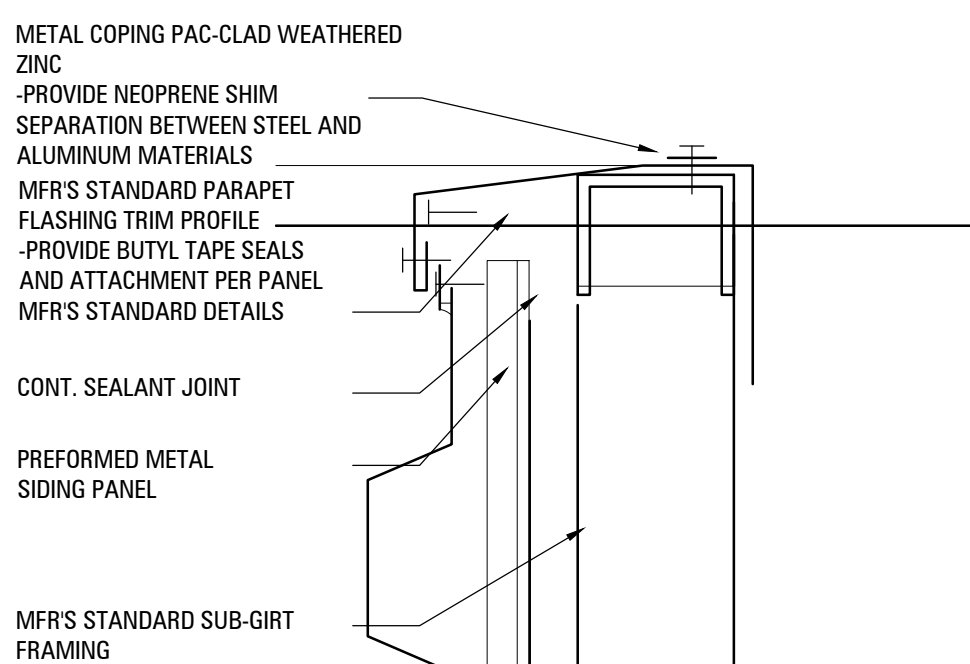
B WEST ELEVATION
1/4" = 1'-0"



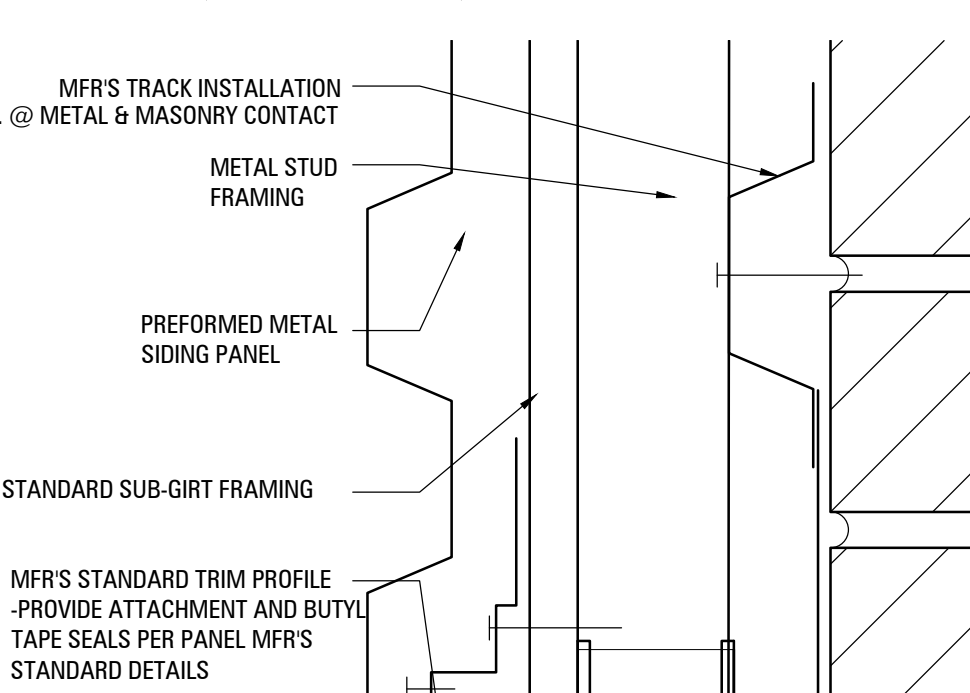
C NORTH ELEVATION
1/4" = 1'-0"



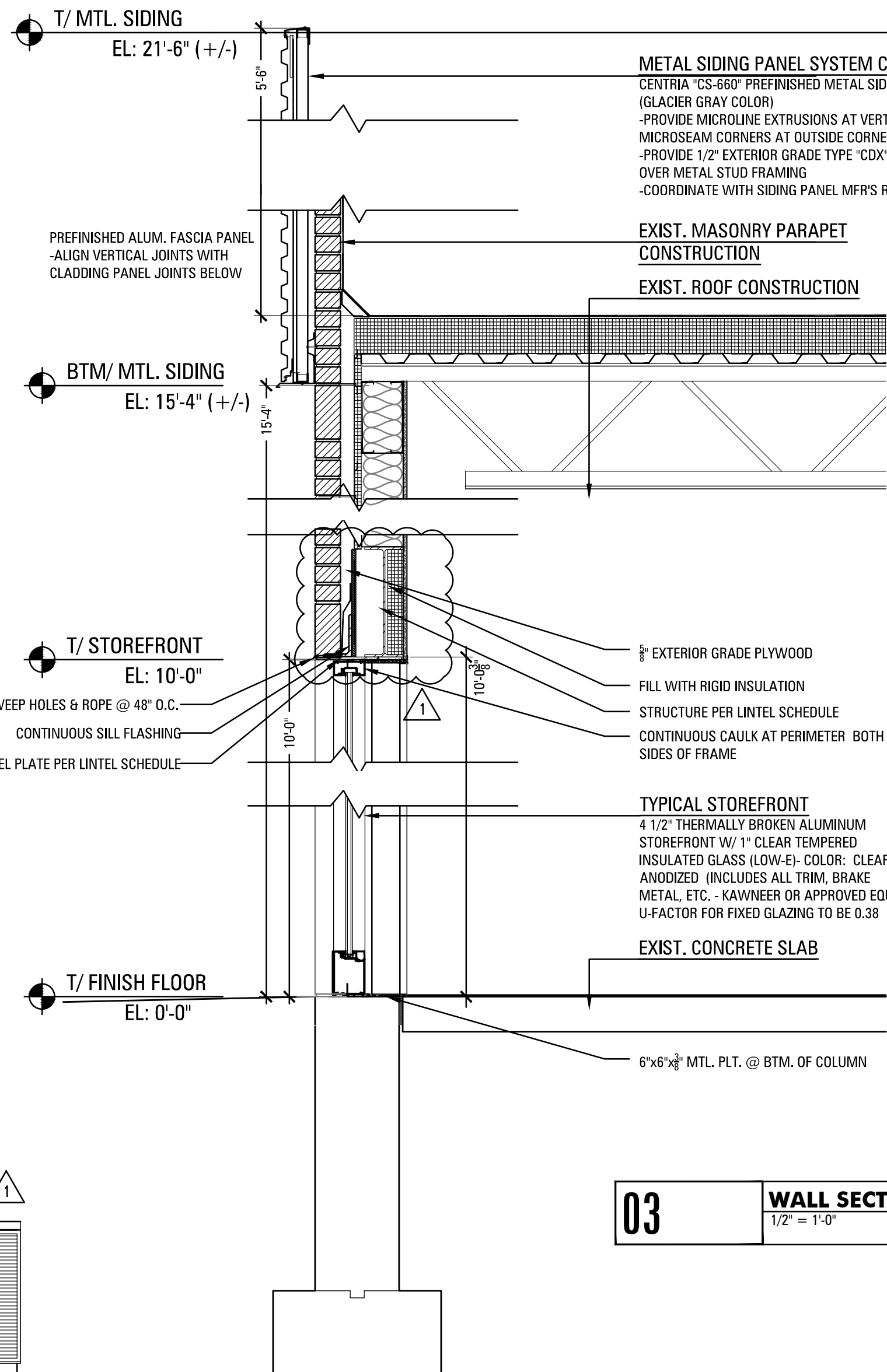
D SOUTH ELEVATION
1/4" = 1'-0"



01 DETAIL - COPING DETAIL
6" = 1'-0"



02 DETAIL - INTERMEDIATE JOINT
6" = 1'-0"



03 WALL SECTION DETAIL
1/2" = 1'-0"

WINDOW SCHEDULE										
NO.	TYPE	MATERIAL	FINISH	WIDTH	HEIGHT	THICK	LITES	GLASS AREA	VENT TO OPENING	REMARKS
1	LOW E	ALUM	CLEAR ANODIZED	12'-0"	10'-0"	4 1/2"	3	118.7	0	U-FACTOR = 0.38
2	LOW E	ALUM	CLEAR ANODIZED	2'-4"	10'-0"	4 1/2"	1	25	0	U-FACTOR = 0.38

DOOR SCHEDULE										
NO.	TYPE	MATERIAL	FIRE RATING	LOCATION	HEIGHT	WIDTH	THICK	FRAME TYPE	HARDWARE	REMARKS
A	ALUM	HM	SEE A1-3	EXTERIOR TO ELEC. RM.	6'-10"	3'-0"	1 3/4" ALUM	SEE A1-3	PNT-X CLEAR	U-FACTOR = 0.77
B	ALUM	ALUM/GLASS	SEE A1-3	EXTERIOR TO TENANT SPACE	8'-0"	3'-6"	1 3/4" ALUM	SEE A1-3	ANODIZED CLEAR	U-FACTOR = 0.77
C	ALUM	ALUM/GLASS	SEE A1-3	EXTERIOR TO TENANT SPACE	10'-0"	3'-0"	1 3/4" ALUM	SEE A1-3	ANODIZED CLEAR	U-FACTOR = 0.77

DOOR SPECIFICATIONS			FRAME TYPE			DOOR & FRAME FINISH		
ID	DESCRIPTION		ID	DESCRIPTION		ID	DESCRIPTION	
AL	ALUMINUM DOOR		AL	SPEC.			CLEAR ANODIZED	
HM	HOLLOW METAL		HM	HOLLOW METAL			PNT-X MATCH EXIST.	

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**TENANT IMPROVEMENTS
FACADE RENOVATION & INTERIOR RENOVATION**

24 ORLAND SQUARE DRIVE
ORLAND PARK, ILLINOIS

CLIENT: FRONTIER DEVELOPMENT

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PROJECT NUMBER: **2696.00**

DRAWN BY: JH

CHECKED BY: JH

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SHEET TITLE: **ELEVATIONS / DETAILS**

SHEET NUMBER: **A2-1**