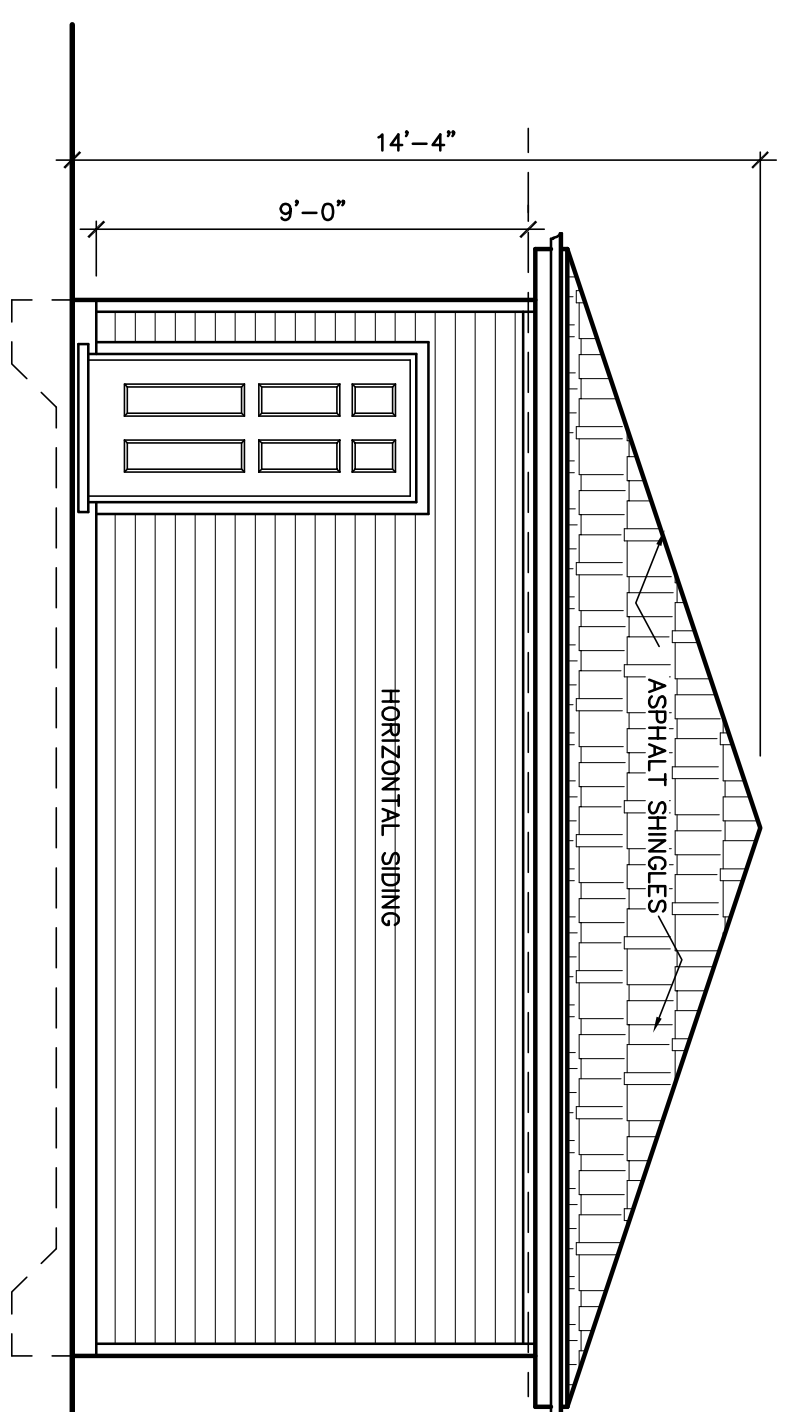




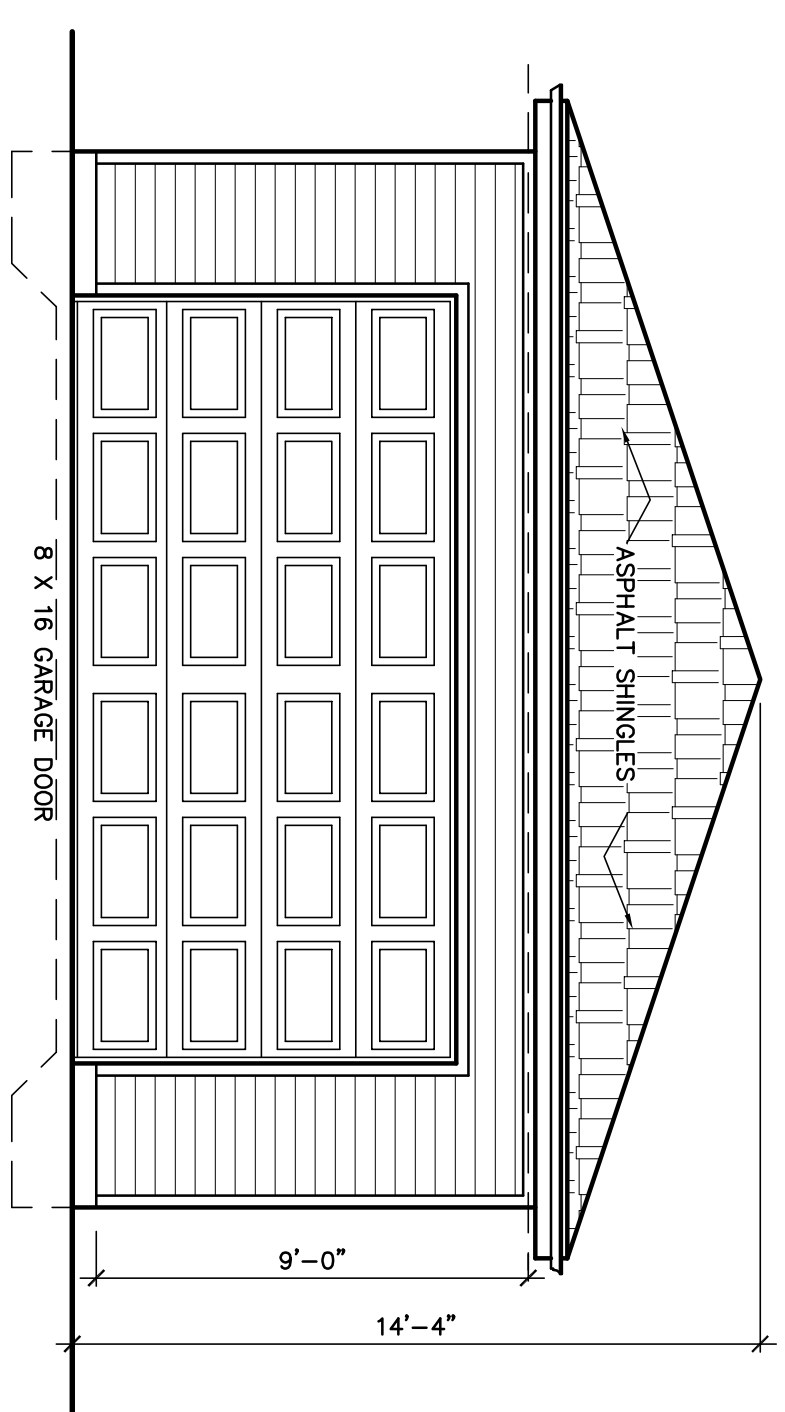


 "Designing with the
Taste of Mind[®]
 Ph: 708-404-4451

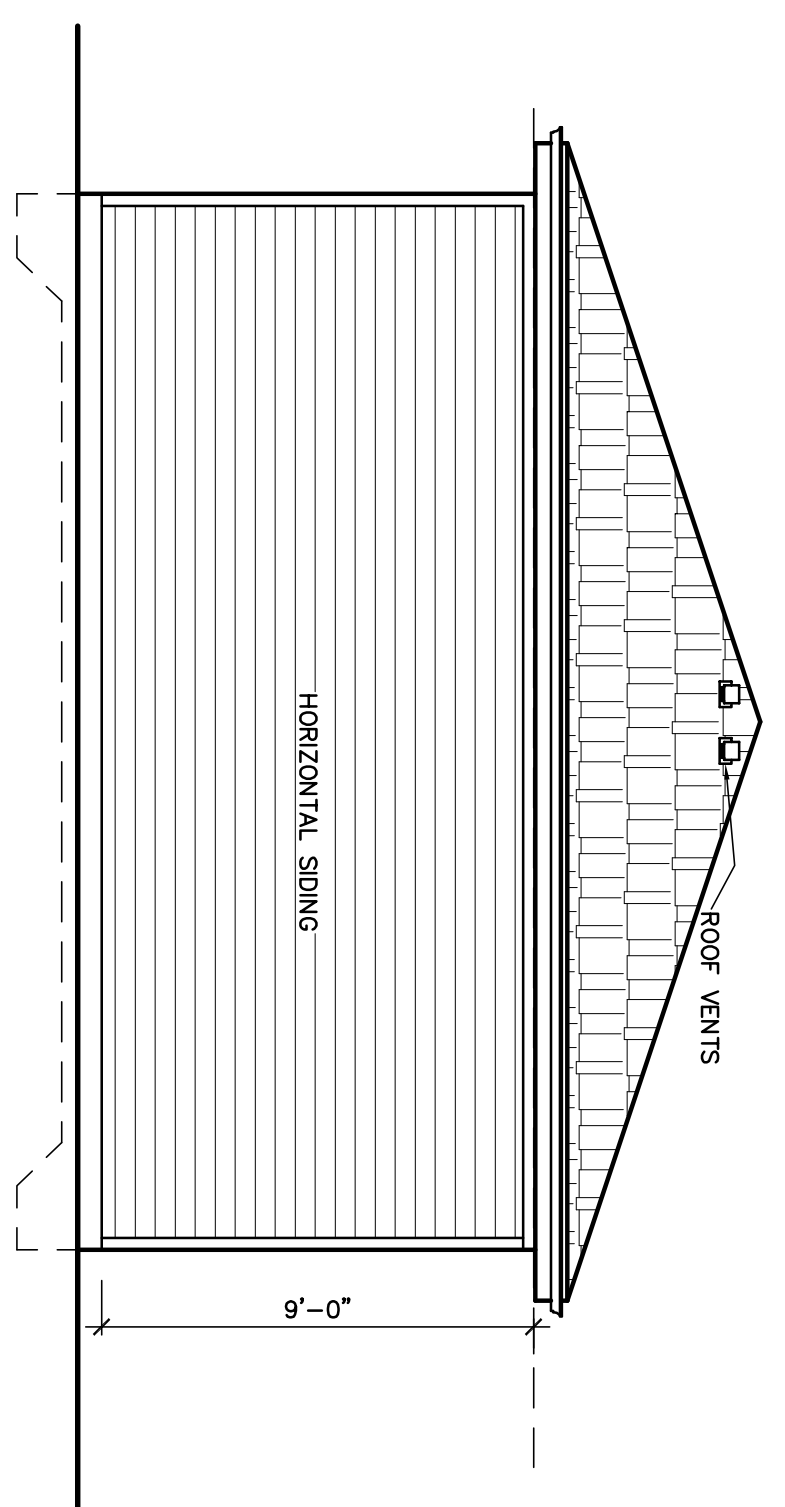
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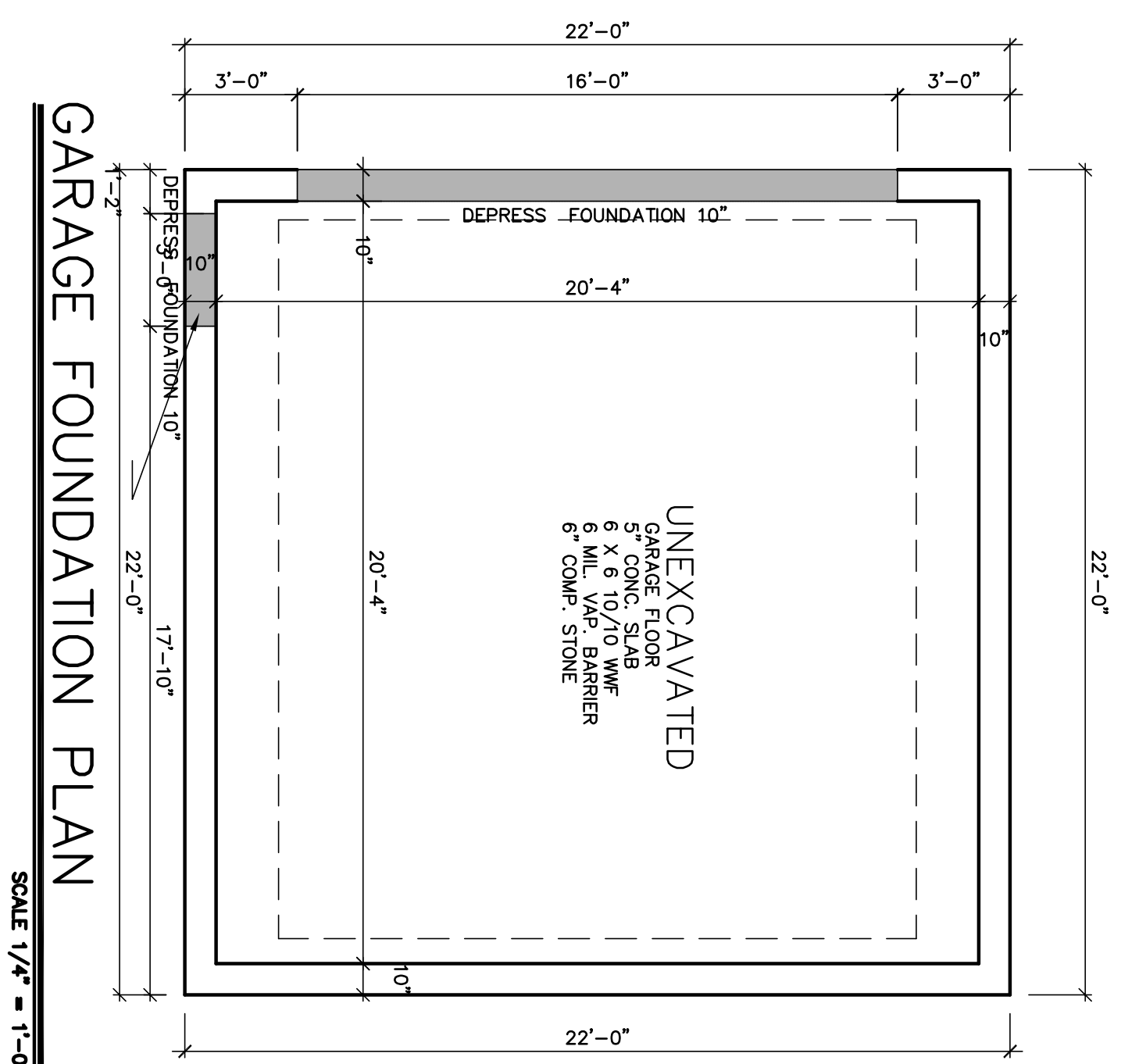
GARAGE REAR ELEVATION



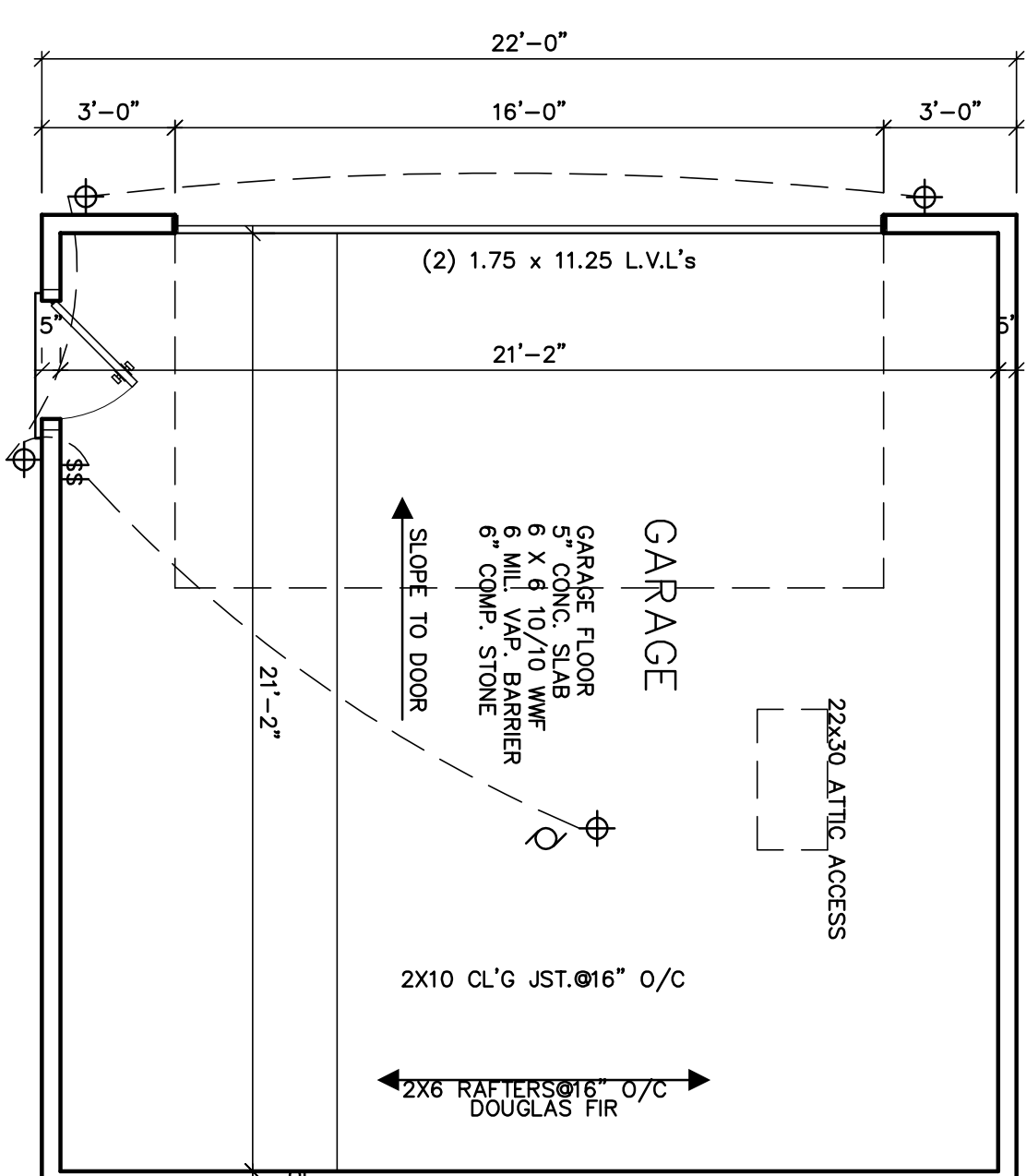
GARAGE FRONT ELEVATION



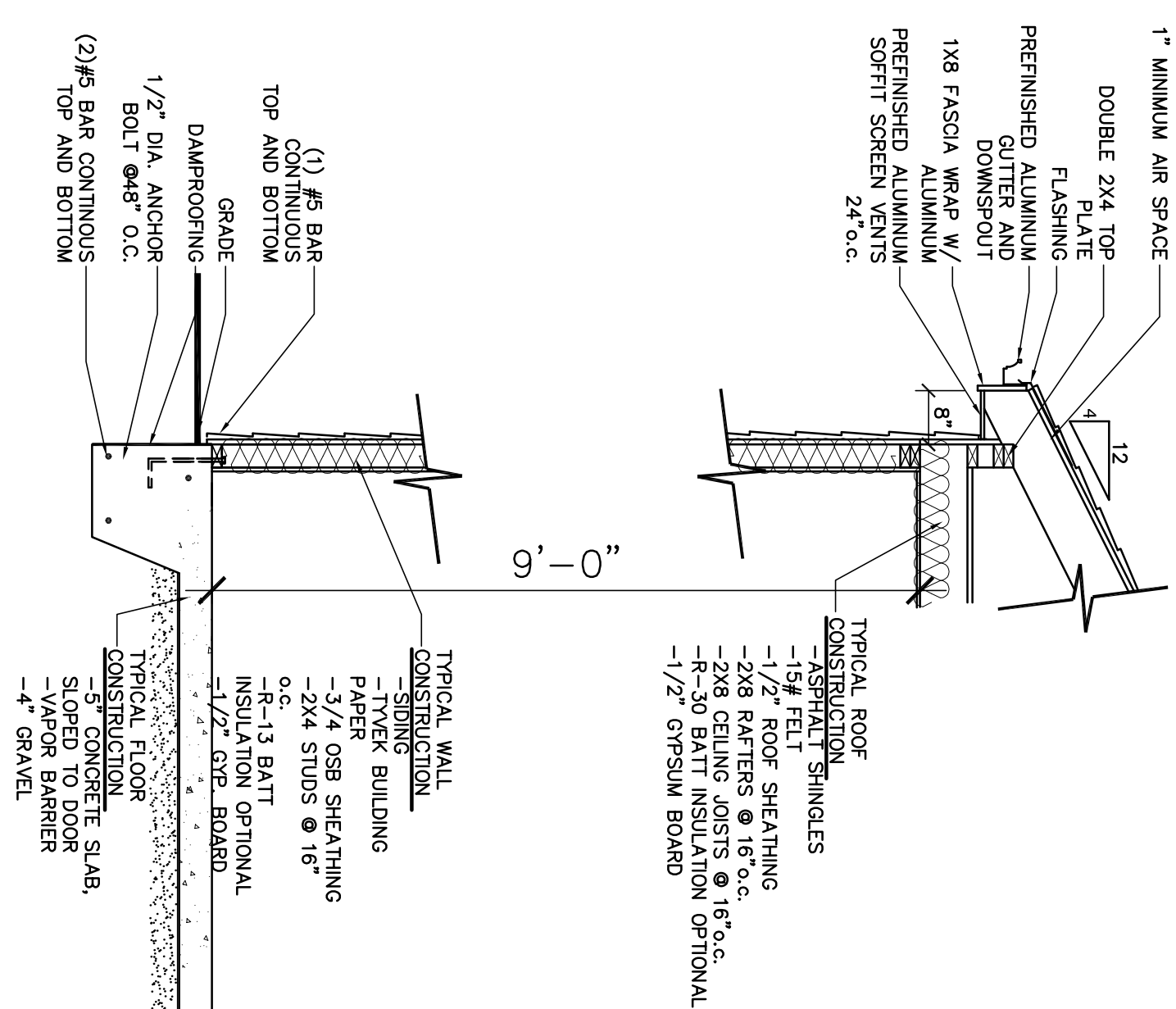
GARAGE SIDE ELEVATIONS



GARAGE FOUNDATION PLAN S



GARAGE FLOOR PLAN



PROJECT	
A-10	ELEVATIONS
A-20	FOUNDATION PLAN
A-21	FIRST FLOOR PLAN
A-22	SECOND FLOOR PLAN
A-30	SECTION / PLUMBING
E-10	ELECTRICAL

LM

Group, Inc.

*Designing with the
Future in Mind*

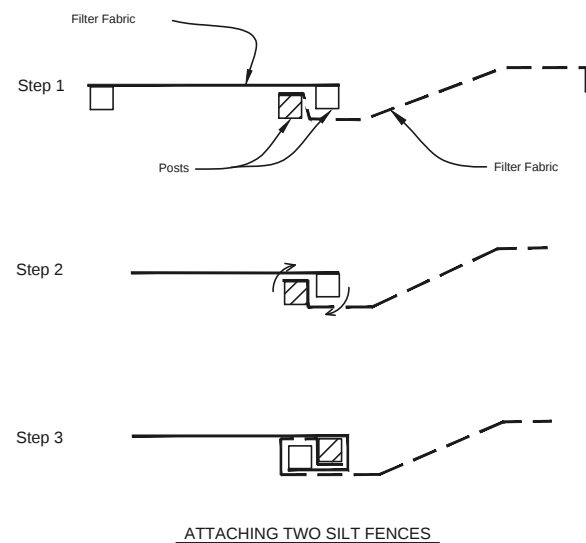
Ph:
708-404-4451

Two Story Residence
9875 W 144th Pl.
Orland Park, IL

LEGEND

EXISTING	PROPOSED

SILT FENCE PLAN



NOTES:

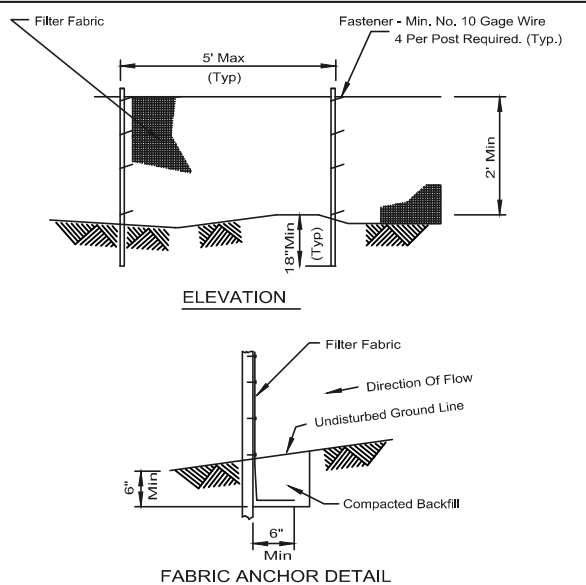
- Place the end post of the second fence inside the end post of the first fence.
- Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
- Drive both posts a minimum of 16 inches into the ground and bury the flap.

REFERENCE	DATE
Project	
Designed	
Checked	
Approved	



STANDARD DRAWING NO.
IL-620(W)
SHEET 2 OF 2
DATE: 11/30/11

SILT FENCE PLAN



NOTES:

- Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
- Filter fabric shall meet the requirements of material specification 552 Geotextile Tissue 1 or 2, Class, with equivalent opening size of at least 30 for nonwoven and 50 for woven.
- Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	DATE
Project	
Designed	
Checked	
Approved	



STANDARD DRAWING NO.
IL-620
SHEET 1 OF 2
DATE: 11/30/11

ABBREVIATIONS:

XXX.XXTC	TOP OF CURB ELEVATION
XXX.XME	MATCH EXISTING ELEVATION
TF	TOP OF FOUNDATION
FF	FINISHED FLOOR ELEVATION
LO	LOOK OUT
GF	GARAGE FLOOR ELEVATION
XXX.X	SPOT GRADE W/ FLOW DIRECTION

LOT COVERAGE

TOTAL LOT AREA	=	6,253.50 SF
PRINCIPAL STRUCTURE	=	1,612.50 SF
GARAGE	=	484 SF
DRIVEWAY AREA	=	1,364.05 SF
SIDEWALK AREA	=	53.00 SF

% OF LOT COVERAGE = 56%

DETAILED GRADING PLAN

LOT 19 IN HUMPHREY'S SUBDIVISION OF THE NORTH 455.0 FEET OF THE NORTH 30 ACRES OF THE SOUTH 60 ACRES OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 9, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE WABASH, ST. LOUIS AND PACIFIC RAILROAD, ALL IN COOK COUNTY, ILLINOIS.

NOTE: MARTIN M. ENGINEERING, INC. MAKES NO REPRESENTATION AS TO ACCURACY OF DIMENSIONS SHOWN BELOW. FOR ACTUAL DIMENSIONS OF HOME, REFER TO FOUNDATION PLAN PREPARED BY OTHERS.

GENERAL NOTES:

WATER AND SEWER SERVICES

WATER SERVICE TO BE 1 1/2" MIN. TYPE K COPPER MIN. DEPTH 5'.

SANITARY SERVICE TO BE 6" ABS TRUSS PIPE (ABS) WHICH SHALL MEET OR EXCEED THE PERFORMANCE REQUIREMENTS OF ASTM D2751 FOR 6" DIA. SOLID WALL SDR 23.5 W/ A MIN. SLOPE OF 1%. THE CONTRACTOR SHALL LOCATE THE EX. SANITARY SERVICE IN THE PARKWAY AND CONNECT TO IT. IF NO SERVICE EXISTS, CONTRACTOR SHALL CONNECT TO EXISTING MAIN W/ WYE CONNECTION. A PAVEMENT PATCH SHALL BE REQUIRED FOR DISTURBED AREAS OF THE ROADWAY FROM CURB LINE TO CURB LINE.

SANITARY & WATER SERVICES ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

MIN. SEPARATION OF WATER AND SANITARY SERVICES 10'

EROSION CONTROL

TO BE APPLIED PER THE ILLINOIS URBAN MANUAL, LATEST EDITION

CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION TO DETERMINE IF ANY CONFLICTS EXIST, THE DESIGN ENGINEER MUST BE NOTIFIED PRIOR TO START OF CONSTRUCTION

FOR UNDERGROUND UTILITY LOCATIONS AND PRIOR TO ANY CONSTRUCTION, CONTACT J.U.L.I.E., TOLL FREE 1-800-892-0123

SITE BENCHMARK:

RIM ON STORM MANHOLE LOCATED IN PARKWAY ON NORTH SIDE OF 144TH PLACE, APPROX. 104' FROM THE CENTERLINE OF 2ND AVE.
ELEV = 695.25

OWNER:

JOHN KELLY
(708) 774-9950

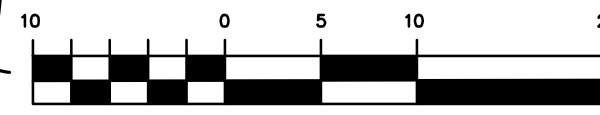
PAVEMENT LEGEND

	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED COVERED DECK/PORCH
	EXISTING BITUMINOUS PAVEMENT
	EXISTING CONCRETE PAVEMENT
	EXISTING PAVERS
	EXISTING DECK/COVERED PORCH



EXP: 11/30/11

GRAPHIC SCALE



(IN FEET)
1 INCH = 10 ft.

LOT 19-HUMPHREY'S SUBDIVISION

9871 W. 144TH PLACE
ORLAND PARK, ILLINOIS

DETAILED GRADING PLAN

MARTIN M. Engineering, Inc.

CONSULTING AND SITE DESIGN CIVIL ENGINEERS
8380 DUNMORE DRIVE
TINLEY PARK, ILLINOIS 60487
VOICE: (815) 469-7177
FAX: (815) 469-9137

DRAWN BY: BMM

SCALE: 1"=10'

JOB NUMBER:

12-041

#

DATE

CHECKED BY: BMM

DATE: 04/10/12

SHEET:

1 OF 1

DESCRIPTION