

DEVELOPMENT PETITION APPLICATION 159TH & LAGRANGE RETAIL

15901 LAGRANGE ROAD,
 ORLAND PARK, IL 60467

ORLAND TOWNSHIP, PIN 27-21-201-002-0000 & 27-21-201-003-0000

100% CONSTRUCTION DOCUMENTS

NOT FOR CONSTRUCTION

12/22/2025

UTILITY AND GOVERNING AGENCY CONTACTS

DEVELOPMENT SERVICES
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 ORLAND PARK, IL 60462
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 CONTACT: STEVE MARCIANI

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 CONTACT: ALADDIN HUSAIN

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 COMED
 3 LINCOLN CENTER
 OAK BROOK TERRACE, IL 60181
 TEL: (630) 437-4130

WATER SERVICE
 VILLAGE OF ORLAND PARK
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 ORLAND PARK, IL 60462
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PUBLIC WORKS
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 NICOR GAS COMPANY
 90 NORTH FINLEY ROAD
 GLEN ELLYN, IL 60137
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TELEPHONE
 AT&T ILLINOIS
 1001 COMMERCE DRIVE
 OAK BROOK, IL 60523
 TEL: (630) 573-6434

PROJECT TEAM

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 4201 WINFIELD RD, SUITE 600
 WARRENVILLE, IL 60555
 TEL: (407) 447-1677
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 CONTACT: BROOKS STICKLER, PE

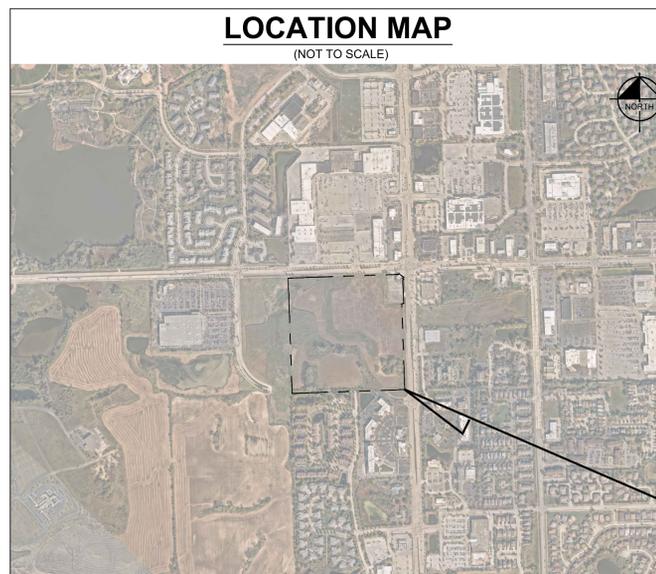
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 WARRENVILLE, IL 60555
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 CONTACT: RORY FANCLER, AICP, PTP



SITE

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C0.0	COVER
S1.0 - S1.6	ALTA SURVEY
C1.0 - C1.1	GENERAL NOTES
C2.0	OVERALL EXISTING CONDITIONS & DEMOLITION PLAN
C2.1 - C2.6	EXISTING CONDITIONS & DEMOLITION PLAN
C3.0	OVERALL SITE DIMENSION PLAN
C3.1 - C3.6	SITE DIMENSION PLAN
C3.7	FIRE TRUCK PLAN
C4.0	OVERALL EROSION CONTROL PLAN
C5.0	OVERALL PAVING & GRADING PLAN
C5.1 - C5.6	PAVING & GRADING PLAN
C5.7 - C5.8	CROSS SECTIONS
C6.0	OVERALL DRAINAGE PLAN
C6.1 - C6.6	DRAINAGE PLAN
C7.0	OVERALL UTILITY PLAN
C7.1 - C7.6	UTILITY PLAN
C8.0 - C8.4	CONSTRUCTION DETAILS
C9.0	EROSION CONTROL DETAILS
TP1.0	OVERALL TREE PRESERVATION PLAN
TP1.1 - TP1.6	TREE PRESERVATION PLAN
TP2.0	TREE PRESERVATION TABLE
L1.0	OVERALL LANDSCAPE PLAN
L1.1 - L1.6	LANDSCAPE PLAN
L2.0	MONUMENT SIGN ENLARGEMENTS
L3.0	LANDSCAPE SCHEDULE
L3.3	LANDSCAPE NOTES AND DETAILS
L3.4	LANDSCAPE DETAILS
L3.5	LANDSCAPE NOTES
L3.6	LANDSCAPE SPECIFICATIONS
P1.0	OVERALL PHOTOMETRIC PLAN
P1.1 - P1.6	PHOTOMETRIC PLAN
P1.7	PHOTOMETRIC DETAILS

LEGAL DESCRIPTION

PARCEL 1:
 THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN;
 EXCEPTING THEREFROM A TRACT OF LAND BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION AS MARKED BY CROSS IN 4 INCH SQUARE IRON PLATE, THENCE WEST ALONG THE NORTH LINE OF SAID SECTION, 208.71 FEET, THENCE SOUTH 208.72 FEET, THENCE EAST 208.71 FEET TO THE EAST LINE OF SAID SECTION; THENCE NORTH 208.71 FEET TO THE POINT OF BEGINNING;
 ALSO EXCEPTING THEREFROM THAT PART THEREOF DEDICATED FOR 159TH STREET PER DOCUMENT NO. 10909317 RECORDED MAY 26, 1931 AND THAT PART THEREOF DEDICATED FOR LAGRANGE ROAD PER DOCUMENT NO. 10155684 RECORDED SEPTEMBER 24, 1928,
 ALSO EXCEPTING ANY PARTS TAKEN IN CASE NO. 06 L 050813, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 2:
 THAT PART OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SECTION 21 AS MARKED BY CROSS IN A 4 INCH SQUARE IRON PLATE; THENCE WEST ALONG THE NORTH LINE OF SAID SECTION 21, 208.71 FEET; THENCE SOUTH 208.71 FEET; THENCE EAST 208.71 FEET OF THE EAST LINE OF SAID SECTION 21; THENCE NORTH 208.71 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART TAKEN FOR ROAD BY CASE NO. 06L050813.

PIN: 27-21-201-002 &
27-21-201-003



TITLE NOTES:

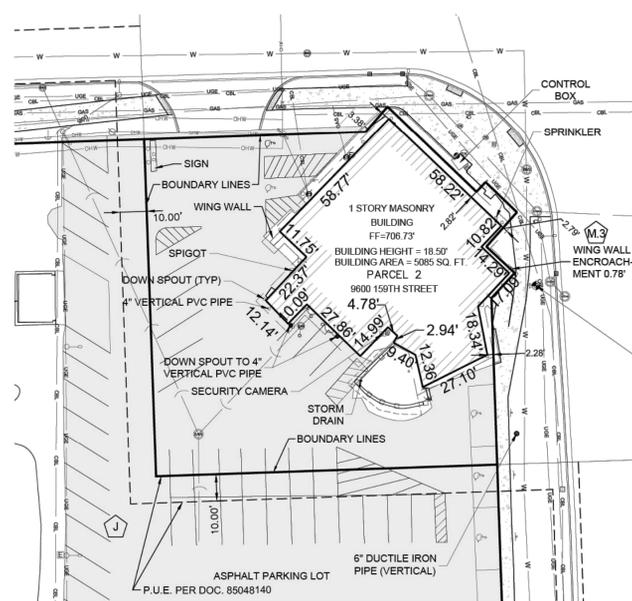
PURSUANT TO POLICY FOR TITLE INSURANCE, ISSUED BY CHICAGO TITLE INSURANCE COMPANY THEIR POLICY NO. 25002079NOWF, WITH A POLICY DATE OF JUNE 11, 2025.

GENERAL EXCEPTIONS 1-20 & 26-27 ARE MATTERS SPECIFIC TO TITLE COMMITMENT ISSUANCE AND PRACTICES AND ARE NOT SURVEY RELATED. SURVEYOR MAKES NO COMMENT REGARDING THEM.

SCHEDULE B PART II, TITLE EXCEPTION TABLE

EXCEPTION NUMBER	DOCUMENT NUMBER	DESCRIPTION	PLOTTABLE	NOTATION
J-21	85048140	Subject to Village of Orland Park Public Utility Easement.	Yes	As shown
K-22	N/A	Rights of way for drainage tiles, ditches, feeders, laterals and underground pipes.	No	See Survey Notes
L-23	86134340	Subject to Metropolitan Sanitary District requirements for storm water detention.	No	Blanket in Nature
M-24	20243.01	Subject to Survey by V3 Companies, Ltd. From August 8, 2020.	Yes	See below
M-24.1	N/A	Adverse encroachment of the guardrail over and into the land by an undisclosed amount. Note - it is not a guardrail but is 2 street signs.	Yes	As shown
M-24.2	N/A	Subject to rights of public and quasi-public utilities in the land, as shown.	No	Blanket in Nature
M-24.3	N/A	Encroachment of a wing wall attached to the building onto the property northeasterly .72ft.	Yes	As shown
S-25	18126074	Not subject to Northern Illinois Gas Easement (Lies entirely within current Right-of-Way of 159th Street - U.S. 6)	Yes	As shown
WA	N/A	Encroachment of asphalt pavement over and into the land by 0.96'x0.10'.	Yes	As shown

BUILDING DETAIL
1" = 30'



HATCH LEGEND

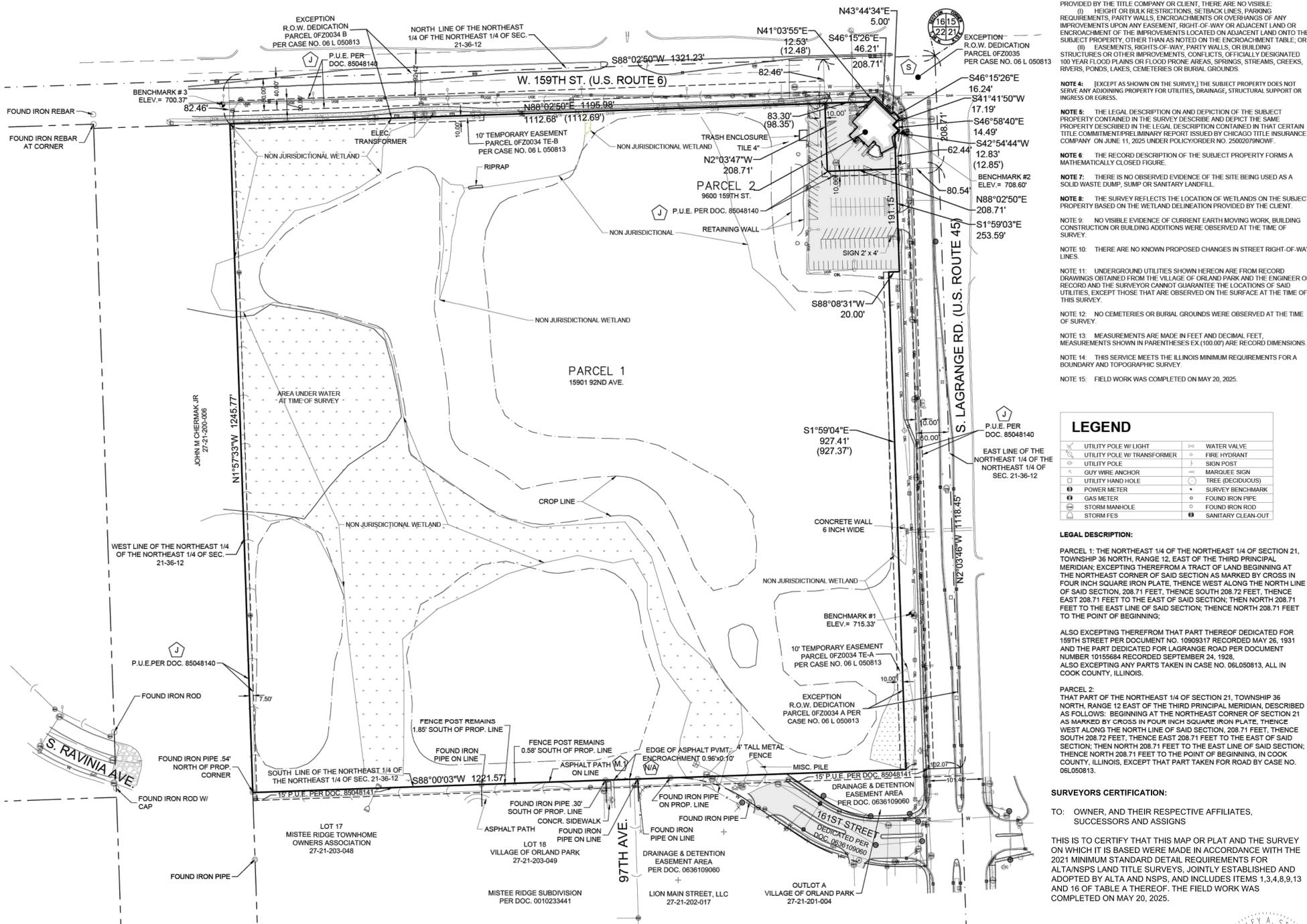
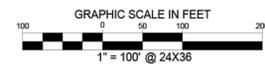
[Hatched Pattern]	BUILDING OUTLINE AREA
[Hatched Pattern]	CONCRETE AREA
[Hatched Pattern]	ASPHALT PAVEMENT AREA
[Hatched Pattern]	GRAVEL AREA
[Hatched Pattern]	NON-JURISDICTIONAL WETLAND

LINE TYPE LEGEND

[Line Style]	OVERHEAD UTILITY LINE
[Line Style]	UNDERGROUND ELECTRIC LINE
[Line Style]	WATER LINE
[Line Style]	GAS LINE

PARKING SUMMARY:
THERE ARE 118 TOTAL PARKING SPACES, 5 OF WHICH ARE HANDICAPPED.

ALTA / NSPS LAND TITLE SURVEY
OF
THAT PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21,
TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN



AREA SUMMARY:

PARCEL 1 =	1,511,005 SF. (34.688 AC. ±)
PARCEL 2 =	16,100 SF. (0.370 AC. ±)
TOTAL AREA =	1,527,105 SF. (35.058 AC. ±)

FLOOD STATEMENT:
ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 17031C0701, FOR COOK COUNTY, ILLINOIS AND INCORPORATED AREAS, DATED AUGUST 10, 2008 THIS PROPERTY IS LOCATED WITHIN
ZONE X (UNSHADED) DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

No.	DATE	REVISION DESCRIPTION
1	7/29/05	WETLAND AND TREE SURVEY ADDITION

SURVEYOR'S NOTES:

- NOTE 1: THE SUBJECT PROPERTY HAS ACCESS TO PUBLIC UTILITIES FROM THE PUBLIC STREETS ADJACENT TO THE SUBJECT PROPERTY.
- NOTE 2: THE SUBJECT PROPERTY ADJUTS, WITHOUT GAPS, GORES OR STRIPS, AND HAS VEHICULAR AND PEDESTRIAN INGRESS TO AND EGRESS FROM 159TH STREET (US-6) AND LAGRANGE ROAD (US-45), WHICH IS ARE COMPLETED, DEDICATED AND ACCEPTED PUBLIC RIGHT(S) OF WAY.
- NOTE 3: EXCEPT AS SHOWN AND NOTED ON THIS SURVEY, BASED ON A PHYSICAL INSPECTION OF THE SUBJECT PROPERTY AND MATTERS OF RECORD PROVIDED BY THE TITLE COMPANY OR CLIENT, THERE ARE NO VISIBLE:
(i) HEIGHT OR BULK RESTRICTIONS, SETBACK LINES, PARKING REQUIREMENTS, PARTY WALLS, ENCROACHMENTS OR OVERHANGS OF ANY IMPROVEMENTS UPON ANY EASEMENT, RIGHT-OF-WAY OR ADJACENT LAND OR ENCROACHMENT OF THE IMPROVEMENTS LOCATED ON ADJACENT LAND ONTO THE SUBJECT PROPERTY, OTHER THAN AS NOTED ON THE ENCROACHMENT TABLE; OR
(ii) EASEMENTS, RIGHTS-OF-WAY, PARTY WALLS, OR BUILDING STRUCTURES OR OTHER IMPROVEMENTS, CONFLICTS, OFFICIALLY DESIGNATED 100 YEAR FLOOD PLAINS OR FLOOD PRONE AREAS, SPRINGS, STREAMS, CREEKS, RIVERS, PONDS, LAKES, CEMETERIES OR BURIAL GROUNDS.
- NOTE 4: (EXCEPT AS SHOWN ON THE SURVEY), THE SUBJECT PROPERTY DOES NOT SERVE ANY ADJOINING PROPERTY FOR UTILITIES, DRAINAGE, STRUCTURAL SUPPORT OR INGRESS OR EGRESS.
- NOTE 5: THE LEGAL DESCRIPTION ON AND DEPICTION OF THE SUBJECT PROPERTY CONTAINED IN THE SURVEY DESCRIBE AND DEPICT THE SAME PROPERTY DESCRIBED IN THE LEGAL DESCRIPTION CONTAINED IN THAT CERTAIN TITLE COMMITMENT/PRELIMINARY REPORT ISSUED BY CHICAGO TITLE INSURANCE COMPANY ON JUNE 11, 2025 UNDER POLICY/ORDER NO. 25002079NOWF.
- NOTE 6: THE RECORD DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE.
- NOTE 7: THERE IS NO OBSERVED EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
- NOTE 8: THE SURVEY REFLECTS THE LOCATION OF WETLANDS ON THE SUBJECT PROPERTY BASED ON THE WETLAND DELINEATION PROVIDED BY THE CLIENT.
- NOTE 9: NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WERE OBSERVED AT THE TIME OF SURVEY.
- NOTE 10: THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES.
- NOTE 11: UNDERGROUND UTILITIES SHOWN HEREON ARE FROM RECORD DRAWINGS OBTAINED FROM THE VILLAGE OF ORLAND PARK AND THE ENGINEER OF RECORD AND THE SURVEYOR CANNOT GUARANTEE THE LOCATIONS OF SAID UTILITIES EXCEPT THOSE THAT ARE OBSERVED ON THE SURFACE AT THE TIME OF THIS SURVEY.
- NOTE 12: NO CEMETERIES OR BURIAL GROUNDS WERE OBSERVED AT THE TIME OF SURVEY.
- NOTE 13: MEASUREMENTS ARE MADE IN FEET AND DECIMAL FEET. MEASUREMENTS SHOWN IN PARENTHESES EX (100.00) ARE RECORD DIMENSIONS.
- NOTE 14: THIS SERVICE MEETS THE ILLINOIS MINIMUM REQUIREMENTS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY.
- NOTE 15: FIELD WORK WAS COMPLETED ON MAY 20, 2025.

LEGEND

[Symbol]	UTILITY POLE W/ LIGHT	[Symbol]	WATER VALVE
[Symbol]	UTILITY POLE W/ TRANSFORMER	[Symbol]	FIRE HYDRANT
[Symbol]	UTILITY POLE	[Symbol]	SIGN POST
[Symbol]	GUY WIRE ANCHOR	[Symbol]	MARQUEE SIGN
[Symbol]	UTILITY HAND HOLE	[Symbol]	TREE (DECIDUOUS)
[Symbol]	POWER METER	[Symbol]	SURVEY BENCHMARK
[Symbol]	GAS METER	[Symbol]	FOUND IRON PIPE
[Symbol]	STORM MANHOLE	[Symbol]	FOUND IRON ROD
[Symbol]	STORM FES	[Symbol]	SANITARY CLEAN-OUT

LEGAL DESCRIPTION:

PARCEL 1: THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN; EXCEPTING THEREFROM A TRACT OF LAND BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION AS MARKED BY CROSS IN FOUR INCH SQUARE IRON PLATE, THENCE WEST ALONG THE NORTH LINE OF SAID SECTION, 208.71 FEET; THENCE SOUTH 208.72 FEET; THENCE EAST 208.71 FEET TO THE EAST OF SAID SECTION; THENCE NORTH 208.71 FEET TO THE POINT OF BEGINNING;

ALSO EXCEPTING THEREFROM THAT PART THEREOF DEDICATED FOR 159TH STREET PER DOCUMENT NO. 10909317 RECORDED MAY 26, 1931 AND THE PART DEDICATED FOR LAGRANGE ROAD PER DOCUMENT NUMBER 10158684 RECORDED SEPTEMBER 24, 1928.

ALSO EXCEPTING ANY PARTS TAKEN IN CASE NO. 06L050813, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SECTION 21 AS MARKED BY CROSS IN FOUR INCH SQUARE IRON PLATE, THENCE WEST ALONG THE NORTH LINE OF SAID SECTION, 208.71 FEET; THENCE SOUTH 208.72 FEET; THENCE EAST 208.71 FEET TO THE EAST OF SAID SECTION; THENCE NORTH 208.71 FEET TO THE EAST LINE OF SAID SECTION; THENCE NORTH 208.71 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART TAKEN FOR ROAD BY CASE NO. 06L050813.

SURVEYORS CERTIFICATION:

TO: OWNER, AND THEIR RESPECTIVE AFFILIATES, SUCCESSORS AND ASSIGNS

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1.3,4,8,9,13 AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 20, 2025.

BRADLEY A. STROHL DATE 07/07/2025
PROFESSIONAL LAND SURVEYOR NO. 3686
MY LICENSE EXPIRES 11/30/2026
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
PH. 331-209-0476
brad.strohl@kimley-horn.com



4201 Winfield Road, Ste 600 Warrenville, Illinois 60555	DESIGN FIRM # 184002012-0006	Tel. No. (630) 487-5550 www.kimley-horn.com
Scale	Drawn by	Checked by
1"=100'	JL	BAS
Date	Project No.	Sheet No.
06/05/2025	149621089	1 of 7

Kimley Horn
2026 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
WWW.KIMLEY-HORN.COM

LICENSED PROFESSIONAL
KHA PROJECT 149621089
DATE 12/22/2025
SCALE AS SHOWN
DESIGNED BY THOMAS J. SZFRANSKI
DRAWN BY ILLINOIS LICENSE NUMBER 062.070698
CHECKED BY DATE OF EXPIRATION: 11/30/27
DATE: 12/22/2025

ALTA SURVEY

159TH & LAGRANGE RETAIL

VILLAGE OF ORLAND PARK

SHEET NUMBER **S1.0**

ILLINOIS

REVISIONS

DATE

NOT FOR CONSTRUCTION
12/22/2025
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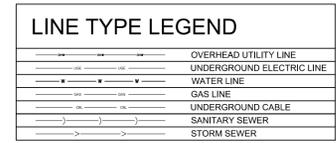
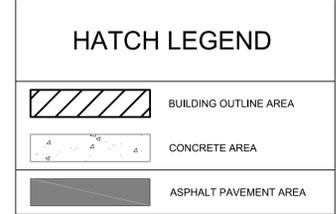
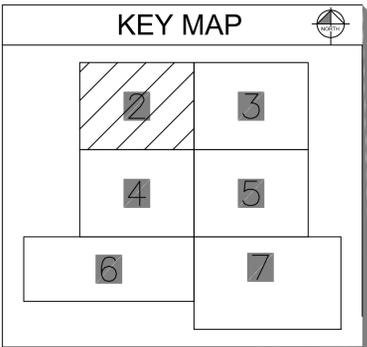
PIN:27-21-201-002-0000 &
27-21-201-003-000

TOPOGRAPHIC SURVEY
OF
15901 92ND AVENUE & 9600 159TH STREET
ORLAND PARK, ILLINOIS

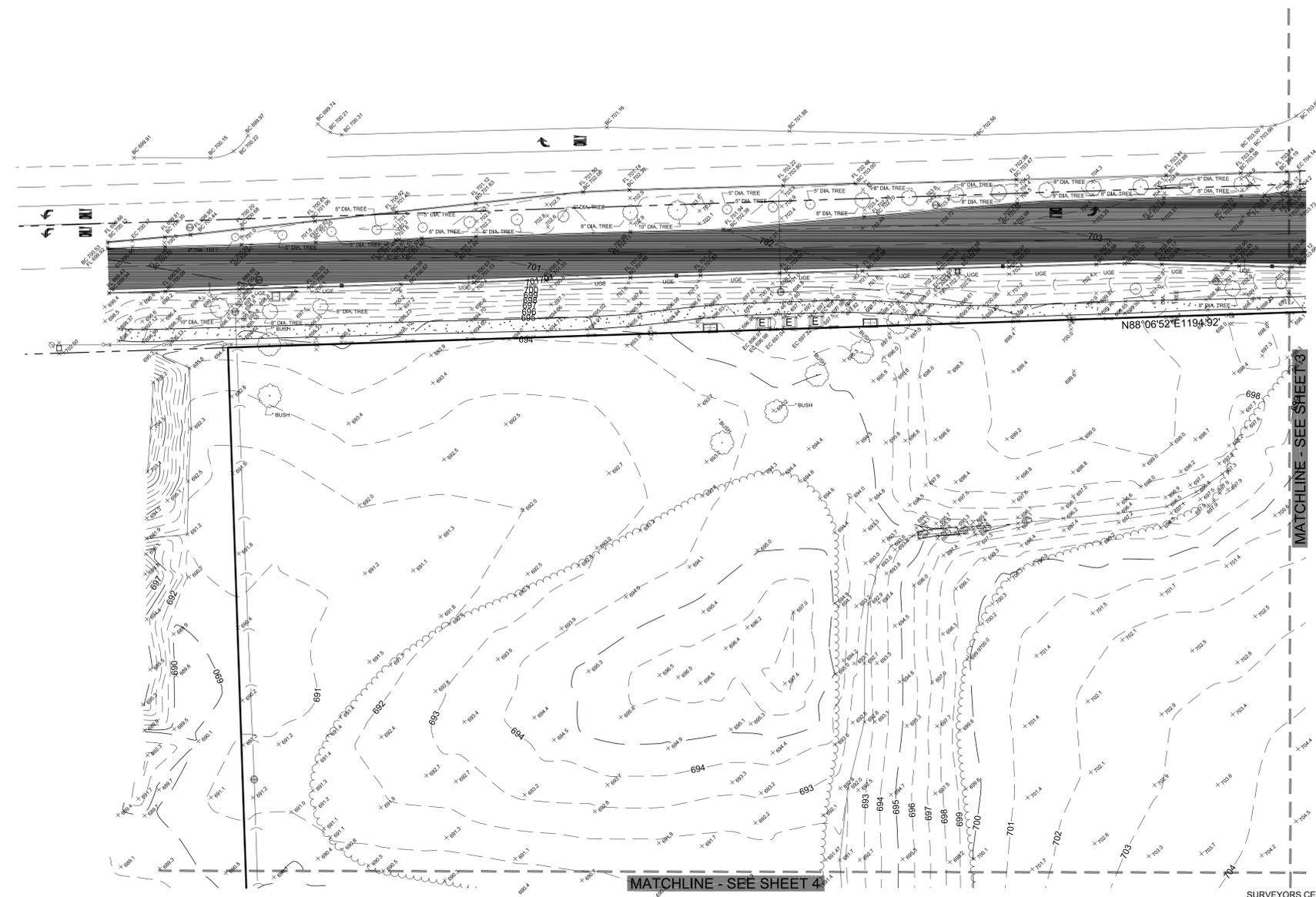


BASIS OF BEARINGS
All bearings shown are based on grid north of the Illinois Coordinate System of 1983, East Zone (1201), North American Datum of 1983.

REFERENCE DATUM:
NORTH AMERICAN VERTICAL DATUM 1988
BENCHMARK #1 ELEVATION = 715.33'
SOUTHWEST BOLT ON FIRE HYDRANT AT SOUTH EAST CORNER OF PROJECT
BENCHMARK #2 ELEVATION = 708.60'
SOUTHWEST BOLT ON FIRE HYDRANT AT SOUTH WEST CORNER OF 159TH STREET AND LAGRANGE ROAD.
BENCHMARK #3 ELEVATION = 700.37'
BOX CUT ON LIGHT POLE BASE AT NORTH WEST CORNER OF PROJECT



LEGEND			
⊕	UTILITY POLE W/ LIGHT	⊕	WATER VALVE
⊕	UTILITY POLE W/ TRANSFORMER	⊕	FIRE HYDRANT
⊕	UTILITY POLE	⊕	SIGN POST
⊕	GUY WIRE ANCHOR	⊕	MARQUEE SIGN
⊕	FIBEROPTIC HAND HOLE	⊕	TREE (DECIDUOUS)
⊕	ELEC. METER	⊕	SURVEY BENCHMARK
⊕	GAS METER	⊕	WATER VALVE VAULT
⊕	STORM MANHOLE	⊕	STORM CULVERT
⊕	FLARED END SECTION	⊕	SANITARY CLEAN-OUT
⊕	TRAFFIC SIGNAL	⊕	TELEPHONE MANHOLE
⊕	TRAFFIC MANHOLE	⊕	TELEPHONE TRANSFORMER
⊕	STORM INLET	⊕	SANITARY MANHOLE



SURVEYORS CERTIFICATION:
To:
I hereby certify that this survey and the plat shown hereon meet the Illinois Minimum Standards for a TOPOGRAPHIC (&/or Topographic) Survey.

Bradley A. Strohl Date
Professional Land Surveyor No. 3686
Kimley-Horn and Associates, Inc.
4201 Winfield Road, Suite 600
Warrenville, IL 60555
Ph. 331-209-0476
brad.strohl@kimley-horn.com

No.	REVISIONS	DATE	BY

Kimley»Horn
© 2026 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
WWW.KIMLEY-HORN.COM

KHA PROJECT	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
149621089	12/22/2025	###	###	###

LICENSED PROFESSIONAL
THOMAS J. SZFRANSKI
ILLINOIS LICENSE NUMBER
062.070698
DATE OF EXPIRATION: 11/30/27

ALTA SURVEY

159TH & LAGRANGE
RETAIL
ILLINOIS
VILLAGE OF ORLAND PARK

<p>Kimley»Horn 4201 Winfield Road Warrenville, Illinois 60555 Tel. No. (630) 487-5550 www.kimley-horn.com</p>		<p>DESIGN FIRM # 184002012-0006 Scale 1"=40' Drawn by JMT Checked by XXX Date 05/05/2025 Project No. 149621089 Sheet No. 2 OF 7</p>	
No.	DATE	REVISION DESCRIPTION	

SHEET NUMBER
S1.1

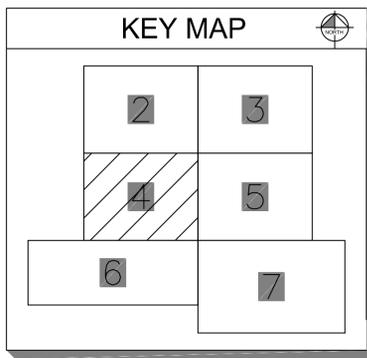
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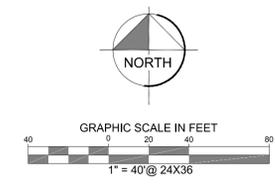
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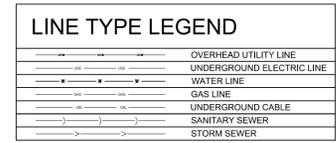
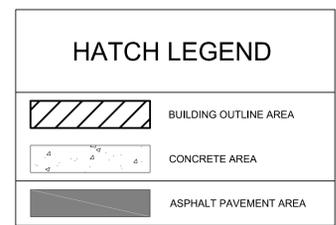
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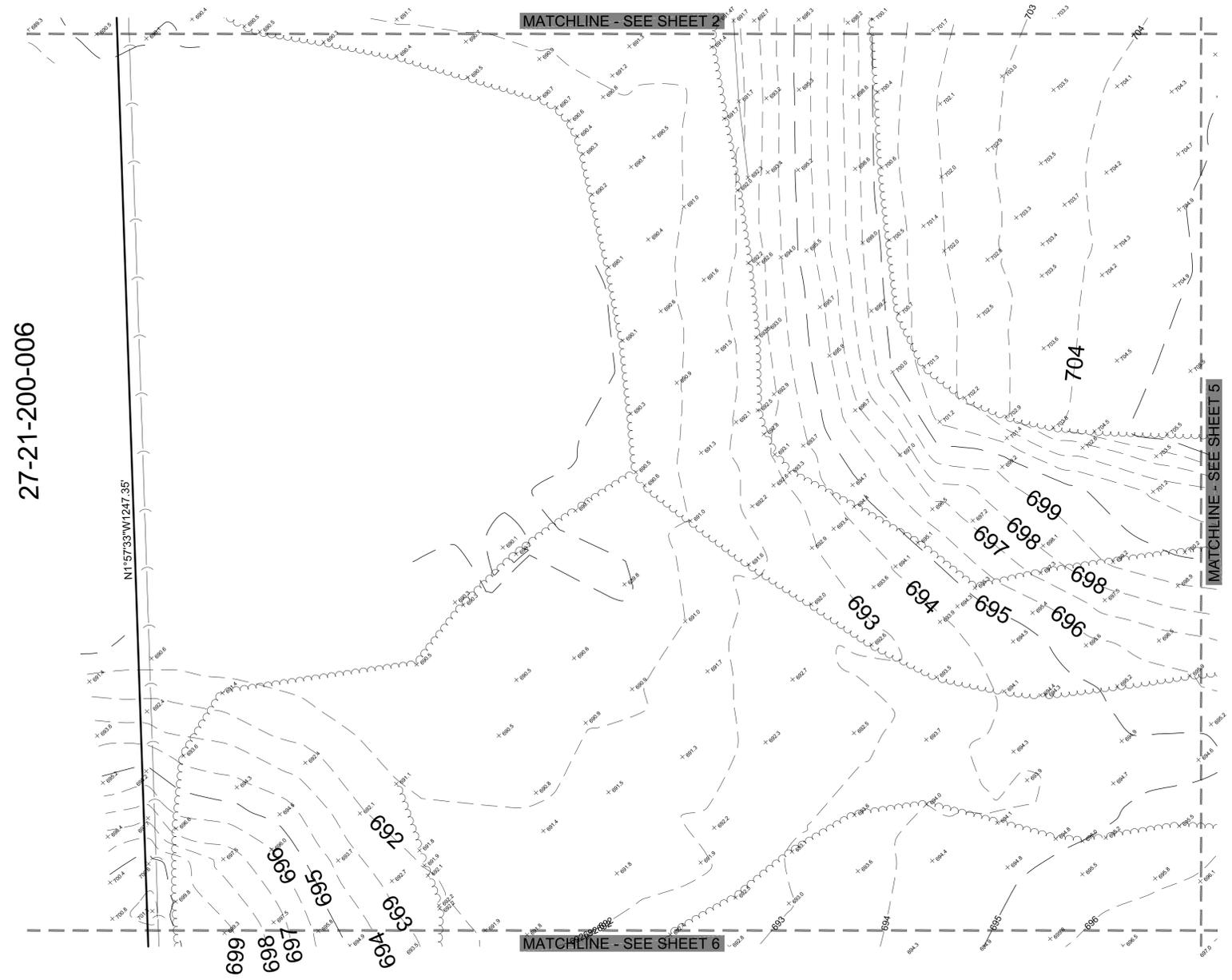
TOPOGRAPHIC SURVEY
OF
15901 92ND AVENUE & 9600 159TH STREET
ORLAND PARK, ILLINOIS



BASIS OF BEARINGS
All bearings shown are based on grid north of the Illinois Coordinate System of 1983, East Zone (1201), North American Datum of 1983.



LEGEND			
○	UTILITY POLE W/ LIGHT	⊗	WATER VALVE
⊕	UTILITY POLE W/ TRANSFORMER	⊕	FIRE HYDRANT
○	UTILITY POLE	⊕	SIGN POST
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⊕	STORM MANHOLE	⊕	STORM CULVERT
⊕	FLARED END SECTION	⊕	SANITARY CLEAN-OUT
⊕	TRAFFIC SIGNAL	⊕	TELEPHONE MANHOLE
⊕	TRAFFIC MANHOLE	⊕	TELEPHONE TRANSFORMER
⊕	STORM INLET	⊕	SANITARY MANHOLE



No.	DATE	REVISION DESCRIPTION

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4201 Winfield Road
Warrenville, Illinois 60555
Tel. No. (630) 487-5550
www.kimley-horn.com

DESIGN FIRM # 184002012-0006

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1"=40'	JL	MGJ	06/05/2025	149621089	4 OF 7

No.	REVISIONS	DATE	BY

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LICENSED PROFESSIONAL	THOMAS J. SZFRANSKI
KHA PROJECT # 149621089	ILLINOIS LICENSE NUMBER 062.070698
DATE 12/22/2025	DESIGNED BY ###
DRAWN BY ###	DATE OF EXPIRATION: 11/30/27
CHECKED BY ###	DATE: 12/22/2025

ALTA SURVEY

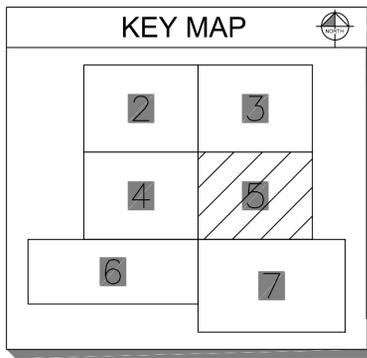
159TH & LAGRANGE
RETAIL
ILLINOIS
VILLAGE OF ORLAND PARK

SHEET NUMBER
S1.3

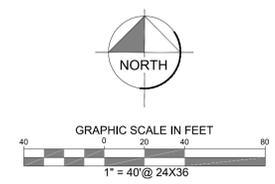
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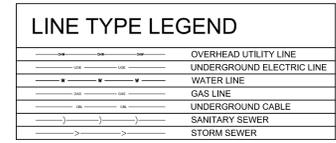
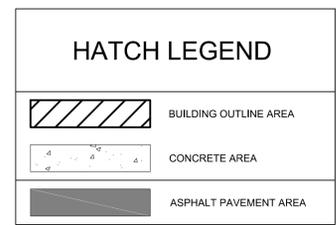
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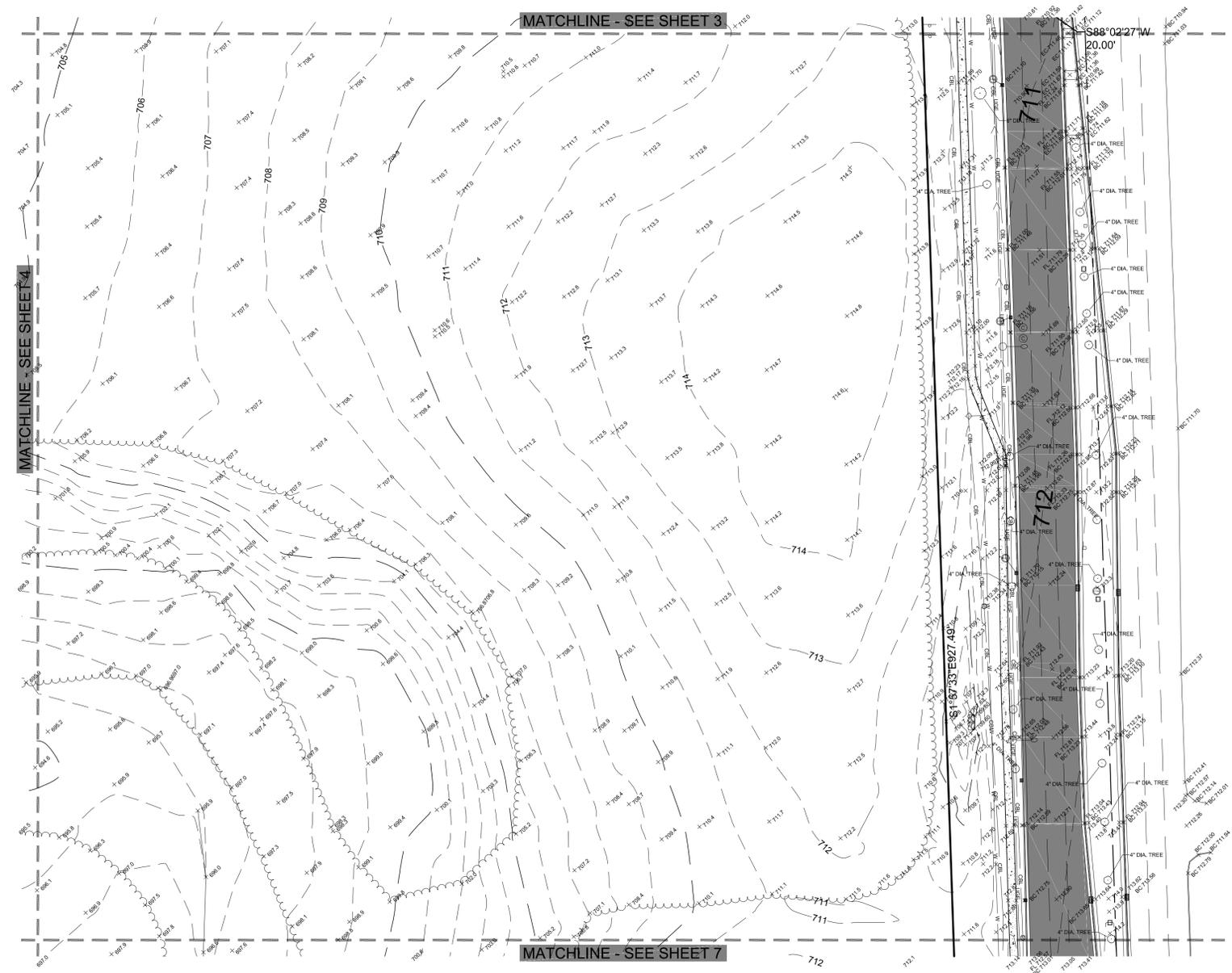
**TOPOGRAPHIC SURVEY
OF
15901 92ND AVENUE & 9600 159TH STREET
ORLAND PARK, ILLINOIS**



BASIS OF BEARINGS
All bearings shown are based on grid north of the Illinois Coordinate System of 1983, East Zone (1201), North American Datum of 1983.



LEGEND			
⊕	UTILITY POLE W/ LIGHT	⊕	WATER VALVE
⊕	UTILITY POLE W/ TRANSFORMER	⊕	FIRE HYDRANT
⊕	UTILITY POLE	⊕	SIGN POST
⊕	GUY WIRE ANCHOR	⊕	MARQUEE SIGN
⊕	FIBEROPTIC HAND HOLE	⊕	TREE (DECIDUOUS)
⊕	ELEC. METER	⊕	SURVEY BENCHMARK
⊕	GAS METER	⊕	WATER VALVE VAULT
⊕	STORM MANHOLE	⊕	STORM CULVERT
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No.	DATE	REVISION DESCRIPTION	Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
			1"=40'	JL	MGJ	06/05/2025	149621089	5 OF 7

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KHA PROJECT	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
149621089	12/22/2025	THOMAS J. SZFRANSKI	THOMAS J. SZFRANSKI	THOMAS J. SZFRANSKI

ALTA SURVEY

**159TH & LAGRANGE
RETAIL**

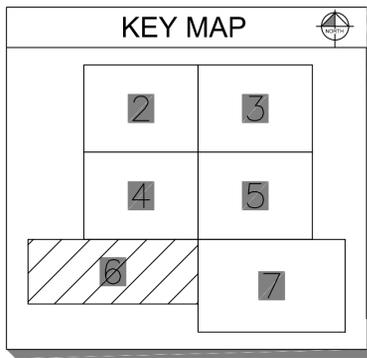
VILLAGE OF ORLAND PARK
ILLINOIS

SHEET NUMBER
S1.4

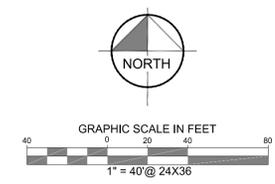
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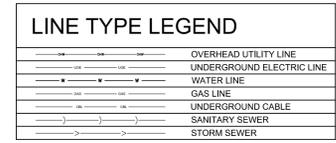
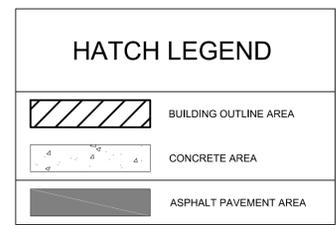
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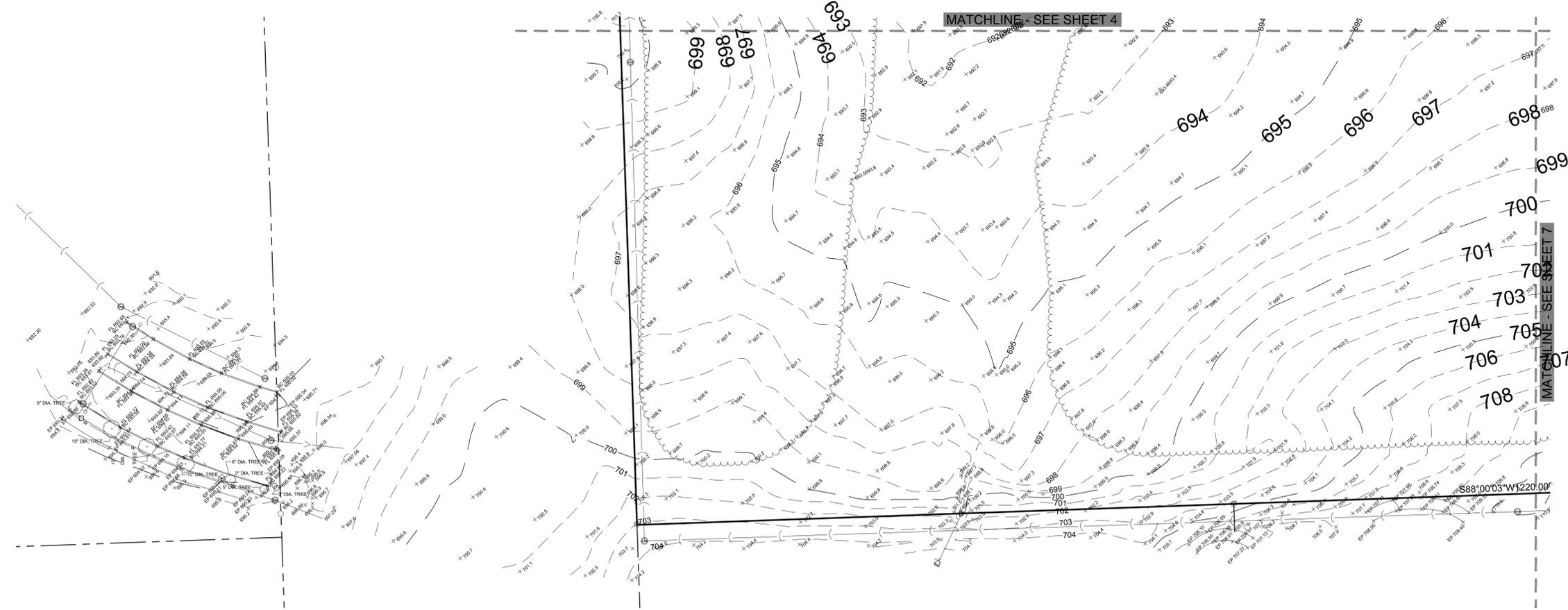
**TOPOGRAPHIC SURVEY
OF
15901 92ND AVENUE & 9600 159TH STREET
ORLAND PARK, ILLINOIS**



BASIS OF BEARINGS
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LEGEND			
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		Scale 1"=40'	Drawn by JI	Checked by MGJ	Date 06/05/2025

No.	REVISIONS	DATE	BY

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KHA PROJECT 149621089	LICENSED PROFESSIONAL
DATE 12/22/2025	THOMAS J. SZFRANSKI ILLINOIS LICENSE NUMBER 062.070698
SCALE AS SHOWN	DESIGNED BY
DRAWN BY	CHECKED BY
DATE OF EXPIRATION: 11/30/27	DATE: 12/22/2025

ALTA SURVEY

159TH & LAGRANGE
RETAIL

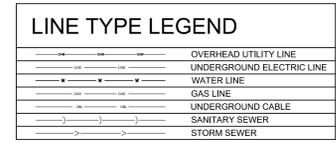
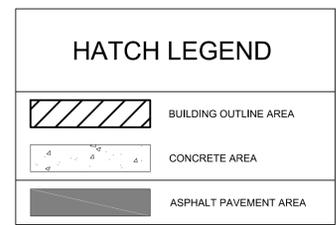
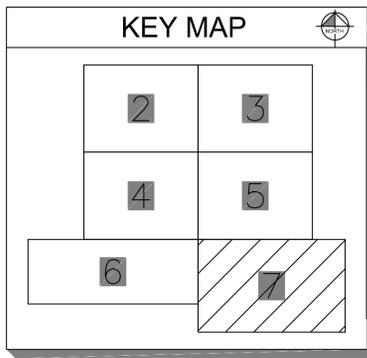
S1.5

VILLAGE OF ORLAND PARK ILLINOIS

NOT FOR CONSTRUCTION

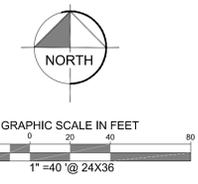
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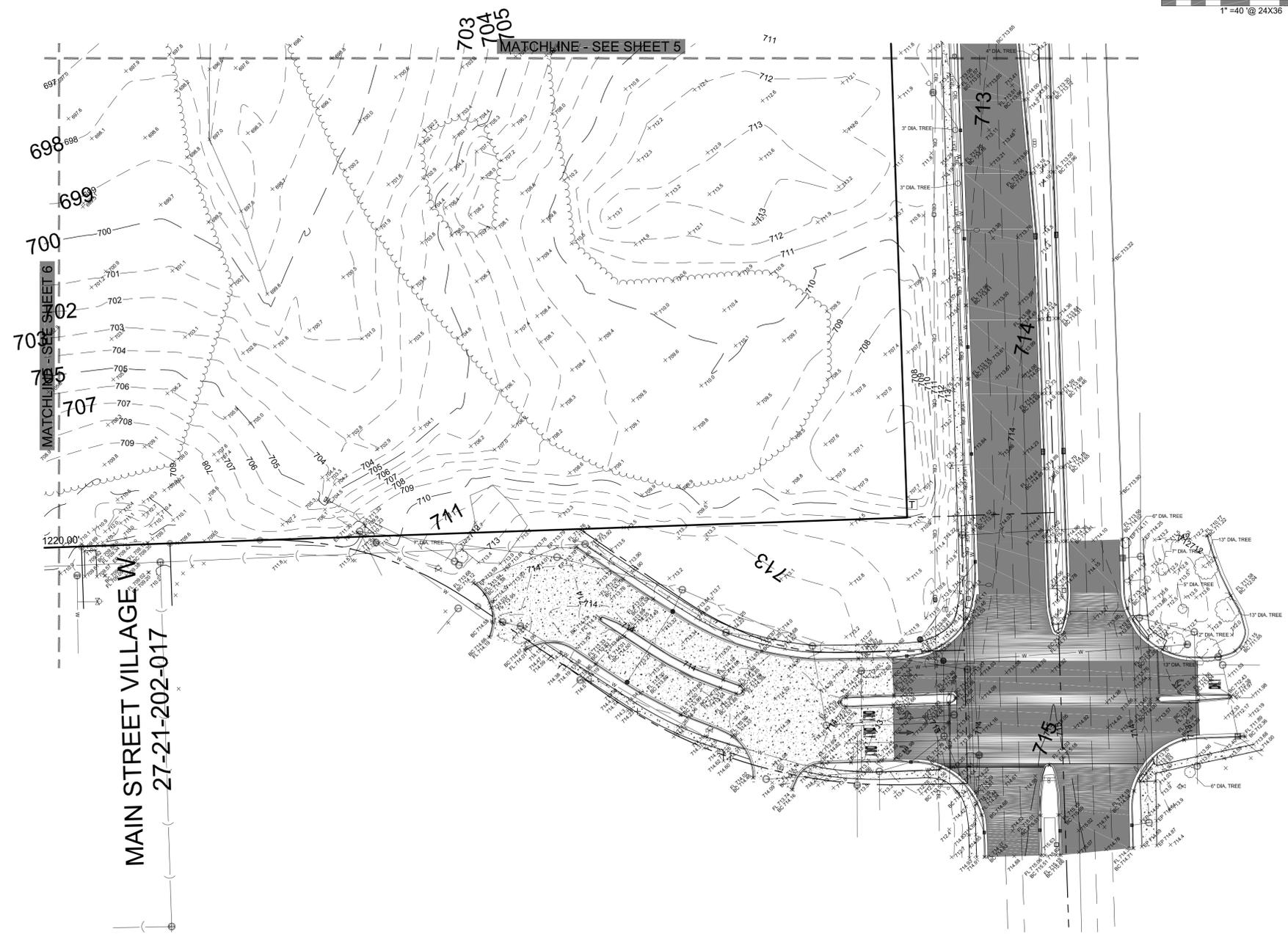


LEGEND	
UTILITY POLE W/ LIGHT	WATER VALVE
UTILITY POLE W/ TRANSFORMER	FIRE HYDRANT
UTILITY POLE	SIGN POST
GUY WIRE ANCHOR	MARQUEE SIGN
FIBEROPTIC HAND HOLE	TREE (DECIDUOUS)
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STORM MANHOLE	STORM CULVERT
FLARED END SECTION	SANITARY CLEAN-OUT
TRAFFIC SIGNAL	TELEPHONE MANHOLE
TRAFFIC MANHOLE	TELEPHONE TRANSFORMER
STORM INLET	SANITARY MANHOLE

TOPOGRAPHIC SURVEY OF 15901 92ND AVENUE & 9600 159TH STREET ORLAND PARK, ILLINOIS



BASIS OF BEARINGS
All bearings shown are based on grid north of the Illinois Coordinate System of 1983, East Zone (1201), North American Datum of 1983.



No.	DATE	REVISION DESCRIPTION

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Scale 1"=40'	Drawn by JI	Checked by MGJ	Date 06/05/2025	Project No. 149621089	Sheet No. 7 OF 7
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No.	REVISIONS	DATE	BY

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LICENSED PROFESSIONAL	THOMAS J. SZAFRANSKI
KHA PROJECT 149621089	ILLINOIS LICENSE NUMBER 062.070698
DATE 12/22/2025	DATE OF EXPIRATION 11/30/27
SCALE AS SHOWN ###	DRAWN BY ###
CHECKED BY ###	DATE 12/22/2025

ALTA SURVEY

**159TH & LAGRANGE
RETAIL**
VILLAGE OF ORLAND PARK
ILLINOIS
SHEET NUMBER
S1.6

GENERAL NOTES

- EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:
 - KIMLEY-HORN AND ASSOCIATES, INC.
3541 WINFIELD DRIVE, SUITE 600
WARRENVILLE, IL 60555
TEL: (312) 481-7330
- COPIES OF THE SURVEY ARE AVAILABLE FROM THE ENGINEER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
- COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS DEEMED NECESSARY BY THE CONTRACTOR IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONTROL THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
- THE CONTRACTOR SHALL PHOTOGRAPH THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATION WHICH ARE HEREBY MADE A PART HEREOF:
 - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY IDOT, LATEST EDITION.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" AS PUBLISHED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA), LATEST EDITION.
 - "ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA), LATEST EDITION.
 - REGULATIONS, STANDARDS AND GENERAL REQUIREMENTS SET FORTH BY THE MUNICIPALITY, UNLESS OTHERWISE NOTED ON THE PLANS.
 - THE NATIONAL ELECTRIC CODE.
 - ALL APPLICABLE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
 - STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND REQUIRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NOT LISTED OR SPECIFIED IN THE CONTRACT DOCUMENTS MAY NOT BE SPECIALLY NOTED, BUT ARE CONSIDERED A PART OF THE CONTRACTOR'S CONTRACT.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS, ARE INCLUDED IN THE CONTRACT. ANY ITEM NOT SPECIALLY INCLUDED IN THE CONTRACT, BUT SHOWN ON THE PLANS, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY WITH THE PLANS AND QUANTITIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT THEM TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION. THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER TO HAVE PROCEEDED AT THE CONTRACTOR'S OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION AS TO THE TRUE INTENT OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
 - THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREES TO HOLD HARMLESS KIMLEY-HORN AND ASSOCIATES, INC. THE MUNICIPALITY, THEIR ENGINEERS AND AGENTS AND THE OWNER FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN.
 - THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
 - CONSTRUCTION MATERIALS AND/OR EQUIPMENT MAY NOT BE STORED IN THE RIGHT-OF-WAY, AS DIRECTED BY THE OWNER.
 - EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHT-OF-WAYS ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THESE UTILITIES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
 - OWNER SHALL OBTAIN EASEMENTS AND APPROVAL OF PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS AND EASEMENTS.
 - THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE SURVEYOR AT THE CONTRACTOR'S EXPENSE.
 - NOTIFICATION OF COMMENCING CONSTRUCTION:
 - THE CONTRACTOR SHALL NOTIFY AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY ALL TESTING AGENCIES, THE MUNICIPALITY, AND THE OWNER SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.
 - FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN THE TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING WILL CAUSE THE CONTRACTOR TO SUSPEND THE OPERATION TO BE TESTED UNTIL THE TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK SHALL BE BORNE BY THE CONTRACTOR.
 - ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL EMERGENCY TRAFFIC, AS DIRECTED BY THE MUNICIPALITY.
 - ANY EXISTING SIGNS, LIGHT STANDARDS, AND UTILITY POLES THAT INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED ON THE PLANS FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE, AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
 - ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND SHALL BE PROTECTED PER IDOT SECTION 201.05, THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES NOTED TO BE REMOVED SHALL BE PROTECTED FROM DAMAGE TO TRUNK BRANCHES AND ROOTS, NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
 - LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT, FORESTER OR ARBORIST AND SHALL UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE DISPOSED OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. ALL CUTS OVER ONE (1) INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
 - ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
 - ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.
 - REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS REQUIRED FOR SUCH DISPOSAL.
 - THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
 - NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY/IDOT. APPROVAL MUST BE OBTAINED FROM THE MUNICIPALITY/IDOT PRIOR TO INSTALLING PAVEMENT BASE, BINDER, AND SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET, AS NECESSARY.
 - WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND PIPE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THE CONTRACTOR'S WORK SHALL NOT BE PAID FOR UNLESS IT IS IDENTIFIED INTO THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAID IN FULL FOR THE REMOVAL AND REPAIR OF EXISTING STRUCTURES AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. NO EXTRA PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL J.U.I.L.I.E. (1-800-892-0123) AND THE MUNICIPALITY FOR UTILITY LOCATIONS.
 - THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, GAS, AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTING AND SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR AGREEMENT WITH THE OWNER. ANY CONFLICTS OF THE STANDARDS OR SPECIFICATIONS OF THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
 - ANY FIELD TIES ENCOUNTERED SHALL BE INSPECTED BY THE ENGINEER. THE DRAIN TIE SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AND A RECORD TO BE KEPT BY THE CONTRACTOR OF THE LOCATIONS AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
 - ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND

- B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THE CONTRACTOR'S ADJUSTMENT IS TO BE MADE BY THE OWNER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT.
- HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON TO THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO THE TRENCH OR THE STREET SYSTEM, IF AVAILABLE. DAMAGE TO THE ROAD SUBGRADE OR LOT LEADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM GRADS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR. HYDRANT FLUSHING OR USING THE WATER DISTRIBUTION SYSTEM EXPENSE, LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE WATER MAIN CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE SEWERS AND WATERMAIN WITHIN TWO (2) FEET HORIZONTAL OF PROPOSED OR EXISTING PAVEMENT. TRENCH BACKFILL TO MEET THE REQUIREMENTS OF ARTICLE 208.02 OF THE IDOT STANDARD SPECIFICATIONS.
- SOFT, SPONGY, OR OTHER UNSUITABLE SOILS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSP ARE ENCOUNTERED AT THE BOTTOM OF THE TRENCH, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH WELL-SORTED SAND OR SAND AND GRAVEL. IF UNSUITABLE SOILS ARE ENCOUNTERED, IT SHALL BE REMOVED TO AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE TO ALLOW PROPER THICKNESS OF BEDDING. ANY UNDERCUTS OF TWO (2) FEET OR LESS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. DEPTHS GREATER THAN TWO (2) FEET SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PROCEEDING.
- TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH MEASURES AS INDICATED ON THE TRENCH AND INLET PLANS FOR THE SITE Dewatering, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR Dewatering DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE ENGINEER.
- AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE PROPER INLET PROTECTION EROSION CONTROL AT LOCATIONS INDICATED BY THE ENGINEER. THE PURPOSE OF THE INLET PROTECTION WILL BE TO MINIMIZE THE AMOUNT OF SILTATION THAT NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
- AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
- EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH IEPA REGULATIONS AND IDOT STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS, ACCEPTABLE TO THE ENGINEER, HAS DEVELOPED.
- THE CONTRACTOR SHALL CONFORM TO ALL EROSION CONTROL REQUIREMENTS AS SET FORTH BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY THROUGH THE NECESSARY PERMITS AND REGULATORY AGENCIES. REQUIREMENTS AND GOVERNING MUNICIPALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THE TRENCH AND INLET PLANS. SPECIFICATIONS AS WELL AS THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP AND SUBMITTING TO THE MUNICIPALITY FOR REVIEW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL SWPPP DOCUMENTATION CURRENT AND READILY AVAILABLE ON THE PROJECT SITE AT ALL TIMES FOR REVIEW BY THE OWNER, ENGINEER, AND REGULATORY AGENCIES. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR OR ANY VIOLATIONS RESULTING FROM INADEQUATE EROSION CONTROL PROTECTION AND/OR DOCUMENTATION.
- PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES. IT MAY BE NECESSARY TO KEEP A SWEEPER ON-SITE AT ALL TIMES.
- ALL DISTURBED AREAS WITHIN THE IDOT RIGHT-OF-WAY SHALL BE FULLY RESTORED TO PRE-CONSTRUCTION CONDITIONS WITH A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, AND SOD PER CDD07 STANDARDS.
- ALL PROPOSED GRASSES SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS NOTED OTHERWISE.
- ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. IF REQUESTED BY THE MUNICIPALITY OR ENGINEER, COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL.
- PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRASSES. AVOID RIDGES AND DEPRESSIONS.
- WHEN REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED. RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF POT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER.
- BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE MUNICIPALITY, AS NECESSARY.

EARTHWORK NOTES

- GENERAL
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.
 - ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND BE KNOWLEDGEABLE OF ALL SITE CONDITIONS.
 - THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT, STRUCTURE, ETC., MUST BE ACCOUNTED FOR.
 - THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR OTHER DAMAGES. ALL TESTING AGENTS AND THE OWNER FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES SHALL BE THE PLACEMENT OF SILT AND FENCE FENCINGS, TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC., SHALL OCCUR BEFORE GRADING BEGINS.
 - PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND ANY TRAIL DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE. THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LINE. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
 - EXISTING SUBSURFACE CONDITIONS WERE OBTAINED FROM A GEOTECHNICAL PREPARED BY:
 - TESTING SERVICE CORPORATION
457 EAST GUNDERSEN DRIVE
CAROL STREAM, IL 60818
TEL: (630) 462-2660
- TOPSOIL EXCAVATION INCLUDES:
 - EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
 - PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.
 - TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.
 - TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING SIX (6) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.
 - MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.
- EARTH EXCAVATION INCLUDES:
 - EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "RELEASE" DURING THE FINISH GRADING OPERATION.
 - PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.
 - STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.
 - COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED BUILDING PAD AREAS.
 - UNUSITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE OWNER.
- MISCELLANEOUS. THE CONTRACTOR SHALL:
 - SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
 - SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUBGRADE SUBGRADE MATERIAL IN ALL AREAS THAT ARE NOT SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
 - PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
 - BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.
 - TESTING AND FINAL ACCEPTANCE
 - THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE COURSE MATERIAL. THIS SHALL BE WITNESSED BY THE ENGINEER AND THE OWNER (SEE PAVING SPECIFICATIONS).
 - ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.

PAVING NOTES

- GENERAL
 - PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF SUBBASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.
 - COMPACTION REQUIREMENTS [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)] SUBGRADE = 93% SUBBASE = 93% AGGREGATE BASE COURSE = 95% BITUMINOUS COURSE = 95% OF MAXIMUM DENSITY, PER ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT) HIGHWAY STANDARDS.
 - IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES AND TRAFFIC CONTROL DEVICES TO MAINTAIN THE SAFETY OF THE PUBLIC. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND IN ACCORDANCE WITH THE MUNICIPALITY CODE.
- SUBGRADE PREPARATION
 - EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.01 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL CONFIRM THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISHED TOP SUBGRADE ELEVATION HAS BEEN GRATED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO FINISH GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT THE CONTRACTOR HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.
 - PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF-ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE ENGINEER:
 - SCARIFY, DISC, AND AERATE.
 - REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.
 - REMOVE AND REPLACE WITH GRANULAR MATERIAL.
 - USE OF GEOTEXTILE FABRIC.
 MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE ONE-QUARTER (1/4) INCH TO ONE-HALF (1/2) INCH IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.
 - PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE-GRADED TO WITHIN 0.04 FEET (1/2 INCH) OF FINAL SUBGRADE ELEVATION. TO A POINT TWO (2) FEET BEYOND THE BACK OF THE CURB, SO AS TO ENSURE ENVIRONMENTAL PROTECTION FROM FUGITIVE DUSTS AND EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
 - PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE SHALL BE APPROVED BY THE TESTING ENGINEER.
- CONCRETE WORK
 - ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) INCHES THICK. A MINIMUM OF 1 1/2-INCH PRE-CASTERED FIBER EXPANSION JOINTS AT 20-FOOT INTERVALS AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, AND OTHER STRUCTURES.
 - CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT MATERIALS SPECIFICATIONS TO DETERMINE THE GUTTER FLAT THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PRE-MOLDED FIBER EXPANSION JOINTS, WITH ASPHALT OR EPOXY-GLAZED STEEL DOOR BARS, SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES.
 - CURBS SHALL BE DEPRESSED AND MEET THE SLOPE REQUIREMENTS OF THE ILLINOIS ACCESSIBILITY CODE AT LOCATIONS WHERE PUBLIC WALKS INTERSECT CURB LINES AND OTHER LOCATIONS, AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY.
 - THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.
 - CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS, SEQUENCES OR PROCEDURES, TIME PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
 - WHEN REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED. RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF POT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER.
 - BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE MUNICIPALITY, AS NECESSARY.
- FLEXIBLE PAVEMENT
 - THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, AND DRIVE AISLES SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B BITUMINOUS CONCRETE BINDER COURSE (19 IN. NSO), AND BITUMINOUS CONCRETE SURFACE COURSE, MIX NSO, OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.
 - ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE IDOT APPROVED AND THAT PAVEMENT, STRUCTURE, ETC., MUST BE ACCOUNTED FOR.
 - PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED AND TACK-COATED DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER COURSE OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND STAFF NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.5 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS PER IDOT STANDARDS.
 - SEAMS IN BANI, BINDER, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES.
 - TESTING AND FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE MATERIALS/TESTING ENGINEER.
- PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE MUNICIPALITY, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE SAMPLE. THE SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND MUNICIPALITY PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL WATERMAIN PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

PIPE SIZE	CODE	PIPE MATERIAL
12"-60"	RCP	REINFORCED CONCRETE PIPE (ASTM C76); SEE IDOT SPECS FOR PIPE CLASS
3"-12"	PVC	POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241)
3"-48"	HDP	HIGH DENSITY POLYETHYLENE PIPE
3"-48"	DIP	DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)
- AND-SEAL OR SIMILAR COUPLING SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS.
- ALL FOOTING DRAIN DISCHARGE PIPES AND DOWN SPOUTS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
- CONSTRUCTION: ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.
- COVER: THE CONTRACTOR SHALL MAINTAIN AT LEAST TWO (2) FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES THAT HAVE LESS THAN TWO (2) FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED.
- STRUCTURES: MANHOLE, CATON BASIN, AND INLET BODYS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM OF FOUR (4) FEET IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH "O" RING OR BUTYL ROPE. A MAXIMUM OF TWELVE (12) INCHES OF ADJUSTING RINGS SHALL BE USED.
- A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.
- THE FRAME, GATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.
- CLEANING: THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.
- THE STORM SEWER SHALL BE TELEVIEWED IF REQUIRED BY THE MUNICIPALITY.
- MANHOLES, CATCH BASINS, INLETS, FRAMES, GRATES, AND OTHER STRUCTURES SHALL BE CONSTRUCTED OF THE TYPE, STYLE, AND SIZE AS SET FORTH WITH THE ORDINANCES AND STANDARDS OF THE MUNICIPALITY.
- ALL PVC PIPES CONNECTED TO REINFORCED CONCRETE PIPE SHALL BE CORED AND BOOTED PER THE MUNICIPALITY REQUIREMENTS.

SIGNAGE AND PAVEMENT MARKING NOTES

- ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT) STANDARDS.
- SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.800-INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE. LEGEND SHALL BE IN ACCORDANCE WITH THE MUTCD.
- POSTS: SIGN POSTS SHALL BE A HEAVY-DUTY STEEL "U" SHAPED CHANNEL WEIGHING 30 POUNDS/FOOT, SUCH AS A TYPE B METAL POST, AS PER THE IDOT STANDARDS (OR 2-INCH PERFORATED STEEL TUBE).
- SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH IDOT STANDARDS.
- PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC ON ASPHALT AND EPOXY ON CONCRETE OR AS APPROVED BY IDOT.
- PAVEMENT MARKINGS ON BICYCLE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW-WEAR" APPLICATIONS, SHALL BE PAINTED IN ACCORDANCE WITH IDOT STANDARDS.
- COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND LOCAL CODE. STANDARD PARKING SPACES SHALL BE PAINTED WHITE OR YELLOW PER LOCAL CODE.
- THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES FAHRENHEIT AND RISING. PAINT MARKINGS WILL BE INSTALLED WHEN THE AIR TEMPERATURE IS 20 DEGREES FAHRENHEIT AND RISING.

SANITARY SEWER NOTES

- SANITARY SEWER PIPE: ALL SANITARY SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE (PVC SDR-26), CONFORMING TO ASTM D3034 AND D2241 WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM D339 AND D3212. ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND MUNICIPALITY PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL SANITARY SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

PIPE SIZE	CODE	PIPE MATERIAL
4"-12"	PVC	POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241)
4"-48"	DIP	DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)
- BAND-SEAL OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN CATCH BASINS, MANHOLES, AND TRENCHES), REQUIRES STONE BEDDING WITHIN THE TRENCH. BEDDING THICKNESS DEPENDS ON THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NO LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. AS A MINIMUM, THE MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF ILLINOIS OR ASTM C-33. THE GRADATION SHALL CONFORM TO GRADATION CA-11 OR CA-13 OF THE ILLINOIS STANDARD SPECIFICATIONS AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
- ALL UNSUITABLE MATERIALS SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GRAVEL OR STONE, AS PER IDOT STANDARDS.
- ALL TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PAVEMENTS, ROADWAYS, SIDEWALKS, AND FOR A DISTANCE OF TWO (2) FEET ON EITHER SIDE OF SAME, AND/OR WHERE SHOWN ON THE PLANS, SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL PER IDOT STANDARDS AND THOROUGHLY MECHANICALLY COMPACTED IN 8-INCH THICK (LOOSE MEASUREMENT) LAYERS. SETTING WITH WATER IS NOT PERMITTED.

- ALL SANITARY SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.
- CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE MUNICIPALITY.
- WATERMANS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) REQUIREMENTS, AS SPECIFIED IN THE STANDARDS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS.
- NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE, EXCEPT UNDER SPECIAL CIRCUMSTANCES AND THEN ONLY UNDER THE FOLLOWING RULES:
 - IF NECESSARY PERMISSION SHALL BE OBTAINED FROM THE MUNICIPALITY IN WRITING PRIOR TO BEGINNING CONSTRUCTION.
 - THE BOTTOM OF A WATER LINE SHALL BE INSTALLED ON A SHELVE A MINIMUM OF 18 INCHES ABOVE DEPTH OF THE SEWER AND 18 INCHES HORIZONTALLY AWAY FROM THE EDGE OF THE SEWER.
- ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE. A WATERIGHT BOOT, CONFORMING TO ASTM C-923, SHALL BE USED AT THE PIPE-STRUCTURE CONNECTION.
- PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER-TIGHT SLEEVES. THE BOTTOM OF THE MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS.
- FRAMES AND LIDS: SEE DETAILS FOR ALL SANITARY SEWER MANHOLE FRAMES AND LIDS. THE LIDS SHALL HAVE RECESS (CONCEALED) RING HOLE AND BE SELF-SEALING WITH AN "O" RING GASKET. THE LIDS SHALL HAVE THE WORD "SANITARY" EMBOSSED ON THE SURFACE. THE JOINTS BETWEEN THE FRAME AND CONCRETE SECTION SHALL BE SEALED WITH A BUTYL ROPE.
- A MAXIMUM OF TWELVE (12) INCHES OF CONCRETE-ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. RINGS SHALL BE SEALED TOGETHER WITH BUTYL ROPE.
- CLEANING: ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE.
- TESTING: DEFLECTION, AIR, AND LEAKAGE TESTING WILL BE REQUIRED. THE PROCEDURE AND ALLOWABLE TEST LOADS AND DEFLECTIONS SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS.
- TESTING THE ALIGNMENT/STRAIGHTNESS SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY CODE.
- TELEVIEWING: IF REQUIRED BY THE MUNICIPALITY, ALL SANITARY SEWERS SHALL BE TELEVIEWED, AND A COPY OF THE TAPE AND A WRITTEN REPORT SHALL BE SUBMITTED AND REVIEWED BY THE MUNICIPALITY BEFORE FINAL ACCEPTANCE. THE REPORT SHALL INCLUDE STUB LOCATION AS WELL AS A DESCRIPTION OF ANY SEWER OR DRAIN CROSSINGS. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
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A. REFERENCED SPECIFICATIONS

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
 * STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * VILLAGE OF ORLAND PARK MUNICIPAL CODE;
 * THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;
 * IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

B. NOTIFICATIONS

1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055 OR SEND EMAIL NOTIFICATION WITH PROJECT NAME, LOCATION AND PERMIT NUMBER TO WMOJOBSTART@MWRD.ORG).
2. THE VILLAGE OF ORLAND PARK ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

C. GENERAL NOTES

1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS 0 FT.
2. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
3. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
5. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
6. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
7. MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

D. SANITARY SEWER

1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
2. A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425
REINFORCED CONCRETE SEWER PIPE	ASTM C-76	ASTM C-443
CAST IRON SOIL PIPE	ASTM A-74	ASTM C-564
DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11
POLYVINYL CHLORIDE (PVC) PIPE		
6-INCH TO 15-INCH DIAMETER SDR 26	ASTM D-3034	ASTM D-3212
18-INCH TO 27-INCH DIAMETER F/DY=46	ASTM F-679	ASTM D-3212
HIGH DENSITY POLYETHYLENE (HDPE)		
ASTM D-3350	ASTM D-3261, F-2620 (HEAT FUSION)	
ASTM D-3035	ASTM D-3212, F-477 (GASKETED)	
WATER MAIN QUALITY PVC		
4-INCH TO 36-INCH	ASTM D-2241	ASTM D-3139
4-INCH TO 12-INCH	AWWA C900	ASTM D-3139
14-INCH TO 48-INCH	AWWA C905	ASTM D-3139

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
POLYPROPYLENE (PP) PIPE		
12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	D-3212, F-477
30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	D3212, F-477

8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
9. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
 a) A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB/WYE SADDLE OR HUB/TEE SADDLE.
 b) REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
 c) WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.
18. A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

- E. EROSION AND SEDIMENT CONTROL**
1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
 2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
 3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
 4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
 5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
 b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
 6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
 7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
 8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
 9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
 10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
 11. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
 12. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
 13. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
 14. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
 15. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
 16. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
 17. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
 18. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
 20. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
 21. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
 22. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
 23. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

TECHNICAL GUIDANCE MANUAL
MWRD GENERAL NOTES

10/13/2022
STD. DWG. NO.18
PAGE NO. 19

<p>Kimley»Horn</p> <p>© 2026 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WARRENVILLE, IL 60555 630-487-5550 WWW.KIMLEY-HORN.COM</p>	<p>LICENSED PROFESSIONAL</p> <p>THOMAS J. SZAFRANSKI ILLINOIS LICENSE NUMBER 062.070698</p>	<p>DATE OF EXPIRATION: 11/30/27</p> <p>DATE: 12/22/2025</p>										
	<p>KHA PROJECT 149621089</p> <p>DATE 12/22/2025</p> <p>SCALE AS SHOWN DESIGNED BY XXX</p> <p>DRAWN BY XXX</p> <p>CHECKED BY XXX</p>	<p>REVISIONS</p> <table border="1"> <tr><td>No.</td><td>DATE</td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>	No.	DATE								
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GENERAL NOTES

159TH & LAGRANGE
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12/22/2025



WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

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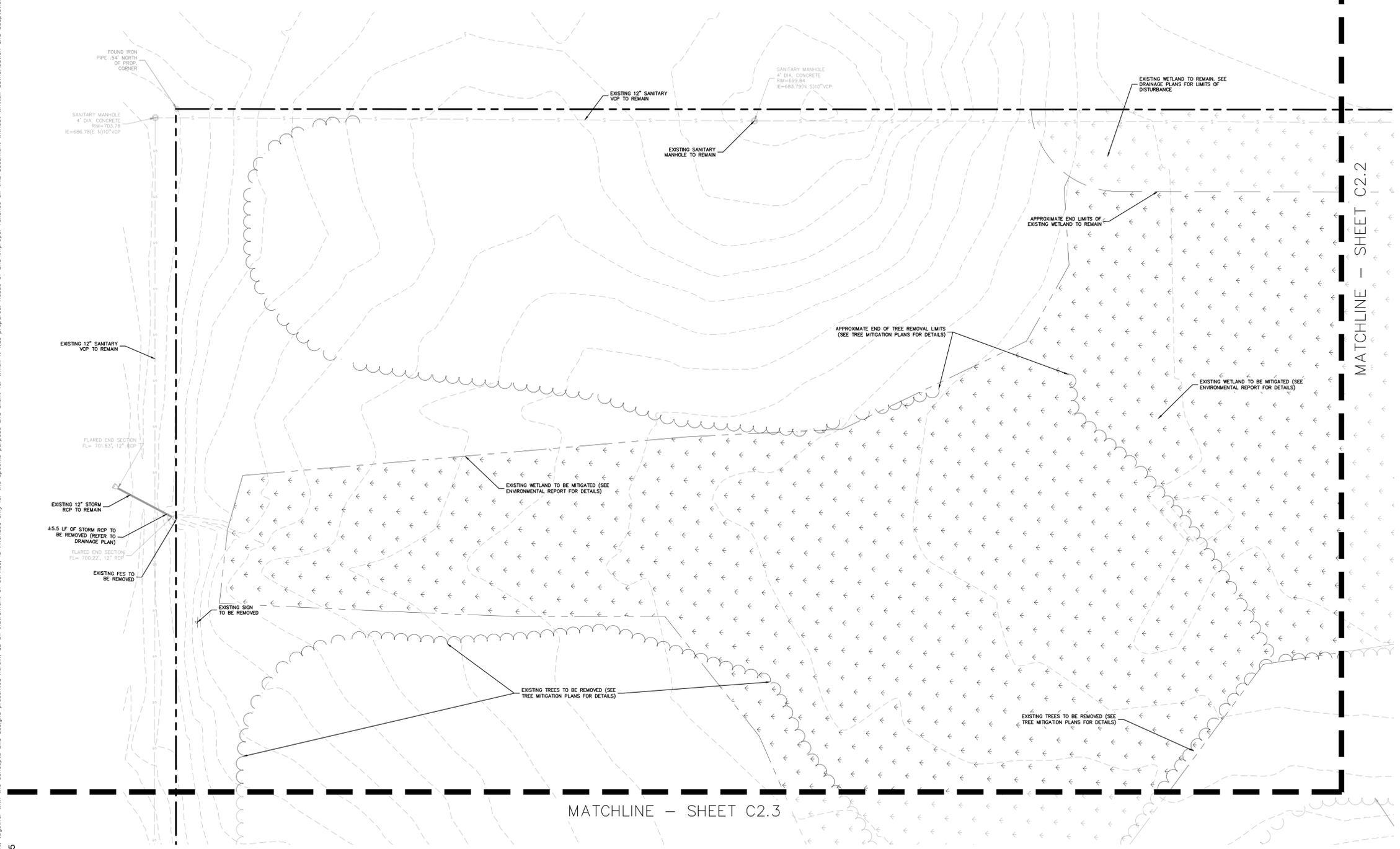
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EXISTING CONDITIONS & DEMOLITION PLAN

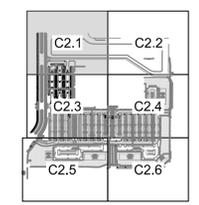
159TH & LAGRANGE RETAIL
 ILLINOIS
 VILLAGE OF ORLAND PARK

SHEET NUMBER
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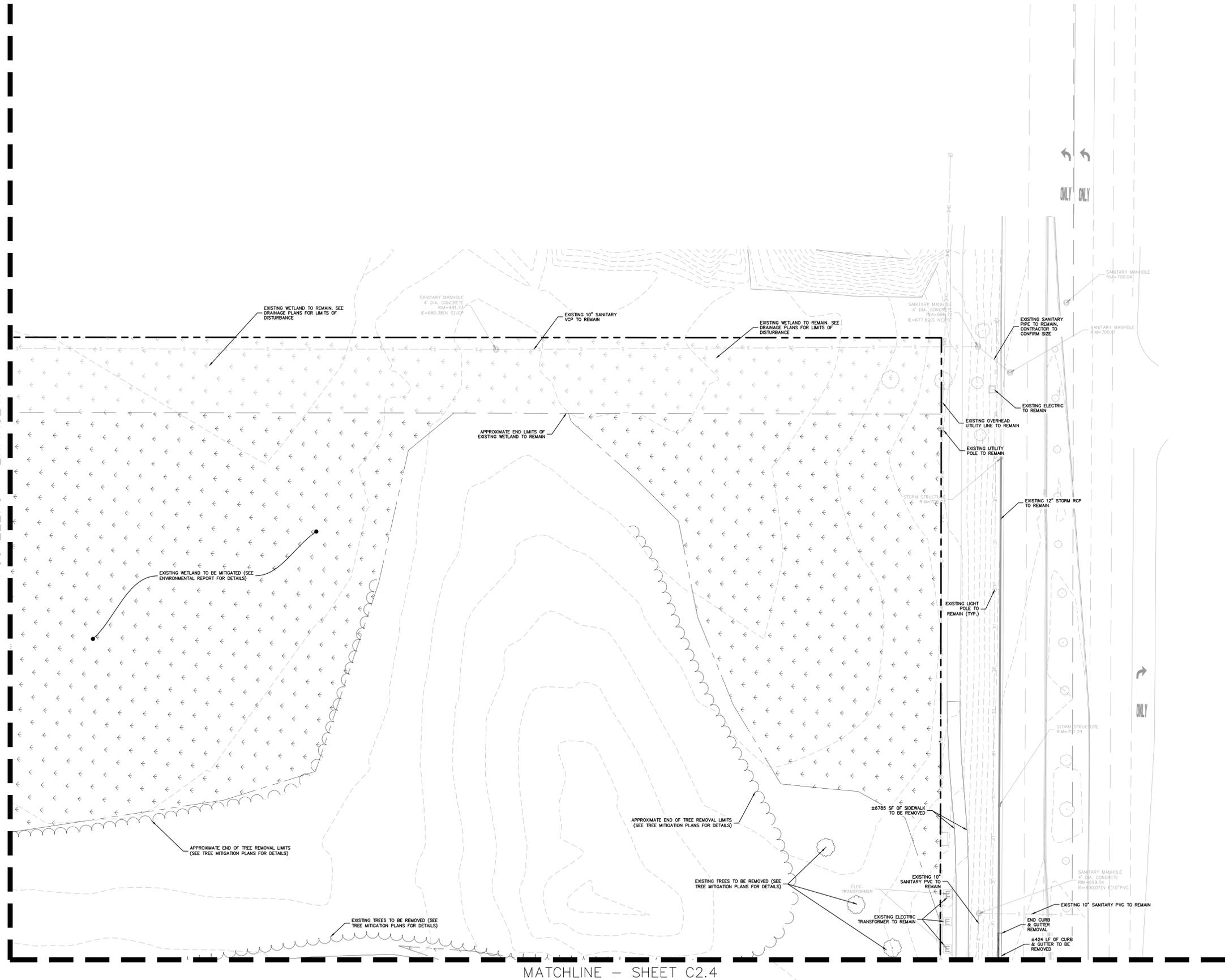
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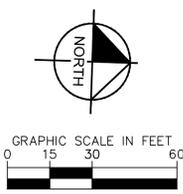


KEY MAP:
1" = 800'

MATCHLINE - SHEET C2.1



MATCHLINE - SHEET C2.4



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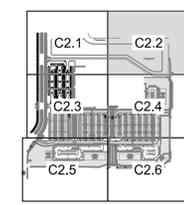
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SCALE AS SHOWN	XXX
DESIGNED BY	XXX
DRAWN BY	XXX
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EXISTING CONDITIONS & DEMOLITION PLAN

159TH & LAGRANGE RETAIL
 VILLAGE OF ORLAND PARK ILLINOIS

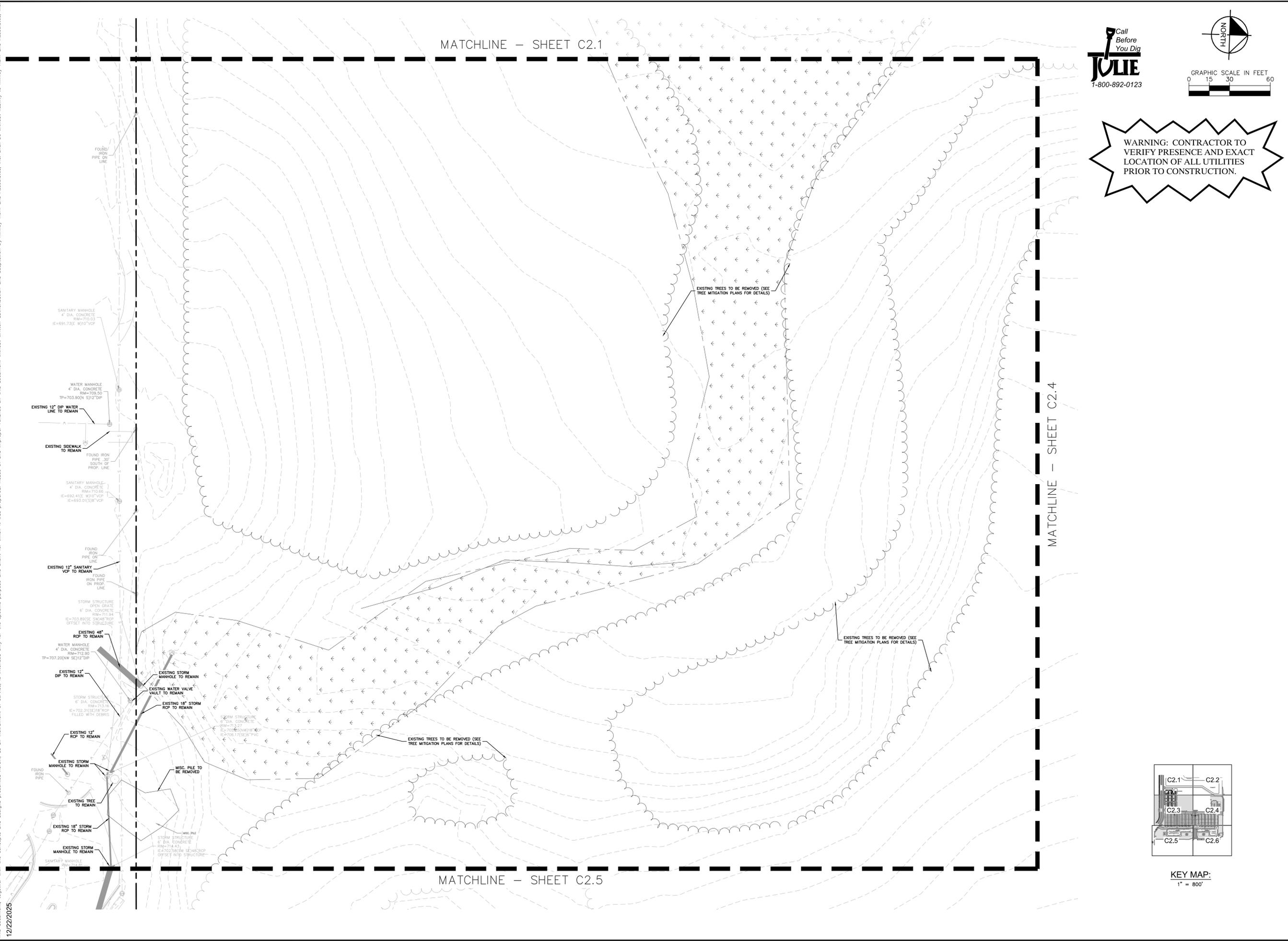
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KEY MAP:
 1" = 800'

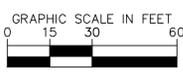
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MATCHLINE - SHEET C2.1

MATCHLINE - SHEET C2.5



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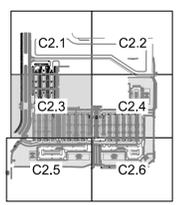
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LICENSED PROFESSIONAL
 THOMAS J. SZAFRANSKI
 ILLINOIS LICENSE NUMBER 062.070698
 DATE OF EXPIRATION: 11/30/27
 KHA PROJECT 149621089
 DATE 12/22/2025
 SCALE AS SHOWN
 DESIGNED BY XXX
 DRAWN BY XXX
 CHECKED BY XXX
 DATE 12/22/2025

EXISTING CONDITIONS & DEMOLITION PLAN

159TH & LAGRANGE RETAIL
 VILLAGE OF ORLAND PARK ILLINOIS
 SHEET NUMBER C2.3



KEY MAP:
1" = 800'

NOT FOR CONSTRUCTION

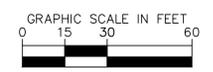
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MATCHLINE - SHEET C2.3

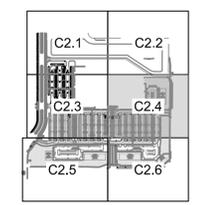
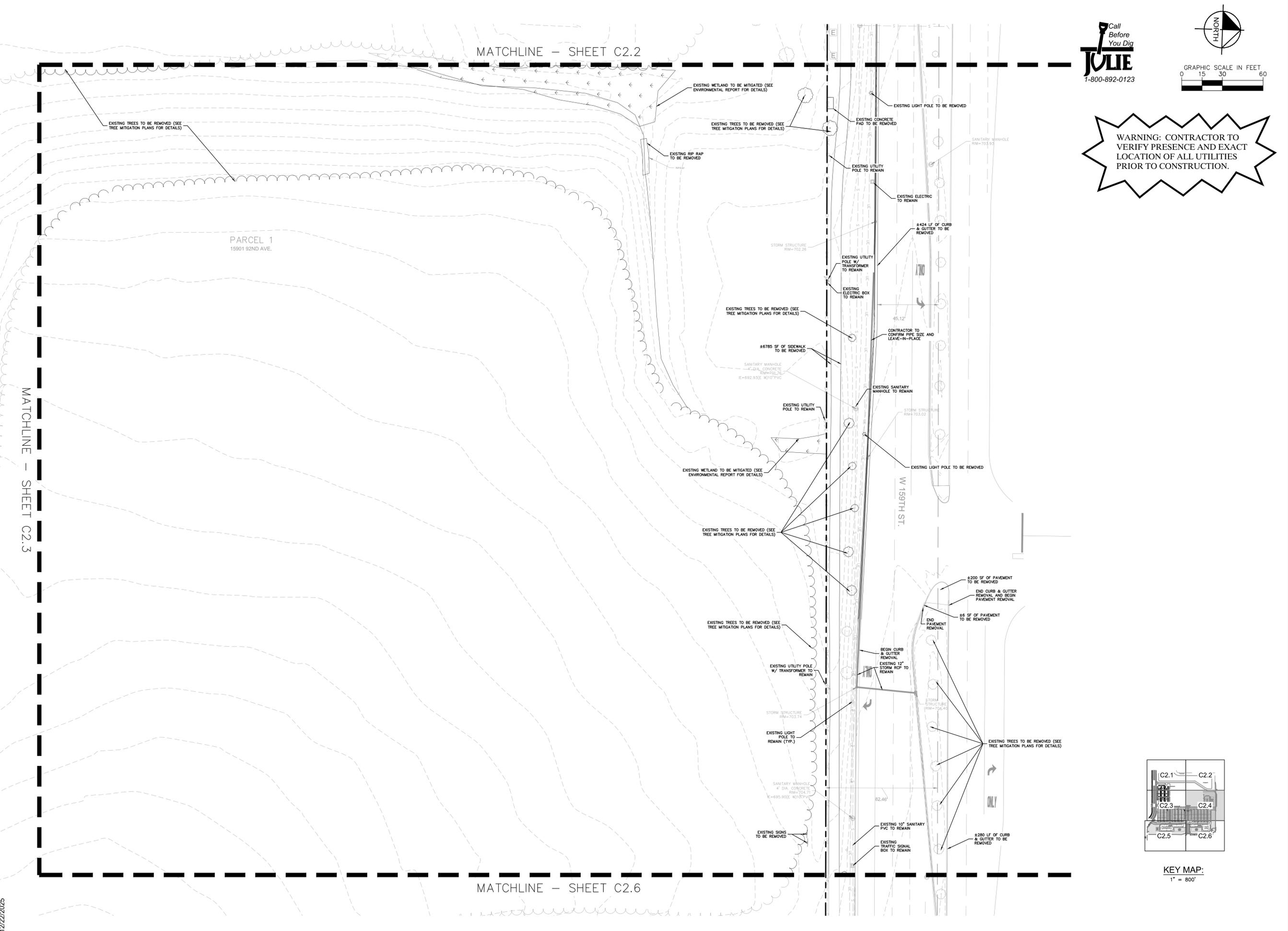
MATCHLINE - SHEET C2.2

MATCHLINE - SHEET C2.6

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WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



KEY MAP:
1" = 80'

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 DATE
 12/22/2025
 SCALE AS SHOWN
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 DRAWN BY XXX
 CHECKED BY XXX

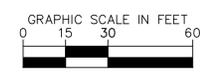
EXISTING CONDITIONS & DEMOLITION PLAN
 ILLINOIS
159TH & LAGRANGE RETAIL
 VILLAGE OF ORLAND PARK

SHEET NUMBER
C2.4

NOT FOR CONSTRUCTION

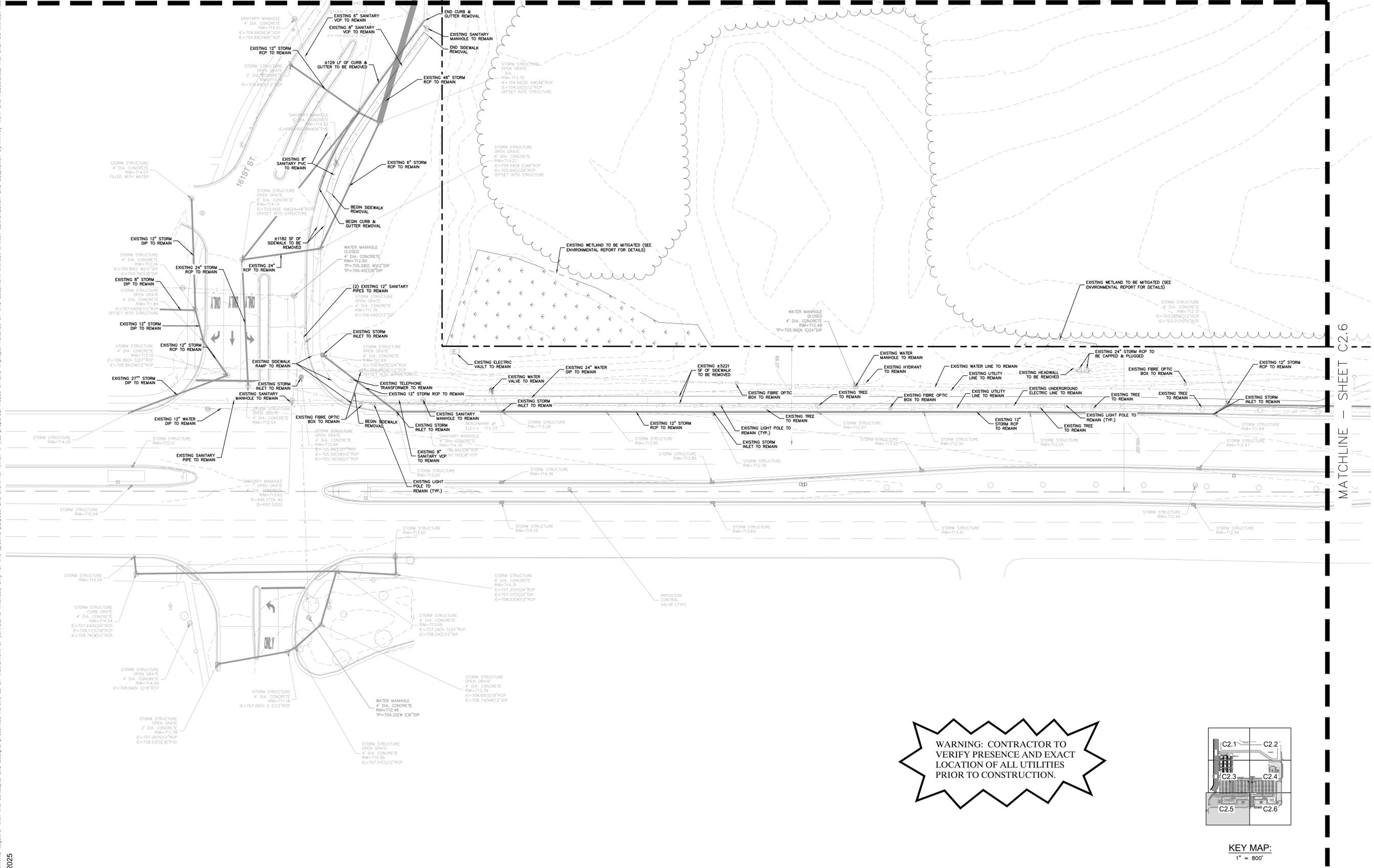
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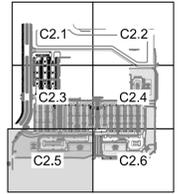


MATCHLINE - SHEET C2.3

MATCHLINE - SHEET C2.6



WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



KEY MAP:
1" = 800'

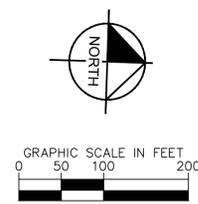
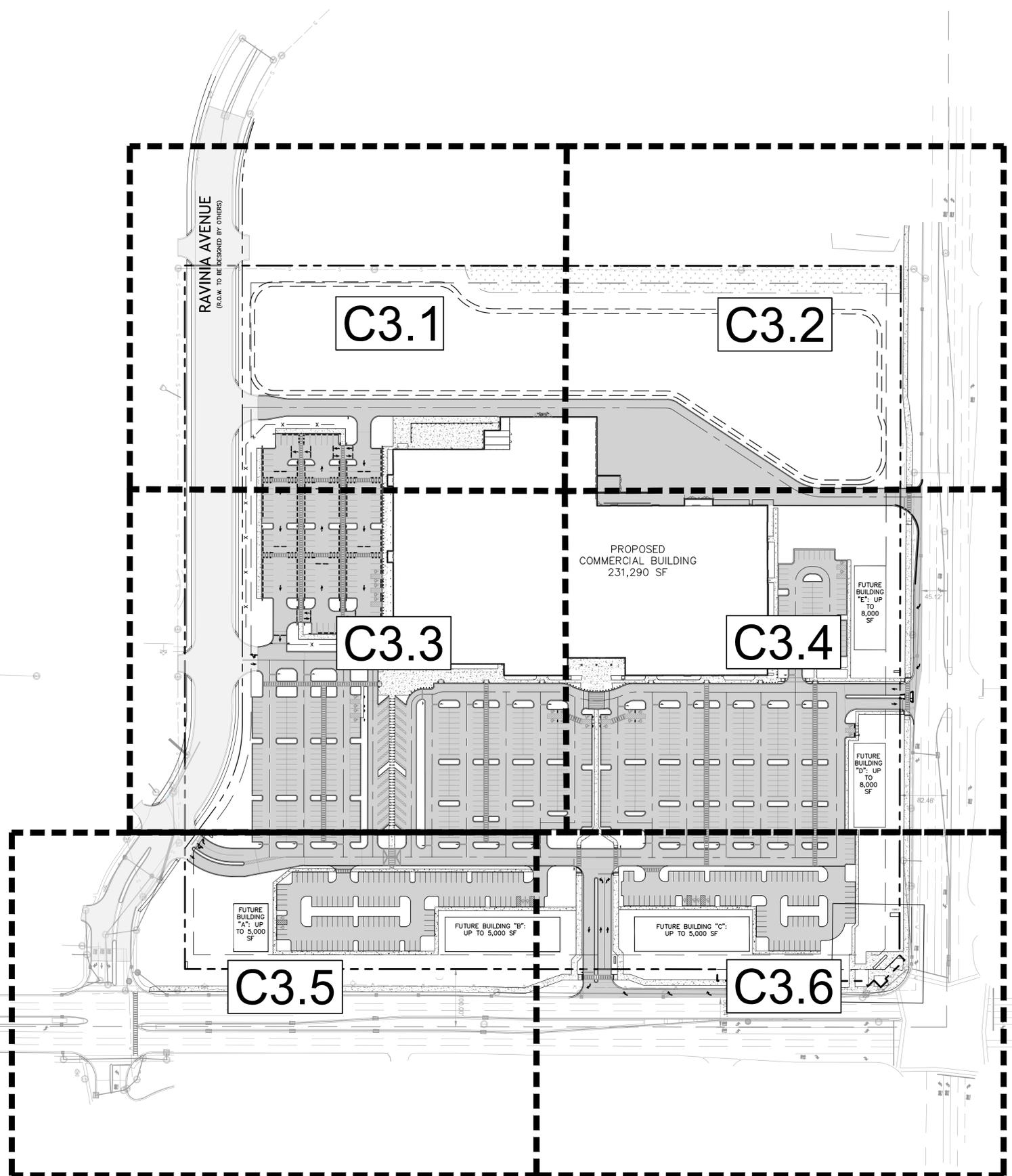
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 SCALE AS SHOWN
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 DRAWN BY XXX
 CHECKED BY XXX
 DATE OF EXPIRATION: 11/30/27
 THOMAS J. SZFRANSKI
 ILLINOIS LICENSE NUMBER 062.070698
 DATE: 12/22/2025

EXISTING CONDITIONS & DEMOLITION PLAN

159TH & LAGRANGE RETAIL
 VILLAGE OF ORLAND PARK
 SHEET NUMBER C2.5



GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

SITE DATA TABLE

SITE INFORMATION			
TOTAL SITE AREA	=	35.05 AC	(1,526,540 SF)
TOTAL DEVELOPMENT AREA	=	34.24 AC	(1,491,367 SF)
IMPERVIOUS AREA	=	21.07 AC	(917,809 SF)
		63%	OF DEVELOPMENT AREA
PERVIOUS AREA	=	10.38 AC	(452,153 SF)
		31%	OF DEVELOPMENT AREA
BIORETENTION AREA	=	3.60 AC	(156,578 SF)
		11%	OF DEVELOPMENT AREA

ZONING		
EXISTING ZONING:		COR MIXED USE DISTRICT
PROPOSED ZONING:		COR MIXED USE DISTRICT
EXISTING LAND USE:		VACANT COMMERCIAL
PROPOSED LAND USE:		COMMERCIAL

BUILDING SETBACKS:		REQUIRED	PROVIDED
LAGRANGE ROAD:		25 FT	507.4 FT
159TH STREET:		25 FT	234.8 FT
RAVINIA AVENUE:		15 FT	359.1 FT
REAR:		30 FT	265.8 FT

PARKING DIMENSION:		9' X 18'
DRIVE AISLE WIDTH:		24' MIN.

PARKING SUMMARY

FLOOR AREA	=	228,660 SF
PARKING REQUIRED (1 SPACE PER 250 SF)	=	915 SPACES
PARKING PROVIDED	=	844 SPACES
STANDARD PARKING PROVIDED	=	814 SPACES
ADA PARKING REQUIRED	=	17 SPACES
ADA PARKING PROVIDED	=	30 SPACES

PAVING AND CURB LEGEND

	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE CURB AND GUTTER

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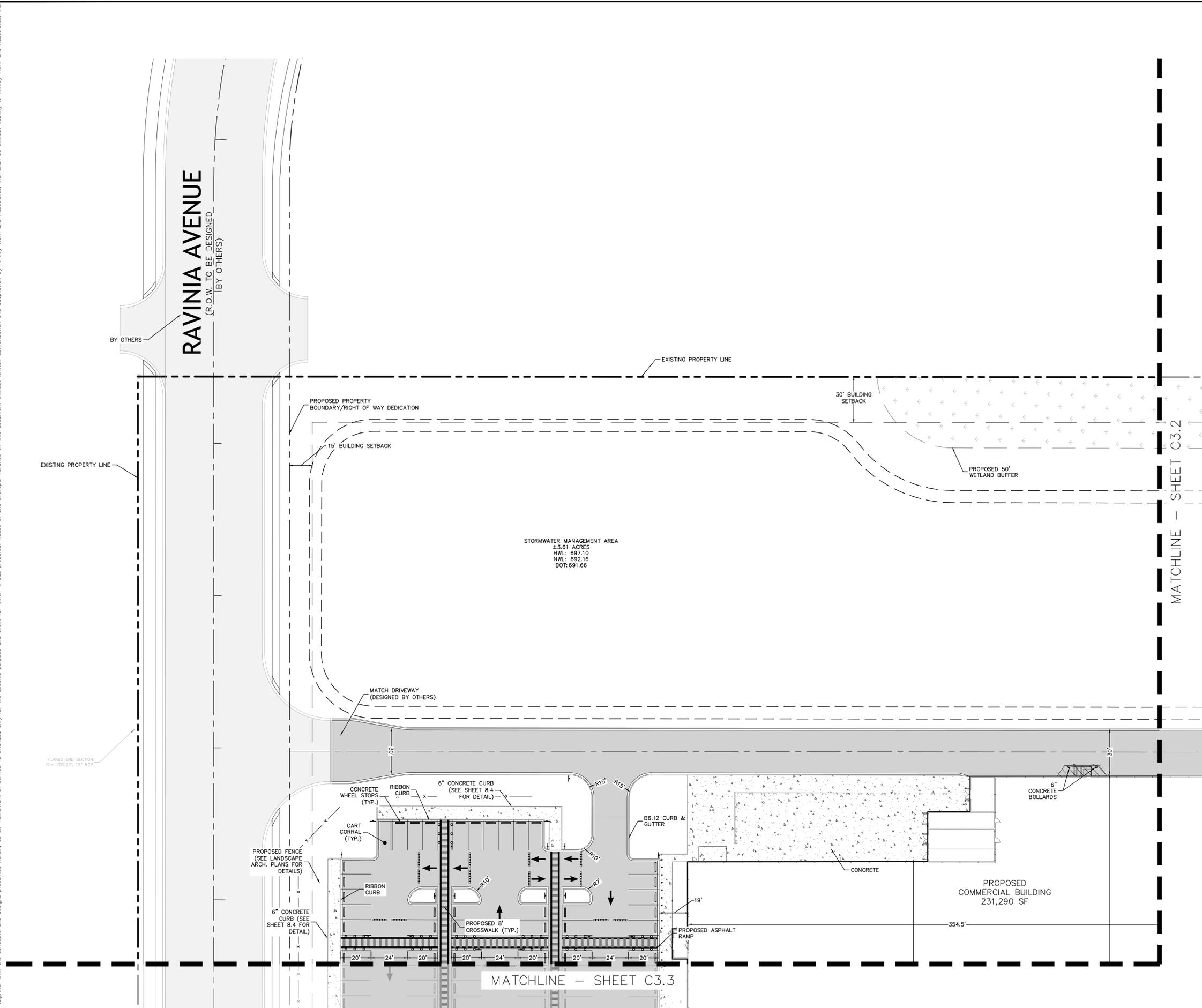
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OVERALL SITE DIMENSION PLAN

159TH & LAGRANGE RETAIL
 VILLAGE OF ORLAND PARK ILLINOIS
 SHEET NUMBER
C3.0

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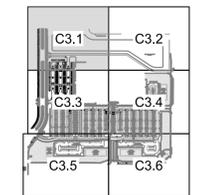
GRAPHIC SCALE IN FEET
 0 15 30 60

LEGEND:
 - - - LANDSCAPE BUFFER
 - - - BUILDING SETBACK
 - - - PROPERTY BOUNDARY

- GENERAL NOTES**
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PAVING AND CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER



KEY MAP:
1" = 800'

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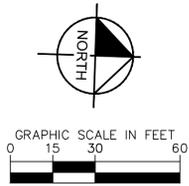
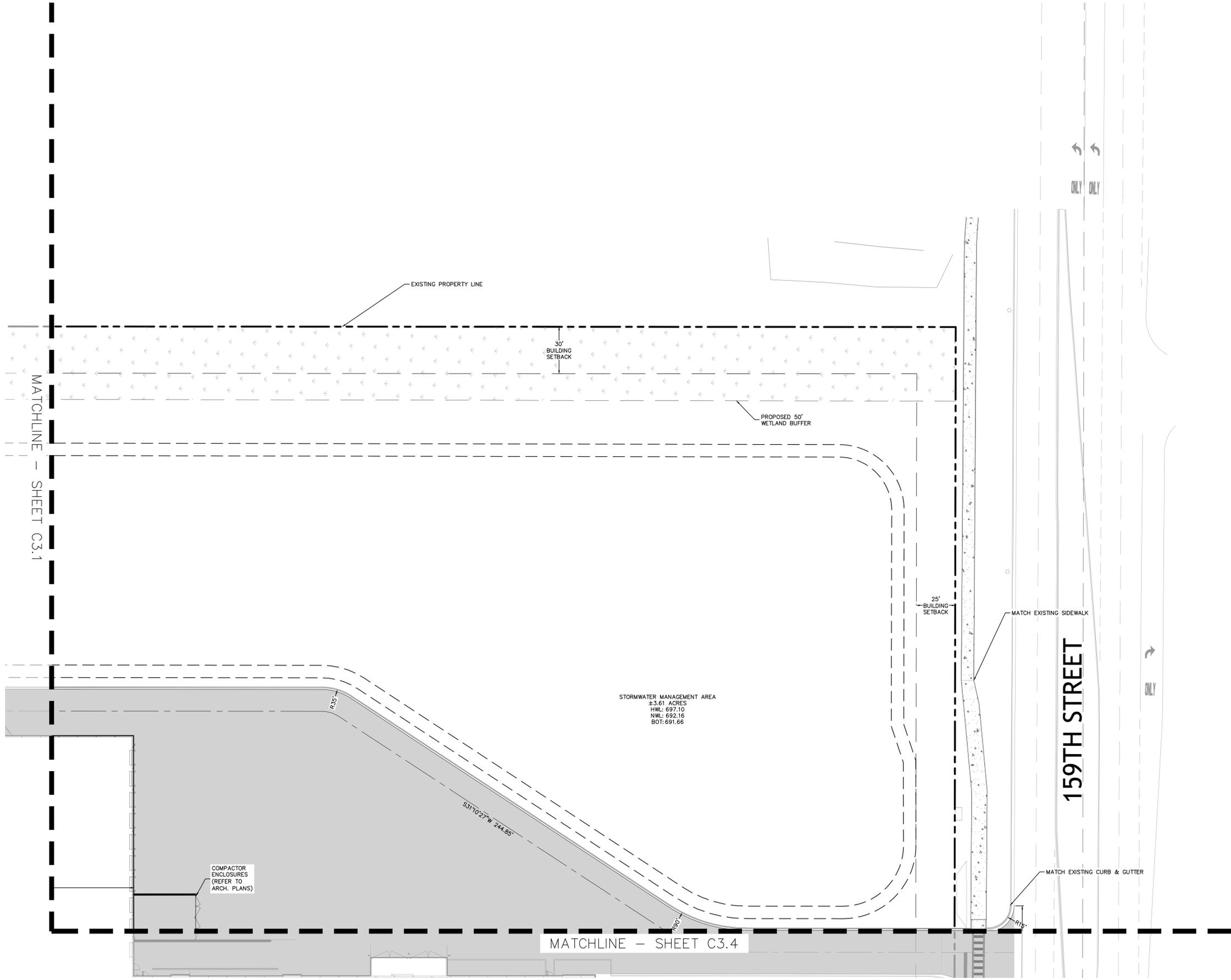
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KHA PROJECT	149621089
DATE	12/22/2025
SCALE AS SHOWN	###
DESIGNED BY	###
DRAWN BY	###
CHECKED BY	###
DATE OF EXPIRATION	11/30/27
DATE	12/22/2025

SITE DIMENSION PLAN

159TH & LAGRANGE RETAIL

VILLAGE OF ORLAND PARK ILLINOIS

SHEET NUMBER
C3.1



LEGEND:

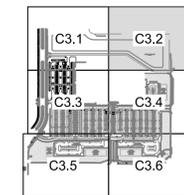
- LANDSCAPE BUFFER
- BUILDING SETBACK
- PROPERTY BOUNDARY

GENERAL NOTES

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PAVING AND CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER



KEY MAP:
1" = 800'

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SCALE AS SHOWN	###
DESIGNED BY	###
DRAWN BY	###
CHECKED BY	###
DATE	12/22/2025

SITE DIMENSION PLAN

159TH & LAGRANGE RETAIL

SHEET NUMBER
C3.2

VILLAGE OF ORLAND PARK

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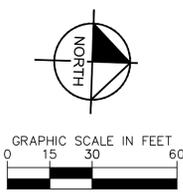
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MATCHLINE - SHEET C3.3

MATCHLINE - SHEET C3.2

MATCHLINE - SHEET C3.6



- LEGEND:**
- LANDSCAPE BUFFER
 - BUILDING SETBACK
 - PROPERTY BOUNDARY

- GENERAL NOTES**
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- PAVING AND CURB LEGEND**
- STANDARD DUTY ASPHALT PAVEMENT
 - HEAVY DUTY ASPHALT PAVEMENT
 - CONCRETE SIDEWALK
 - CONCRETE CURB AND GUTTER

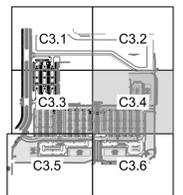
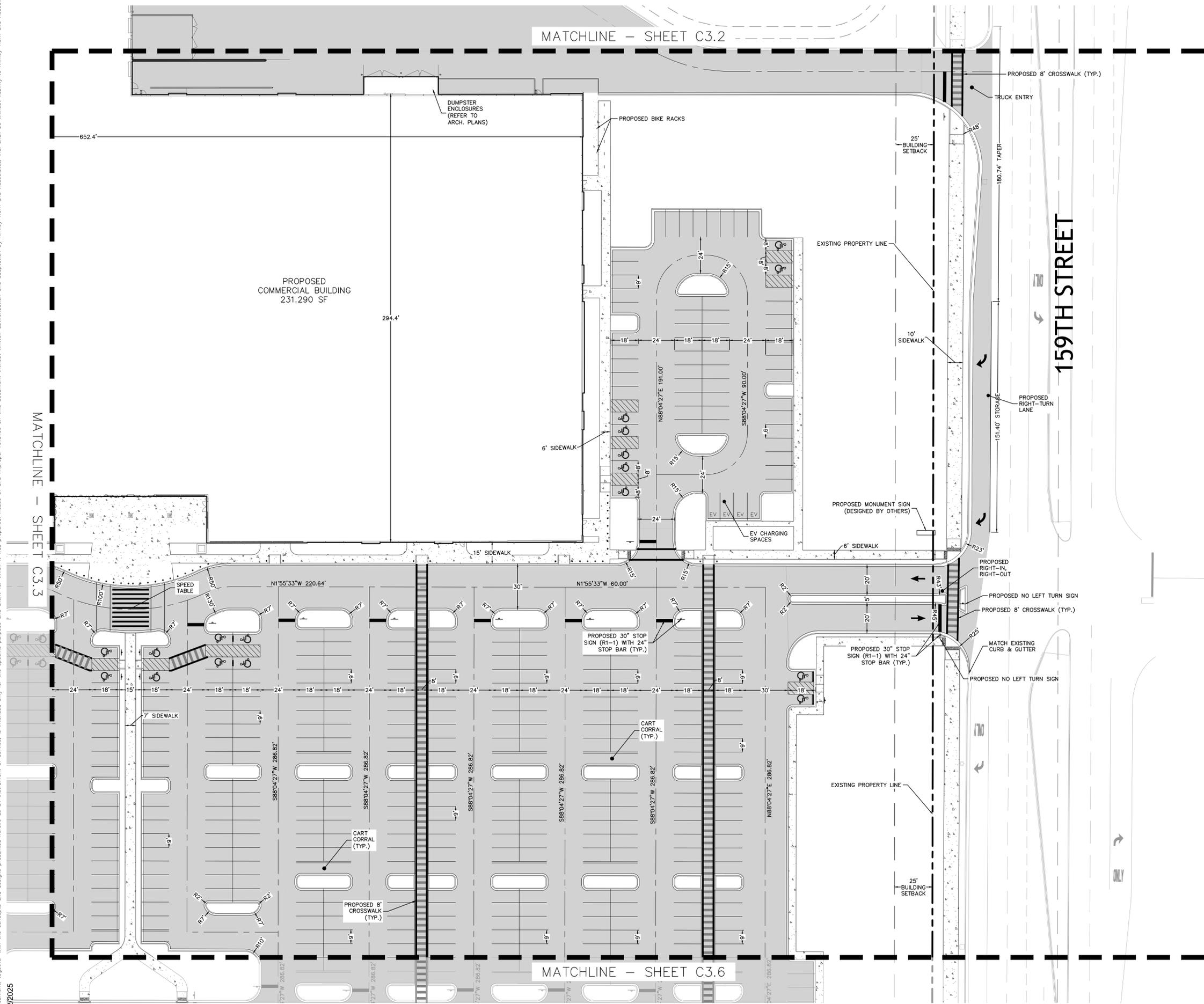
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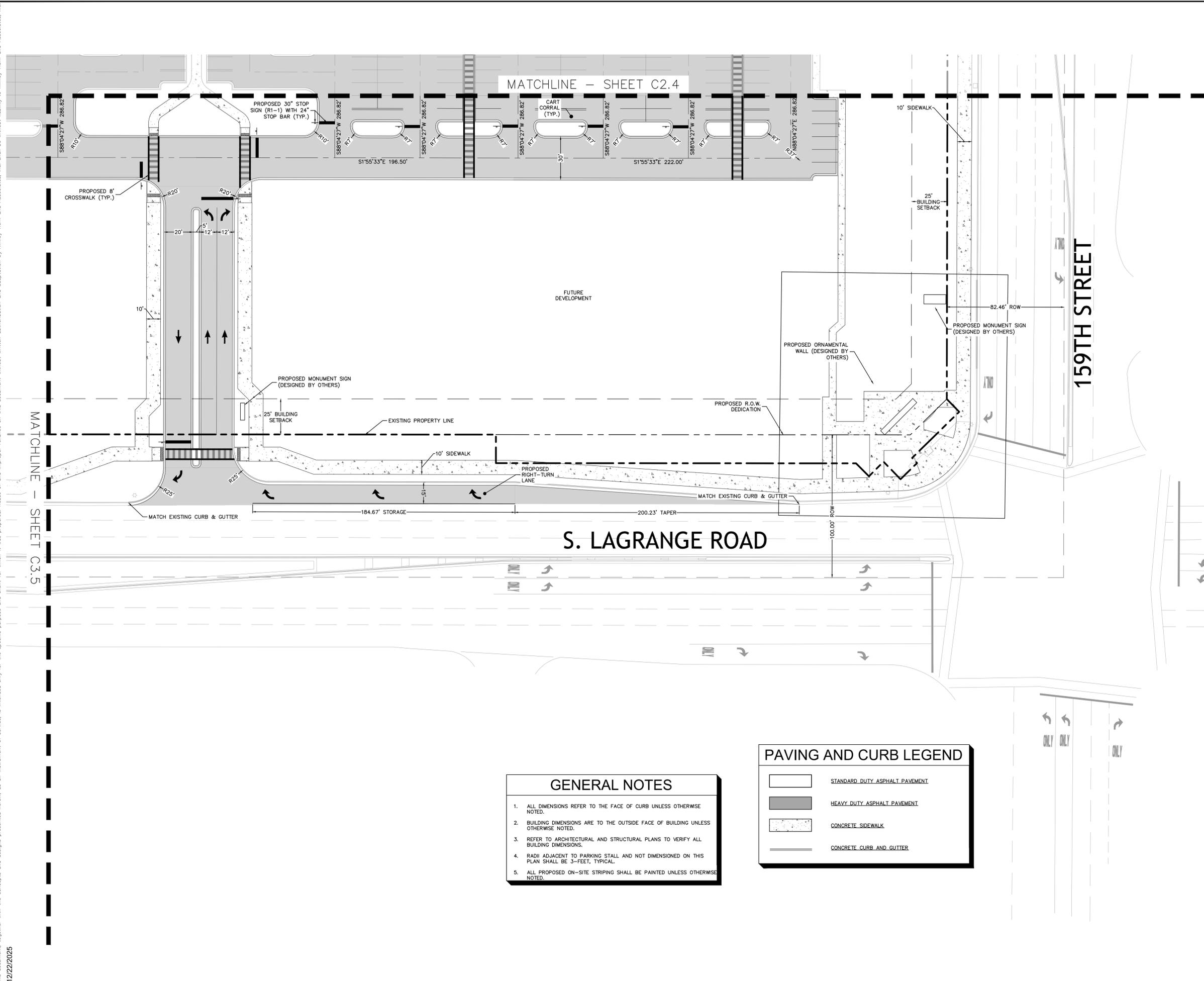
159TH & LAGRANGE RETAIL
 VILLAGE OF ORLAND PARK ILLINOIS
 SHEET NUMBER C3.4



KEY MAP:
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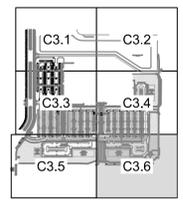
NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

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LEGEND:

- LANDSCAPE BUFFER
- BUILDING SETBACK
- PROPERTY BOUNDARY

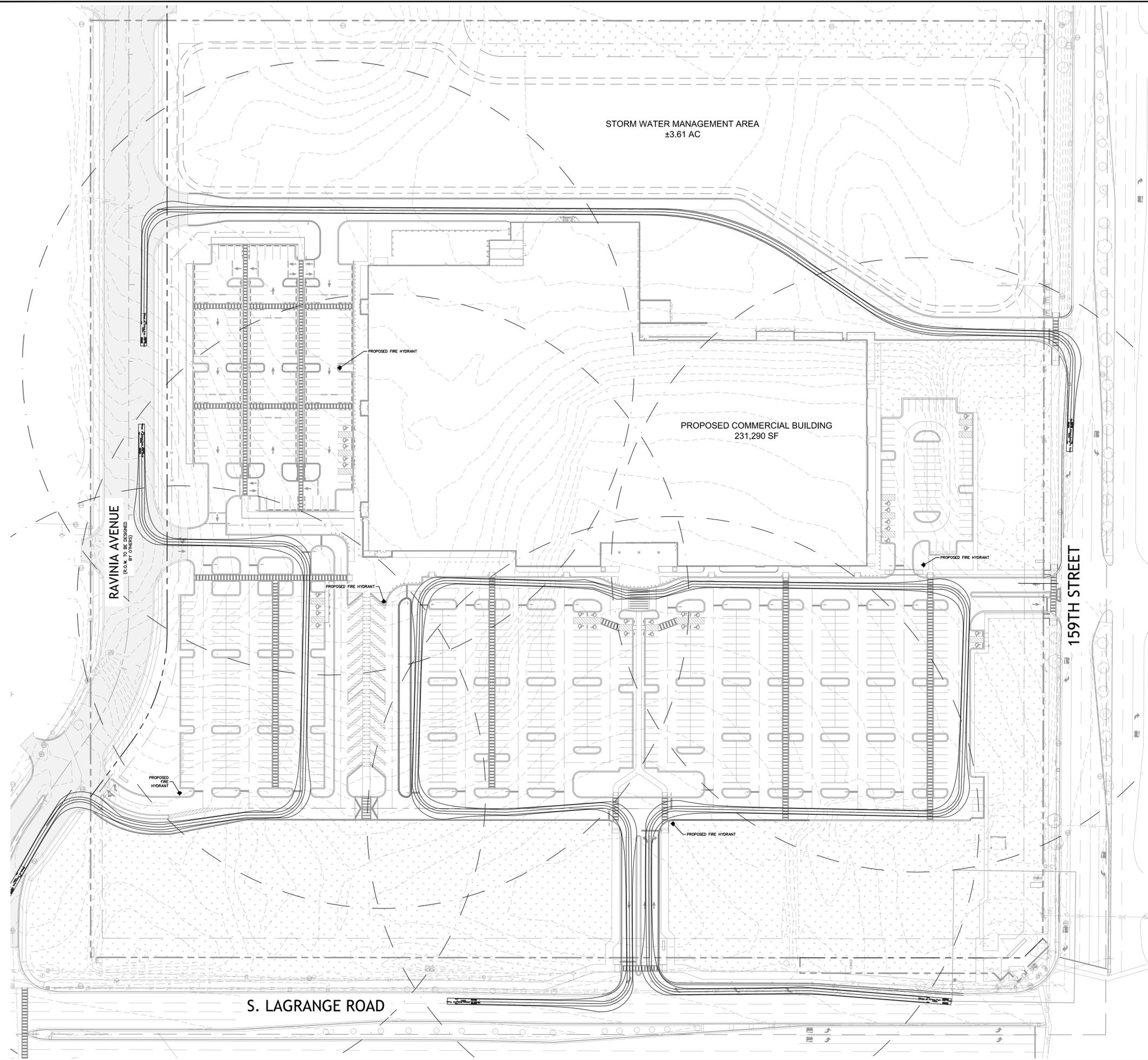


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PAVING AND CURB LEGEND

	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE CURB AND GUTTER

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<p>KHA PROJECT 149621089</p>	<p>DATE 12/22/2025</p>
<p>SCALE AS SHOWN DESIGNED BY ###</p>	<p>DRAWN BY ### CHECKED BY ###</p>
<p>SITE DIMENSION PLAN</p>	
<p>159TH & LAGRANGE RETAIL</p>	
<p>VILLAGE OF ORLAND PARK ILLINOIS</p>	
<p>SHEET NUMBER C3.6</p>	
<p>REVISIONS</p>	<p>DATE</p>



FIRE TRUCK PLAN LEGEND

-  400' FIRE HOSE LAY
-  PROPOSED FIRE HYDRANT
-  PROPOSED WATER LINE

Village of Orland Park Fire Truck

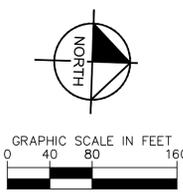
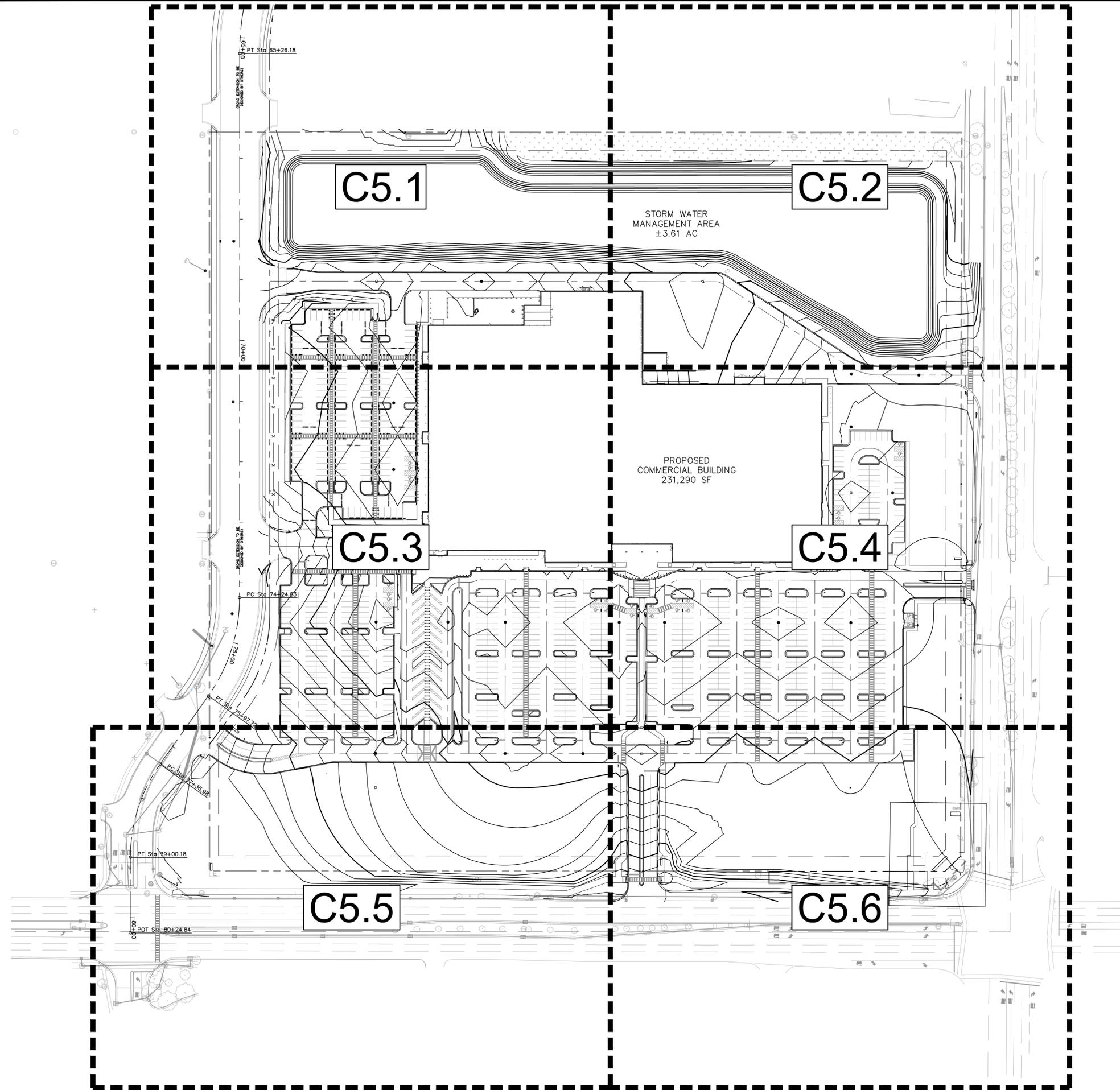
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- Track : 6.91
- Lock to Lock Time : 6.0
- Steering Angle : 35.4

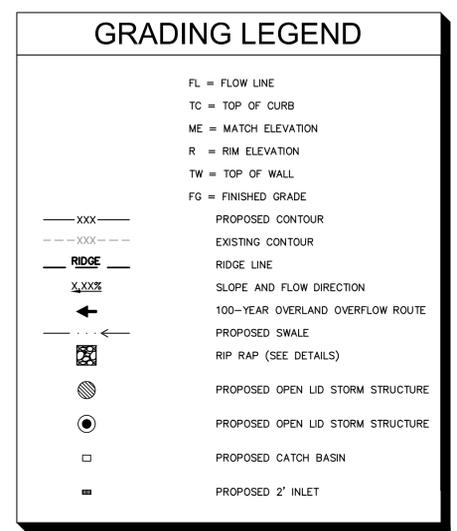
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GRAPHIC SCALE IN FEET
0 30 60 120

159TH & LAGRANGE RETAIL VILLAGE OF ORLAND PARK SHEET NUMBER C3.7	FIRE TRUCK PLAN	KHA PROJECT 149621089	LICENSED PROFESSIONAL THOMAS J. SZFRANSKI ILLINOIS LICENSE NUMBER 062.070698	© 2026 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WARRENVILLE, IL 60555 630-487-5550 WWW.KIMLEY-HORN.COM	No. _____ REVISIONS _____ DATE _____
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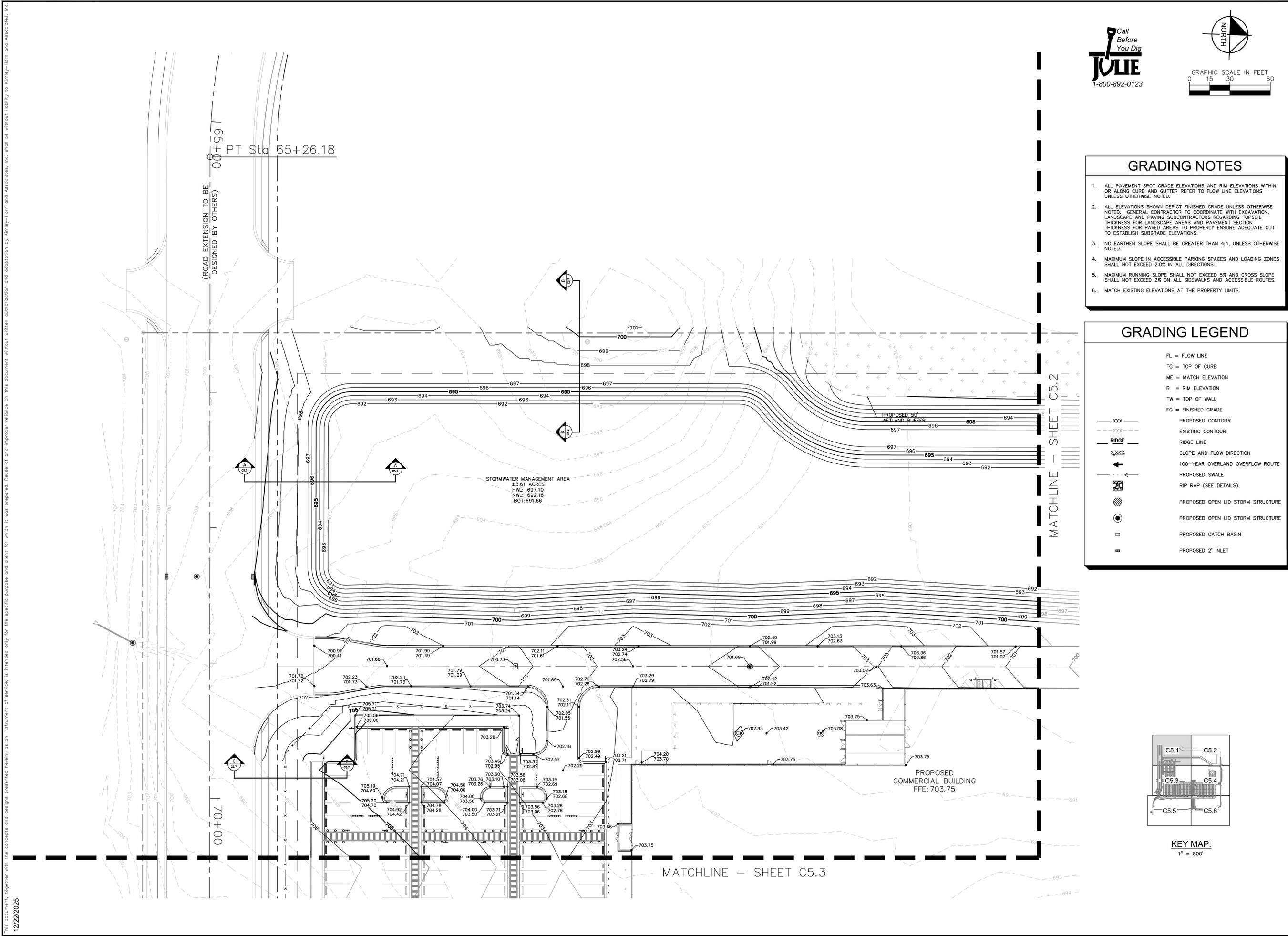


- ### GRADING NOTES
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 3. NO EARTHEN SLOPE SHALL BE GREATER THAN 4:1, UNLESS OTHERWISE NOTED.
 4. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 5. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
 6. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.



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OVERALL PAVING & GRADING PLAN				
159TH & LAGRANGE RETAIL				
VILLAGE OF ORLAND PARK ILLINOIS				
SHEET NUMBER				
C5.0				
				REVISIONS No. DATE BY

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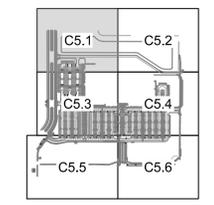
N
 NORTH

GRAPHIC SCALE IN FEET
 0 15 30 60

- ### GRADING NOTES
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 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

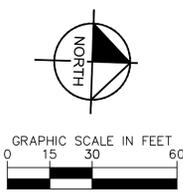
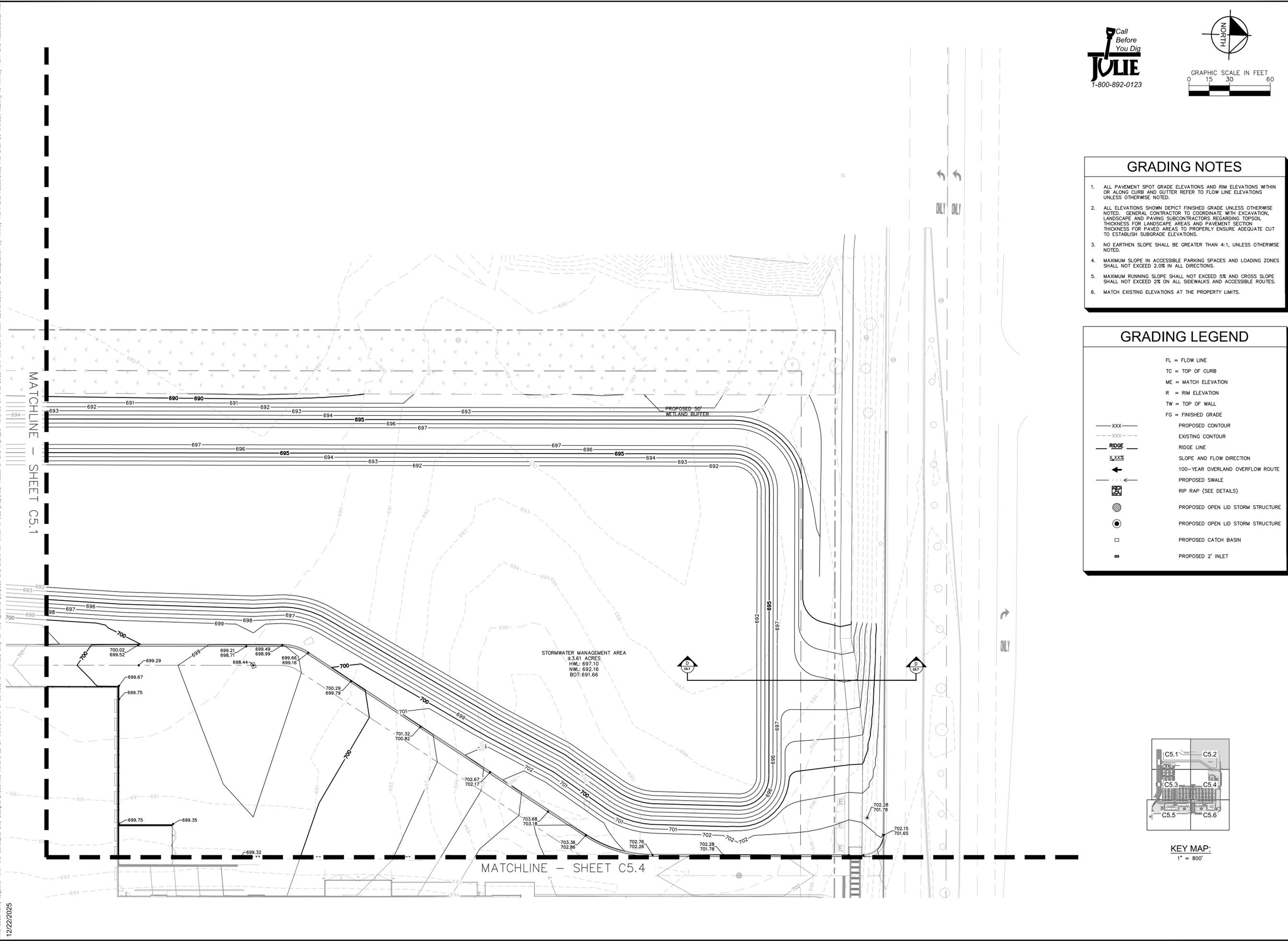
FL	=	FLOW LINE
TC	=	TOP OF CURB
ME	=	MATCH ELEVATION
R	=	RIM ELEVATION
TW	=	TOP OF WALL
FG	=	FINISHED GRADE
---		PROPOSED CONTOUR
- - -		EXISTING CONTOUR
—RIDGE—		RIDGE LINE
X-XXX		SLOPE AND FLOW DIRECTION
←		100-YEAR OVERLAND OVERFLOW ROUTE
⊞		PROPOSED SWALE
⊞		RIP RAP (SEE DETAILS)
⊞		PROPOSED OPEN LID STORM STRUCTURE
⊞		PROPOSED OPEN LID STORM STRUCTURE
□		PROPOSED CATCH BASIN
■		PROPOSED 2' INLET



KHA PROJECT 149621089		LICENSED PROFESSIONAL	Kimley»Horn © 2026 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WARRENVILLE, IL 60555 630-487-5550 WWW.KIMLEY-HORN.COM
DATE 12/22/2025	SCALE AS SHOWN XXX	DESIGNED BY XXX	
DATE OF EXPIRATION 11/30/27	DRAWN BY XXX	CHECKED BY XXX	REVISIONS
159TH & LAGRANGE RETAIL PAVING & GRADING PLAN			DATE
ILLINOIS			BY
VILLAGE OF ORLAND PARK			
SHEET NUMBER C5.1			

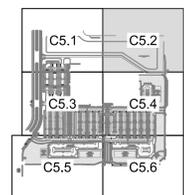
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- ### GRADING NOTES
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 3. NO EARTHEN SLOPE SHALL BE GREATER THAN 4:1, UNLESS OTHERWISE NOTED.
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 - ← PROPOSED SWALE
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No.	REVISIONS	DATE	BY

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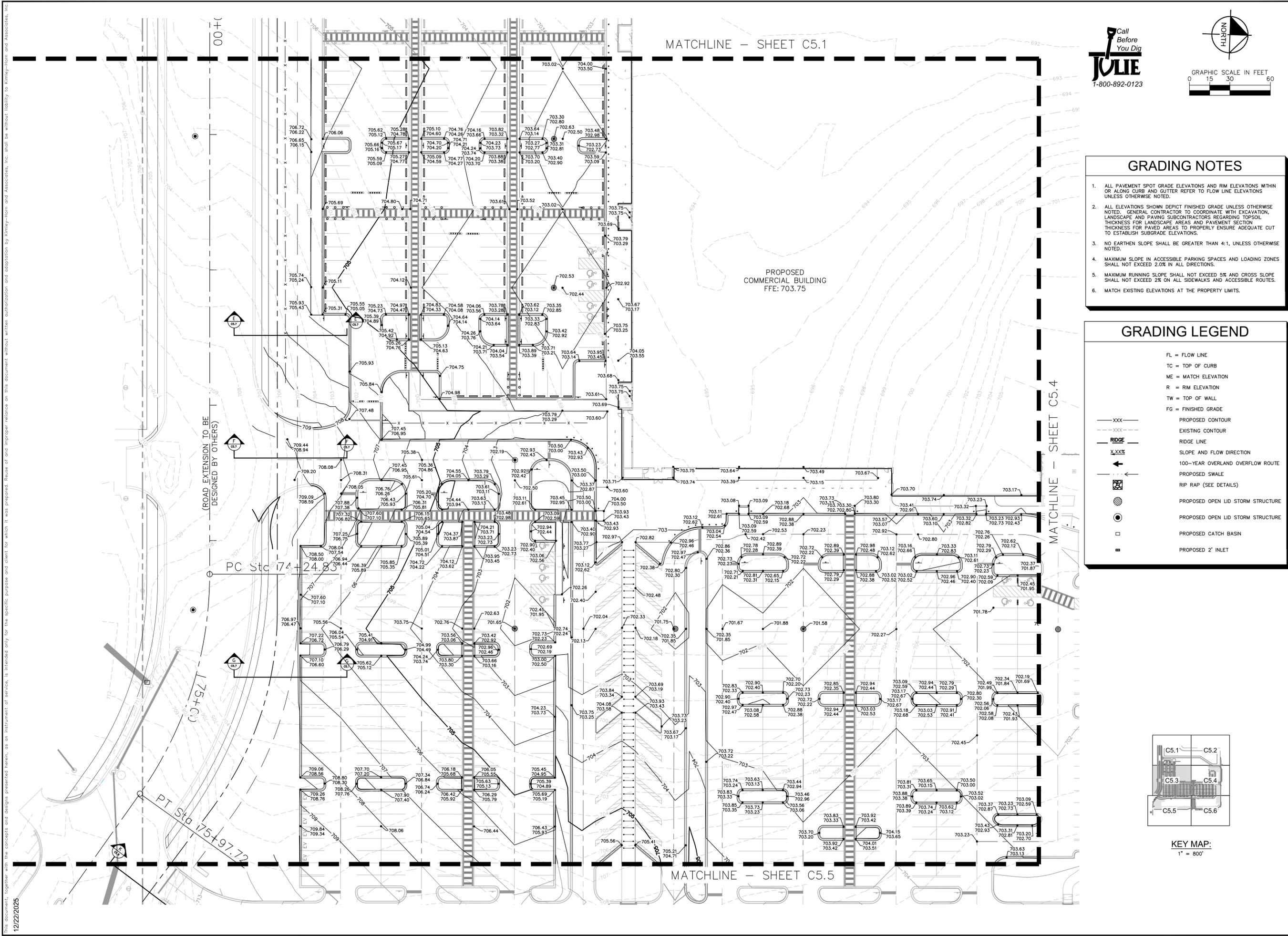
LICENSED PROFESSIONAL
 THOMAS J. SZAFRANSKI
 ILLINOIS LICENSE NUMBER 062.070698
 DATE OF EXPIRATION: 11/30/27

KHA PROJECT 149621089
 DATE 12/22/2025
 SCALE AS SHOWN
 DESIGNED BY XXX
 DRAWN BY XXX
 CHECKED BY XXX
 DATE: 12/22/2025

PAVING & GRADING PLAN

159TH & LAGRANGE RETAIL
 VILLAGE OF ORLAND PARK, ILLINOIS
 SHEET NUMBER C5.2

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12/22/2025
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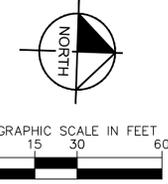


MATCHLINE - SHEET C5.1

PROPOSED COMMERCIAL BUILDING
FFE: 703.75

MATCHLINE - SHEET C5.5

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JULIE
1-800-892-0123

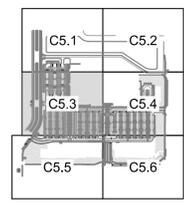


GRADING NOTES

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X.XXX SLOPE AND FLOW DIRECTION
100-YEAR OVERLAND OVERFLOW ROUTE
- - - - - PROPOSED SWALE
[Symbol] RIP RAP (SEE DETAILS)
[Symbol] PROPOSED OPEN LID STORM STRUCTURE
[Symbol] PROPOSED OPEN LID STORM STRUCTURE
[Symbol] PROPOSED CATCH BASIN
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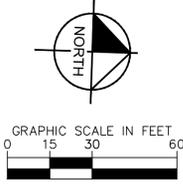
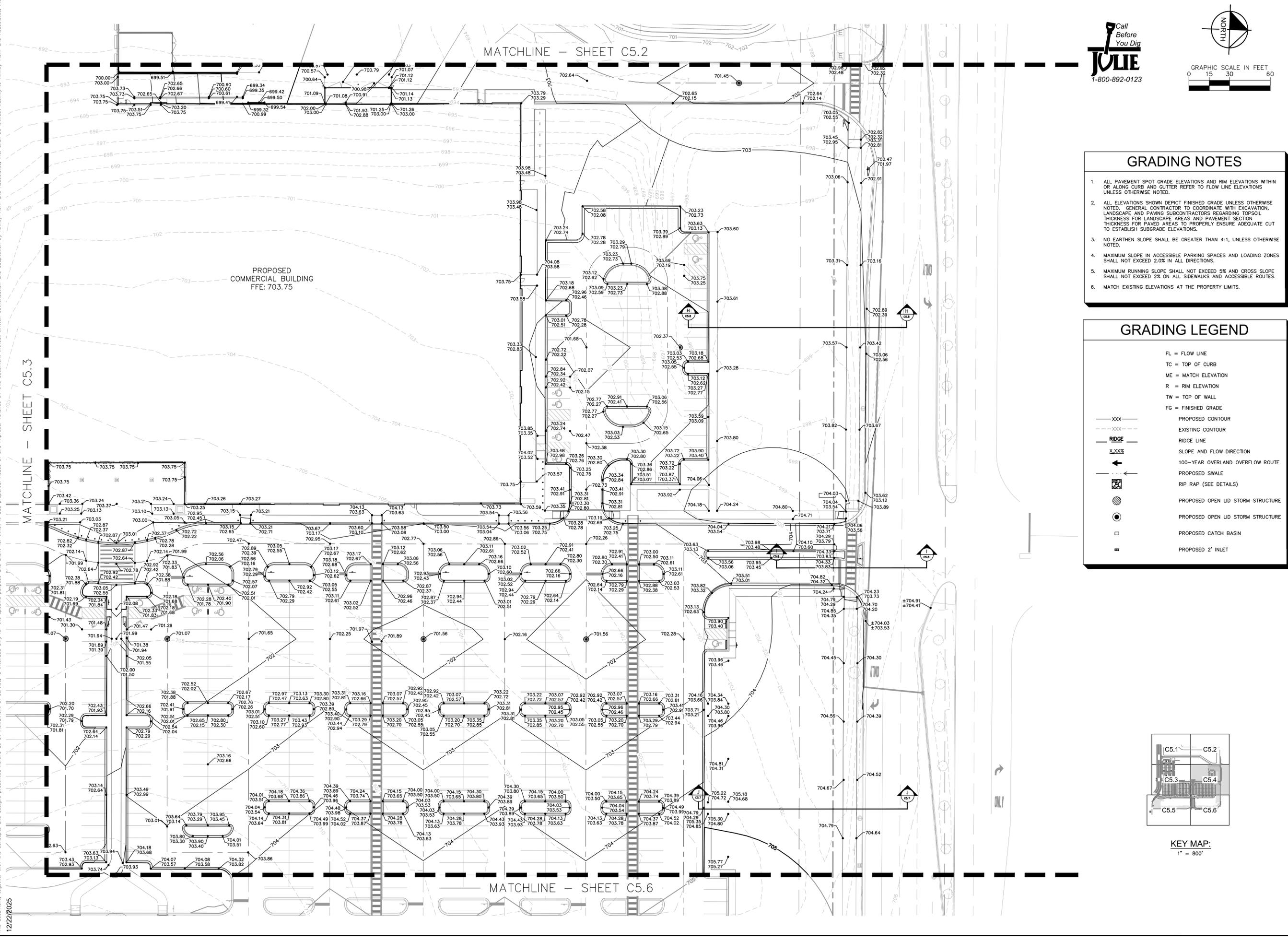
KEY MAP:
1" = 800'

Kimley-Horn		LICENSED PROFESSIONAL	
© 2026 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WARRENVILLE, IL 60555 WWW.KIMLEY-HORN.COM		THOMAS J. SZAFRANSKI ILLINOIS LICENSE NUMBER 062.070698 DATE OF EXPIRATION: 11/30/27	
KHA PROJECT 149621089	DATE 12/22/2025	SCALE AS SHOWN DESIGNED BY XXX	DRAWN BY XXX CHECKED BY XXX
159TH & LAGRANGE RETAIL		ILLINOIS	
VILLAGE OF ORLAND PARK		SHEET NUMBER C5.3	
PAVING & GRADING PLAN		REVISIONS	
DATE		BY	

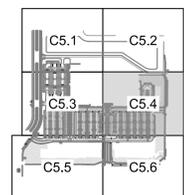
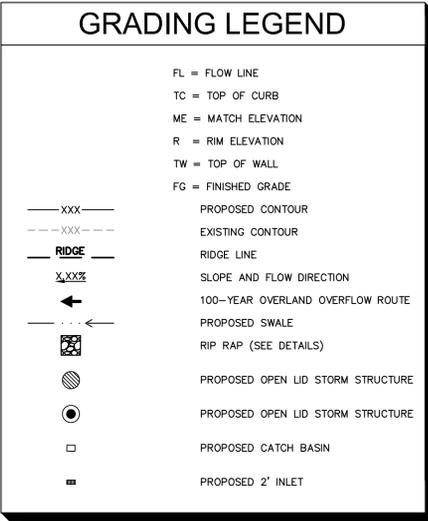
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ILLINOIS

VILLAGE OF ORLAND PARK

DATE: 12/22/2025

REVISIONS

NO.

BY

159TH & LAGRANGE
RETAIL

PAVING & GRADING
PLAN

SHEET NUMBER
C5.4

KHA PROJECT
149621089

DATE: 12/22/2025

SCALE: AS SHOWN

DESIGNED BY: XXX

DRAWN BY: XXX

CHECKED BY: XXX

DATE OF EXPIRATION: 11/30/27

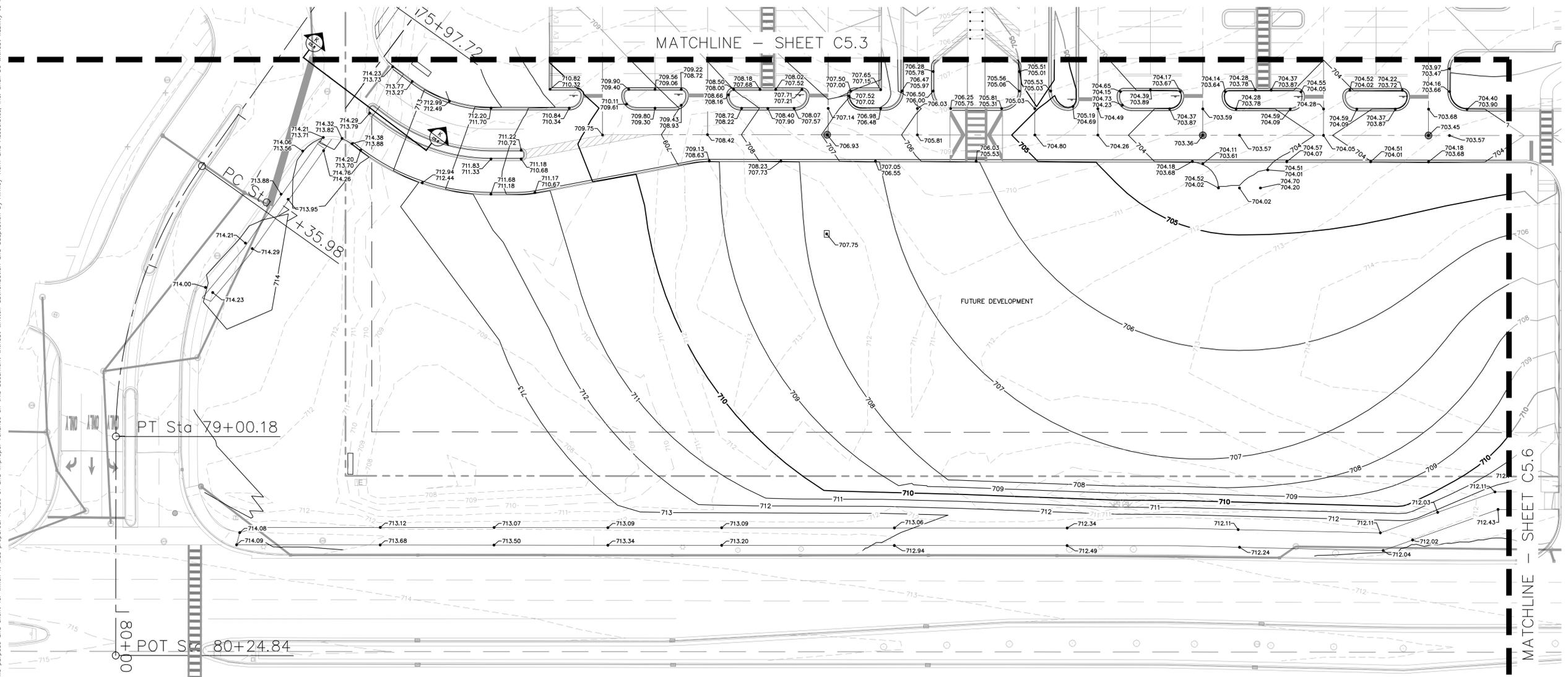
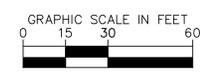
LICENSED PROFESSIONAL

THOMAS J. SZFRANSKI
ILLINOIS LICENSE NUMBER
062.070698

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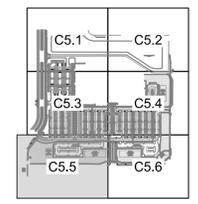
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○	PROPOSED OPEN LID STORM STRUCTURE
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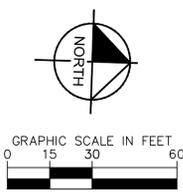
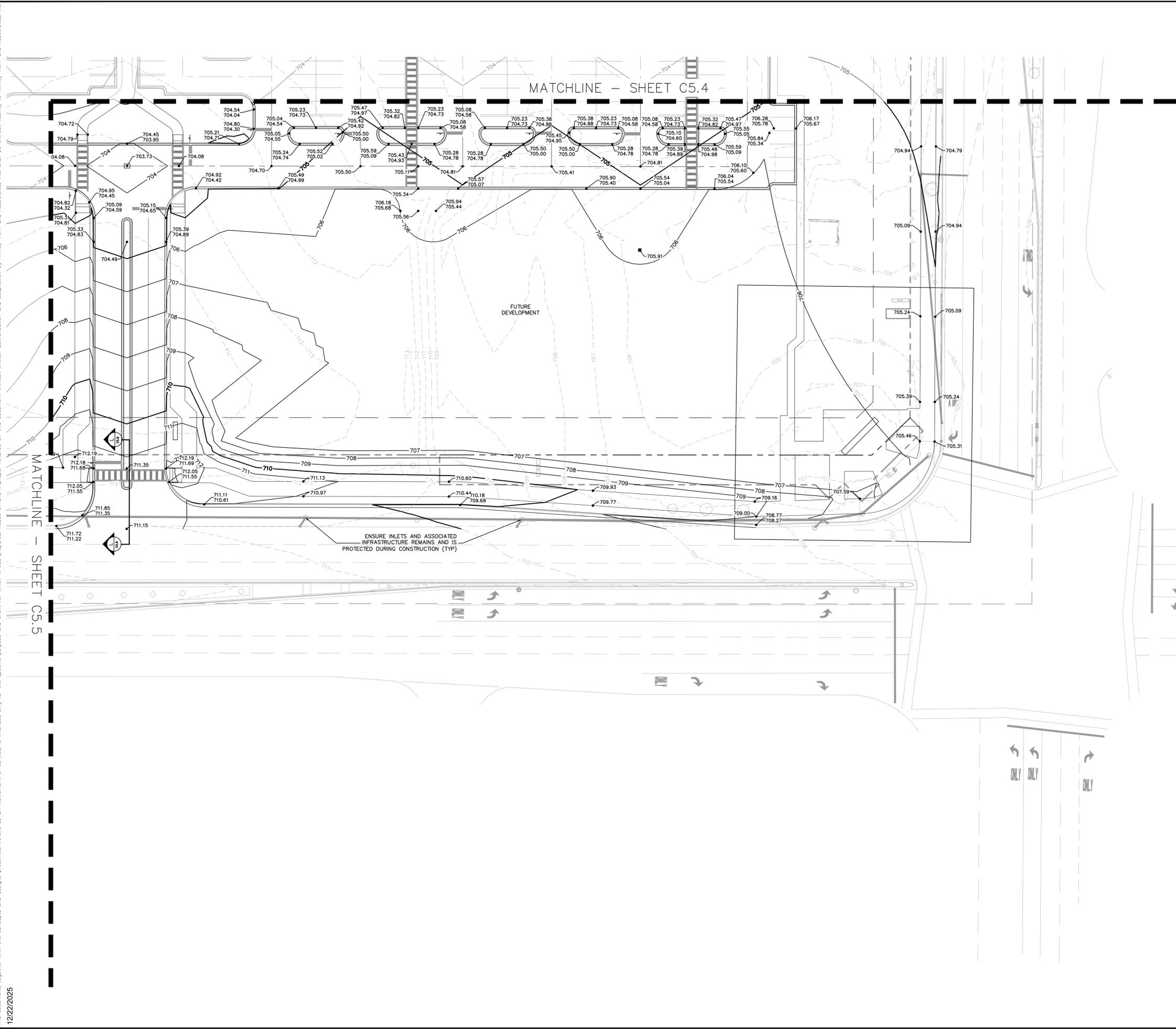
KEY MAP:
1" = 800'

<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">© 2026 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WARRENVILLE, IL 60555 630-487-5550 WWW.KIMLEY-HORN.COM</p>	<p style="font-size: 8px; margin: 0;">REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">DATE</th> <th style="width: 10%;">BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	BY			
NO.	DATE	BY					
<h2 style="margin: 0;">159TH & LAGRANGE RETAIL</h2> <p style="font-size: 8px; margin: 0;">VILLAGE OF ORLAND PARK</p>	<p style="font-size: 8px; margin: 0;">LISCENSED PROFESSIONAL</p> <p style="font-size: 8px; margin: 0;">THOMAS J. SZAFRANSKI ILLINOIS LICENSE NUMBER 062.070698 DATE OF EXPIRATION: 11/30/27</p>						
<h3 style="margin: 0;">PAVING & GRADING PLAN</h3>	<p style="font-size: 8px; margin: 0;">KHA PROJECT 149621089</p> <p style="font-size: 8px; margin: 0;">DATE 12/22/2025</p> <p style="font-size: 8px; margin: 0;">SCALE AS SHOWN DESIGNED BY XXX DRAWN BY XXX CHECKED BY XXX</p>						
<h2 style="margin: 0;">SHEET NUMBER C5.5</h2>	<p style="font-size: 8px; margin: 0;">DATE: 12/22/2025</p>						

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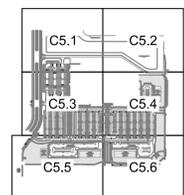
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 - RIDGE** RIDGE LINE
 - XXX% SLOPE AND FLOW DIRECTION
 - ← PROPOSED SWALE
 - ▣ PROPOSED OPEN LID STORM STRUCTURE
 - PROPOSED OPEN LID STORM STRUCTURE
 - PROPOSED CATCH BASIN
 - PROPOSED 2' INLET

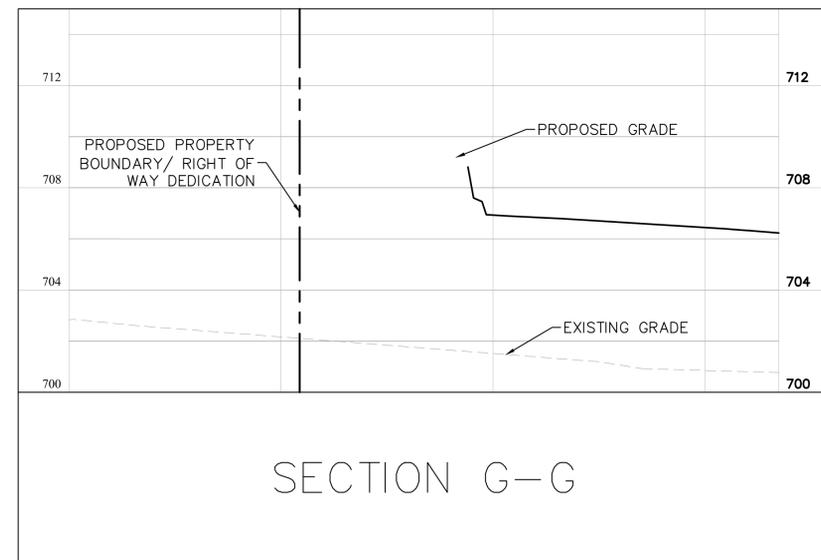
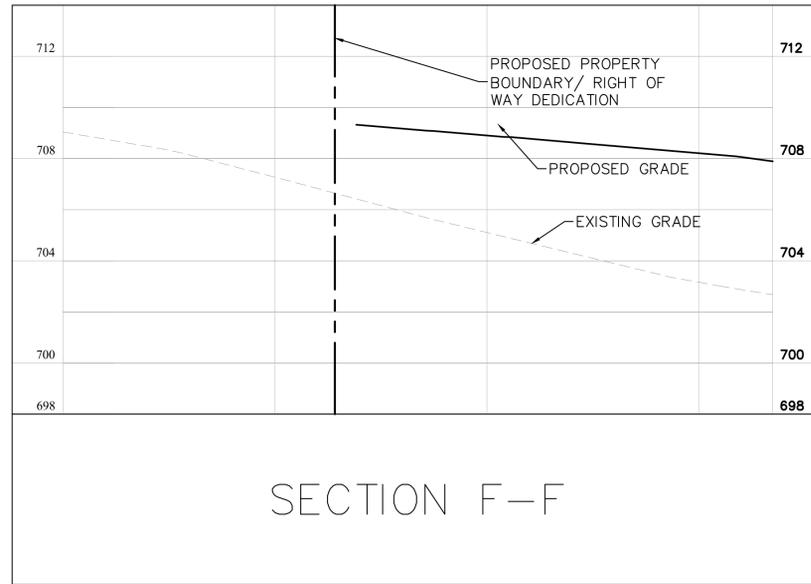
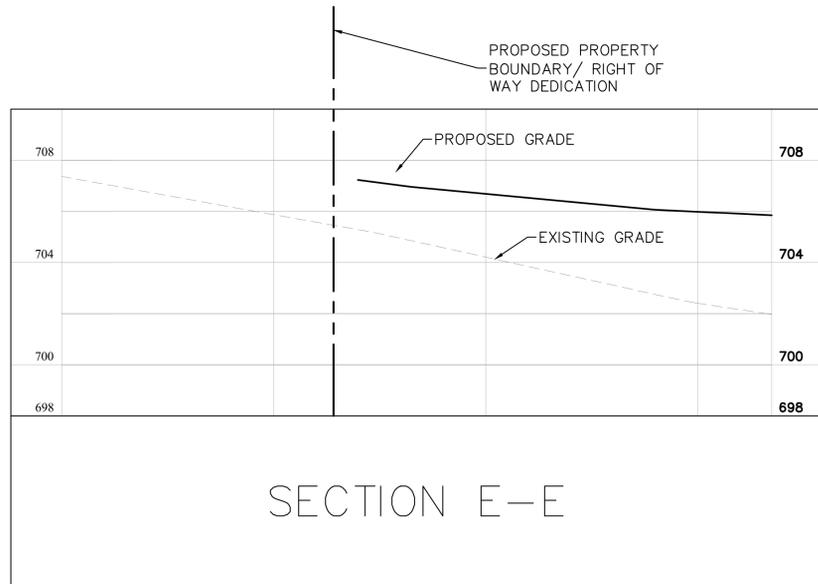
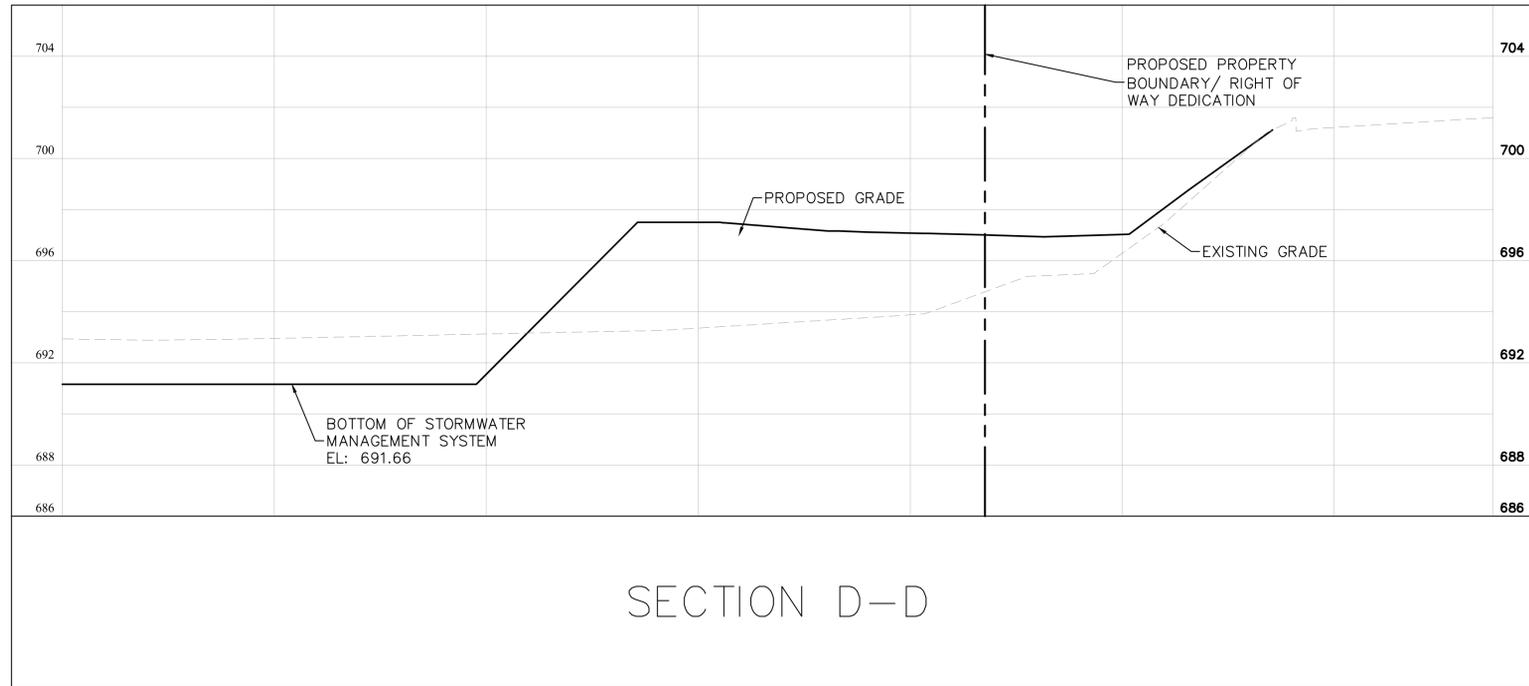
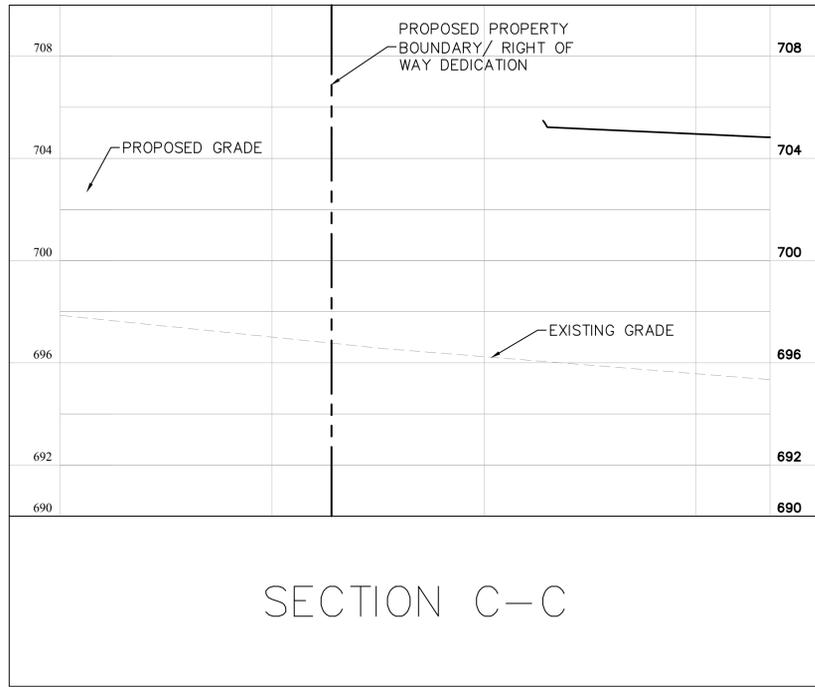
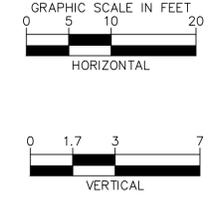
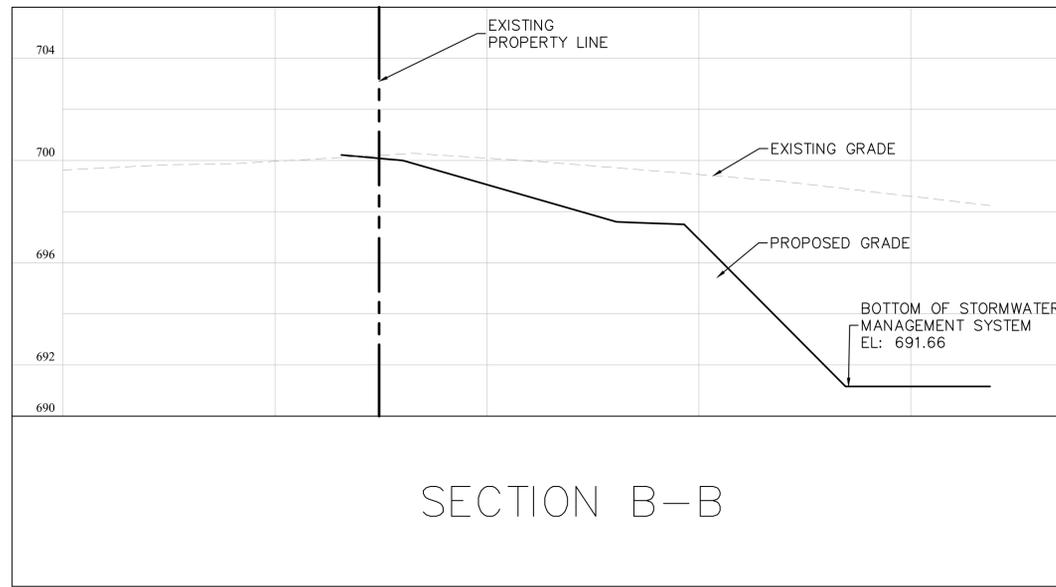
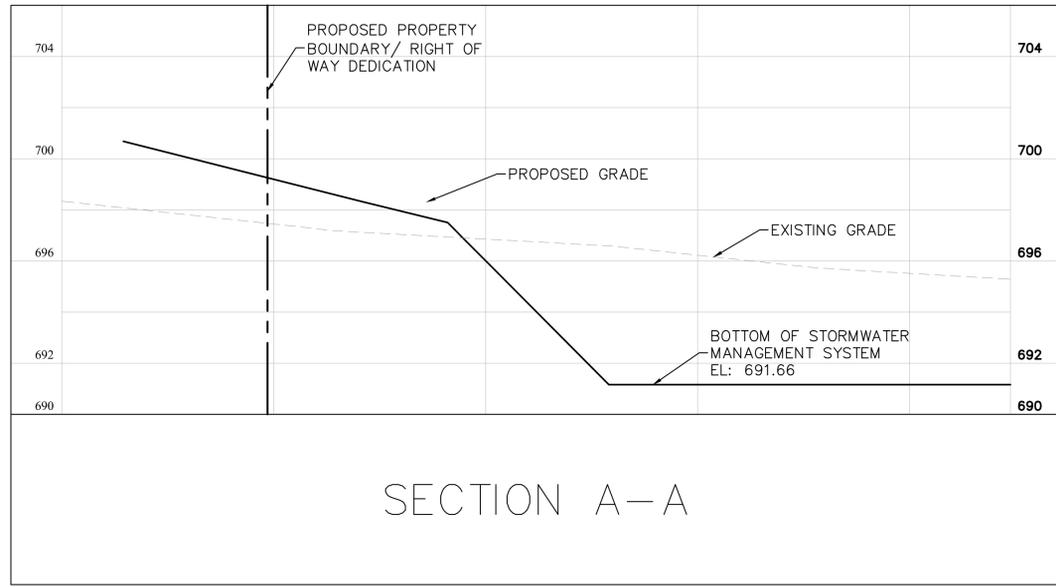


KEY MAP:
1" = 800'

<p>© 2026 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WARRENVILLE, IL 60555 630-487-5550 WWW.KIMLEY-HORN.COM</p>		REVISIONS No. _____ DATE _____
KHA PROJECT 149621089		LICENSED PROFESSIONAL THOMAS J. SZAFRANSKI ILLINOIS LICENSE NUMBER 062.070698 DATE OF EXPIRATION: 11/30/27
DATE 12/22/2025	SCALE AS SHOWN XXX	DRAWN BY XXX
159TH & LAGRANGE RETAIL PLAN		ILLINOIS VILLAGE OF ORLAND PARK
SHEET NUMBER C5.6		DATE 12/22/2025

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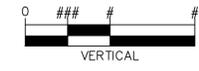
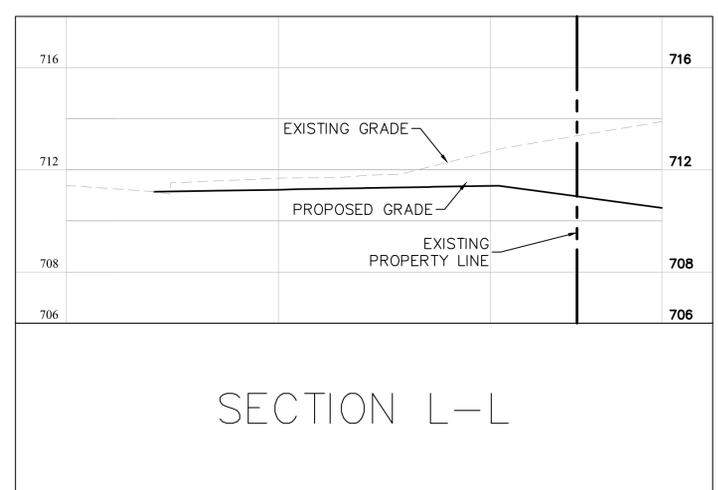
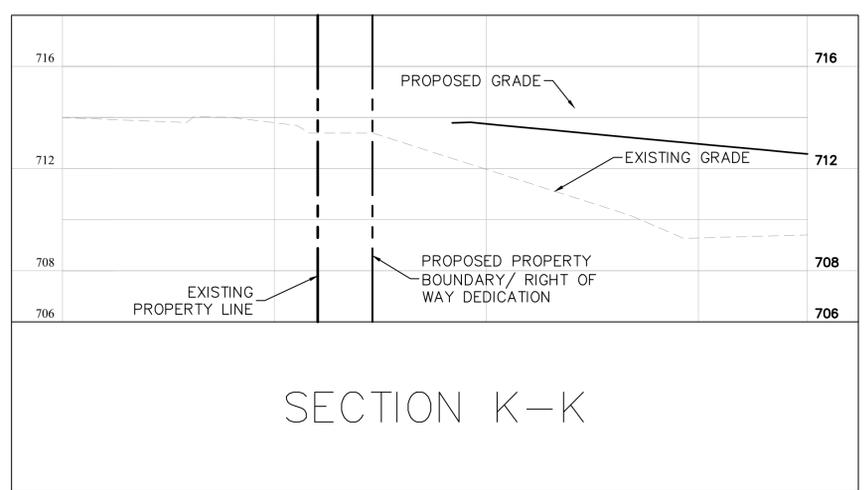
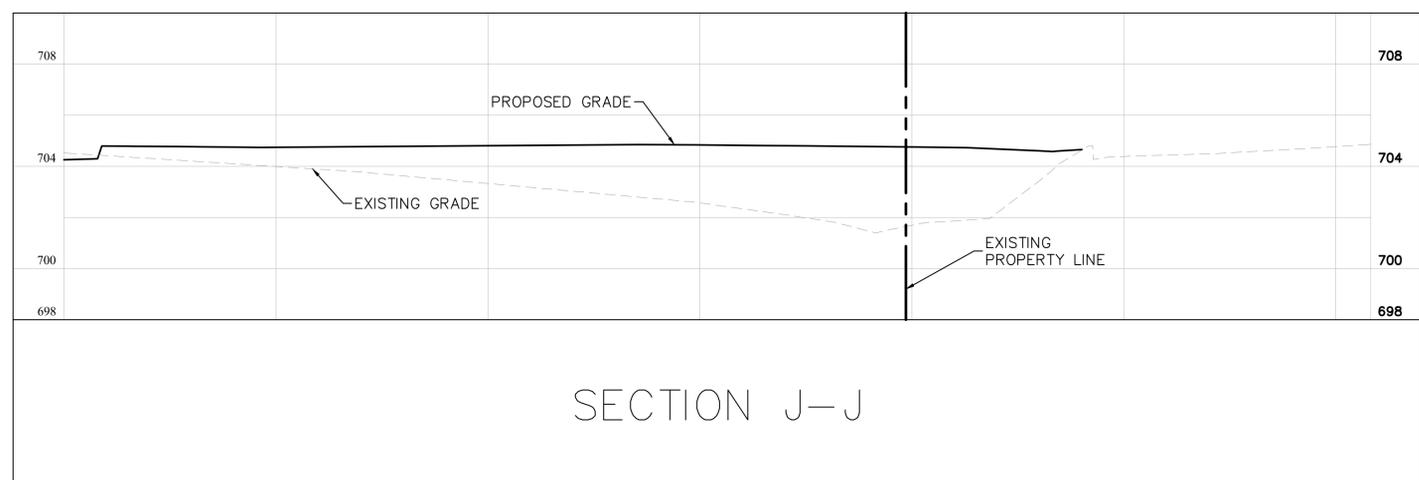
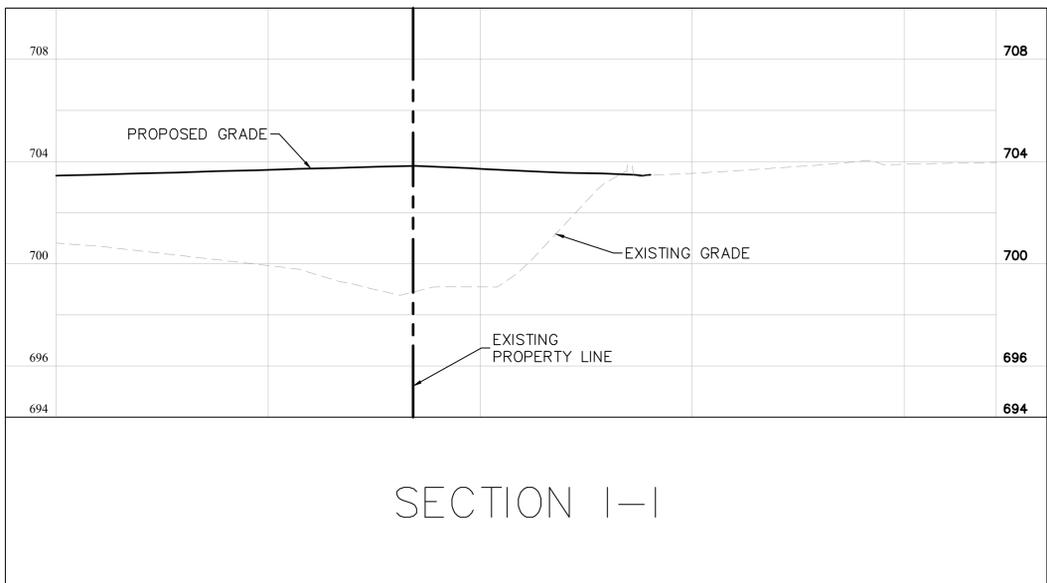
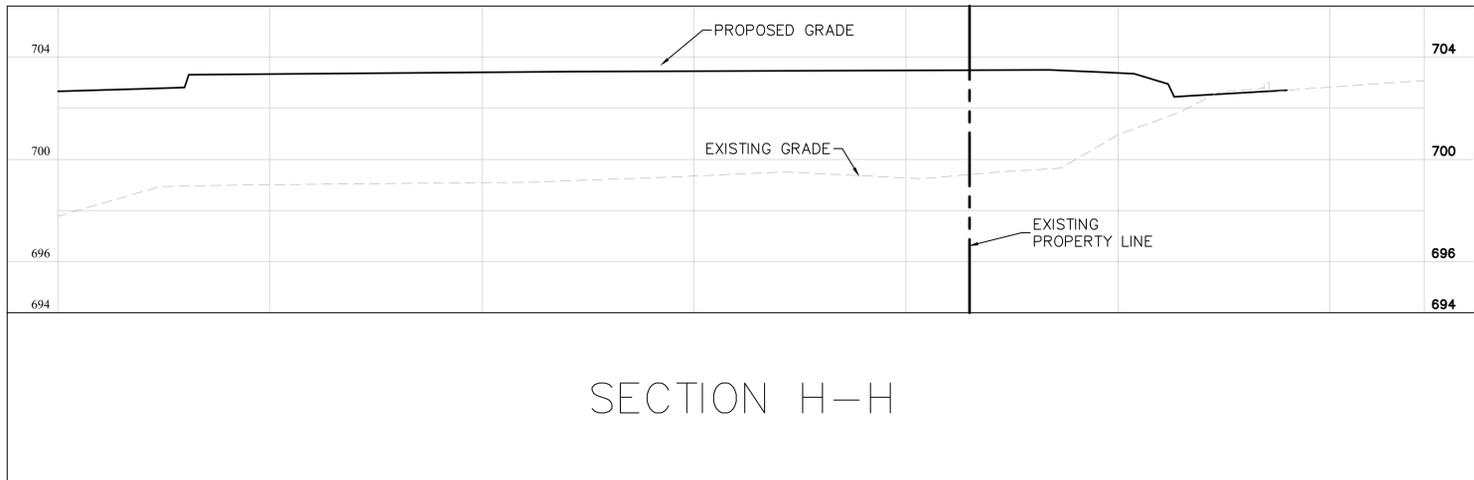
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KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY	LICENSED PROFESSIONAL	DATE
149621089	12/22/2025	XXX	XXX	XXX	XXX	XXX	THOMAS J. SZAFRANSKI	12/22/2025
							ILLINOIS LICENSE NUMBER	062,070,698
							DATE OF EXPIRATION	11/30/27

CROSS SECTIONS

159TH & LAGRANGE RETAIL
 VILLAGE OF ORLAND PARK, ILLINOIS
 SHEET NUMBER
C5.7

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LICENSED PROFESSIONAL	THOMAS J. SZAFRANSKI
KHA PROJECT	149621089
DATE	12/22/2025
SCALE AS SHOWN	XXX
DESIGNED BY	XXX
DRAWN BY	XXX
CHECKED BY	XXX
DATE OF EXPIRATION	11/30/27
DATE	12/22/2025

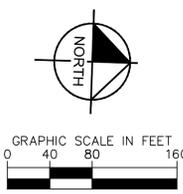
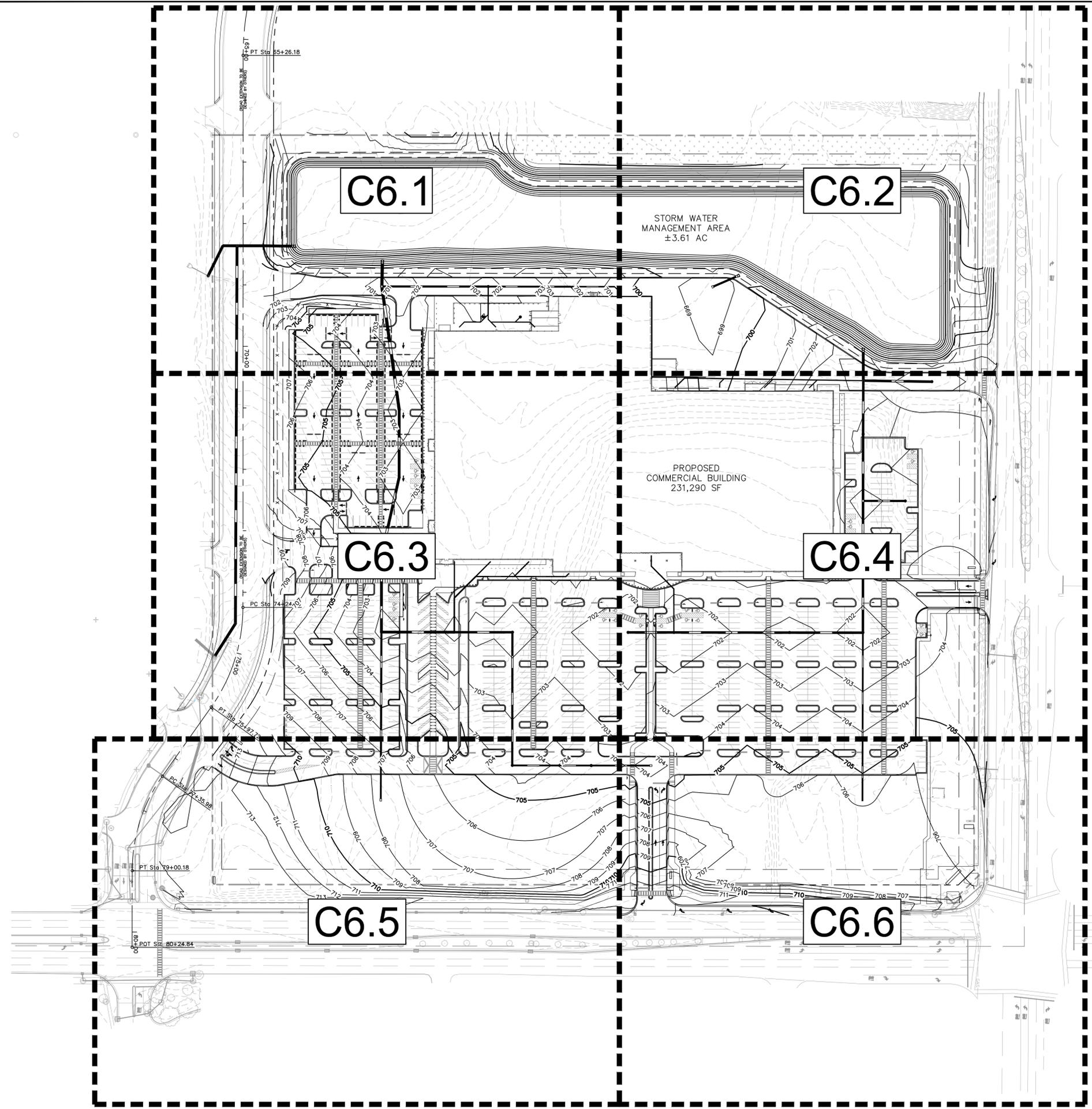
CROSS SECTIONS

**159TH & LAGRANGE
RETAIL**

VILLAGE OF ORLAND PARK ILLINOIS

SHEET NUMBER
C5.8

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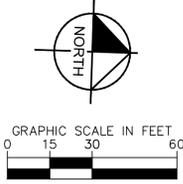
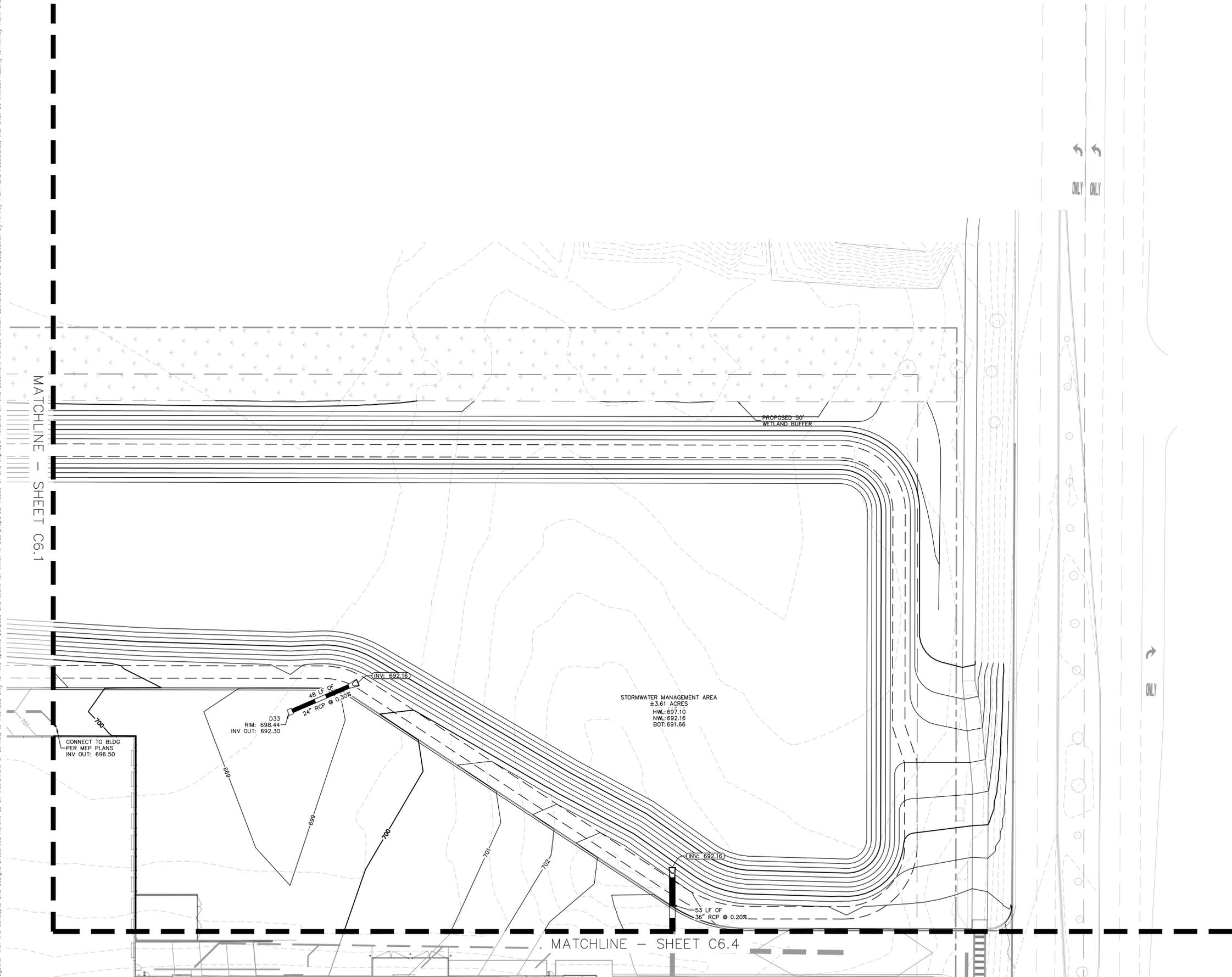
DRAINAGE LEGEND

FL	=	FLOW LINE
TC	=	TOP OF CURB
ME	=	MATCH ELEVATION
R	=	RIM ELEVATION
TW	=	TOP OF WALL
FG	=	FINISHED GRADE
---	XXX	PROPOSED CONTOUR
---	---	EXISTING CONTOUR
---	---	RIDGE LINE
X XXX		SLOPE AND FLOW DIRECTION
←		100-YEAR OVERLAND OVERFLOW ROUTE
---		PROPOSED SWALE
---		RIP RAP (SEE DETAILS)
---		PROPOSED STORM SEWER LINE
○		PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
●		PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772) (GRASS USE NEENAH R-1786)
□		PROPOSED CATCH BASIN
■		PROPOSED 2' INLET

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	No.	DATE	BY											
<p>KHA PROJECT 149621089</p> <p>DATE 12/22/2025</p> <p>SCALE AS SHOWN XXX</p> <p>DRAWN BY XXX</p> <p>CHECKED BY XXX</p>	<p>OVERALL DRAINAGE PLAN</p>	<p>ILLINOIS</p> <p>VILLAGE OF ORLAND PARK</p>												
<p>159TH & LAGRANGE RETAIL</p>	<p>SHEET NUMBER C6.0</p>													

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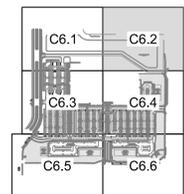
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DRAINAGE LEGEND

FL = FLOW LINE	XXX	PROPOSED CONTOUR
TC = TOP OF CURB	---XXX---	EXISTING CONTOUR
ME = MATCH ELEVATION	---	RIDGE LINE
R = RIM ELEVATION	X/XXX%	SLOPE AND FLOW DIRECTION
TW = TOP OF WALL	←	100-YEAR OVERLAND OVERFLOW ROUTE
FG = FINISHED GRADE	▣	PROPOSED SWALE
	▣	RIP RAP (SEE DETAILS)
	▣	PROPOSED STORM SEWER LINE
	⊙	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
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	□	PROPOSED CATCH BASIN
	▣	PROPOSED 2' INLET

STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D33	CATCH BASIN RIM: 698.44 INV OUT: 692.30 (NW, 24")

STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
FES 3	FES INV IN: 692.16 (SE, 24")
FES 4	FES INV IN: 692.16 (E, 36")



KEY MAP:
1" = 800'

No.	REVISIONS	DATE

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KHA PROJECT: 149621089
DATE: 12/22/2025
SCALE AS SHOWN
DESIGNED BY: THOMAS J. SZFRANSKI
ILLINOIS LICENSE NUMBER: 062.070698
DRAWN BY: XXX
DATE OF EXPIRATION: 11/30/27
CHECKED BY: XXX
DATE: 12/22/2025

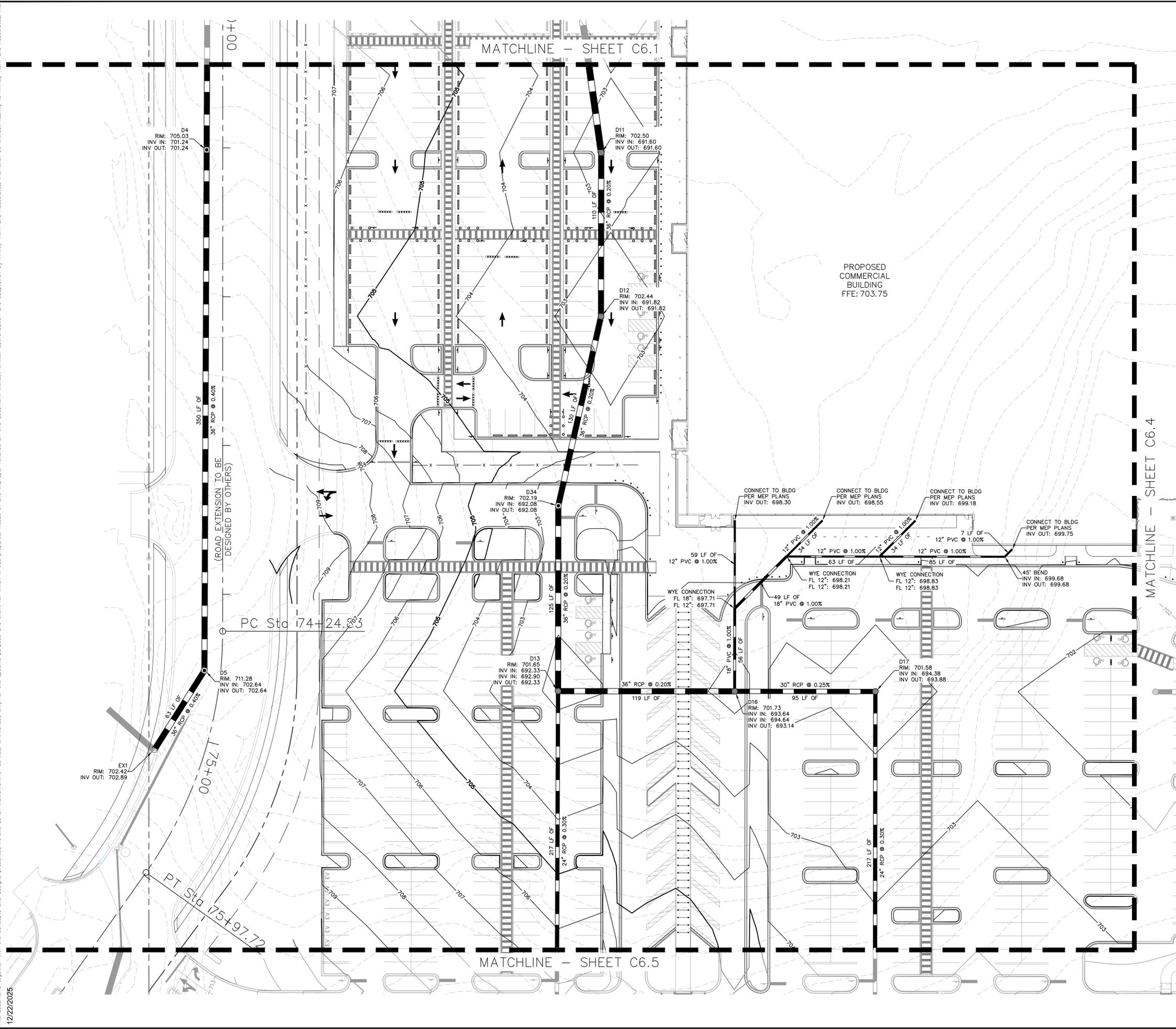
DRAINAGE PLAN

**159TH & LAGRANGE
RETAIL**

ILLINOIS
VILLAGE OF ORLAND PARK

SHEET NUMBER
C6.2

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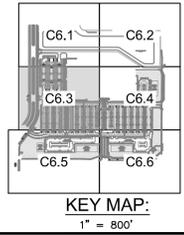
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---XXX--- PROPOSED CONTOUR
 - - - - - XXX - - - - - EXISTING CONTOUR

—X/XXX— SLOPE AND FLOW DIRECTION
 —100— SLOPE AND FLOW DIRECTION
 —100— 100-YEAR OVERLAND OVERFLOW ROUTE
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 [Symbol] RIP RAP (SEE DETAILS)
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 [Symbol] PROPOSED CATCH BASIN
 [Symbol] PROPOSED 2' INLET

STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D4	CLOSED LID MANHOLE RIM: 705.03 INV IN: 701.24 (E, 36") INV OUT: 701.24 (W, 36")
D5	CLOSED LID MANHOLE RIM: 711.28 INV IN: 702.64 (SE, 36") INV OUT: 702.64 (W, 36")
D11	OPEN LID MANHOLE RIM: 702.50 INV IN: 691.60 (E, 36") INV OUT: 691.60 (W, 42")
D12	OPEN LID MANHOLE RIM: 702.44 INV IN: 691.82 (E, 36") INV OUT: 691.82 (W, 36")
D13	OPEN LID MANHOLE RIM: 701.65 INV IN: 692.33 (E, 24") INV IN: 692.30 (W, 36") INV OUT: 692.33 (W, 36")
D16	OPEN LID MANHOLE RIM: 701.73 INV IN: 693.64 (N, 30") INV IN: 694.64 (W, 18") INV OUT: 693.14 (S, 36")
D17	OPEN LID MANHOLE RIM: 701.58 INV IN: 694.38 (E, 24") INV OUT: 693.88 (S, 30")
D34	MH - CLOSED LID RIM: 702.19 INV IN: 692.08 (E, 36") INV OUT: 692.08 (W, 36")
EX1	CONNECT TO EXISTING STORM INLET #3771 RIM: 702.42 INV OUT: 702.89 (NW, 36")



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KHA PROJECT 149621089
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159TH & LAGRANGE RETAIL
 VILLAGE OF ORLAND PARK

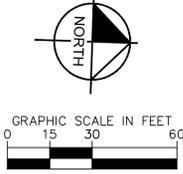
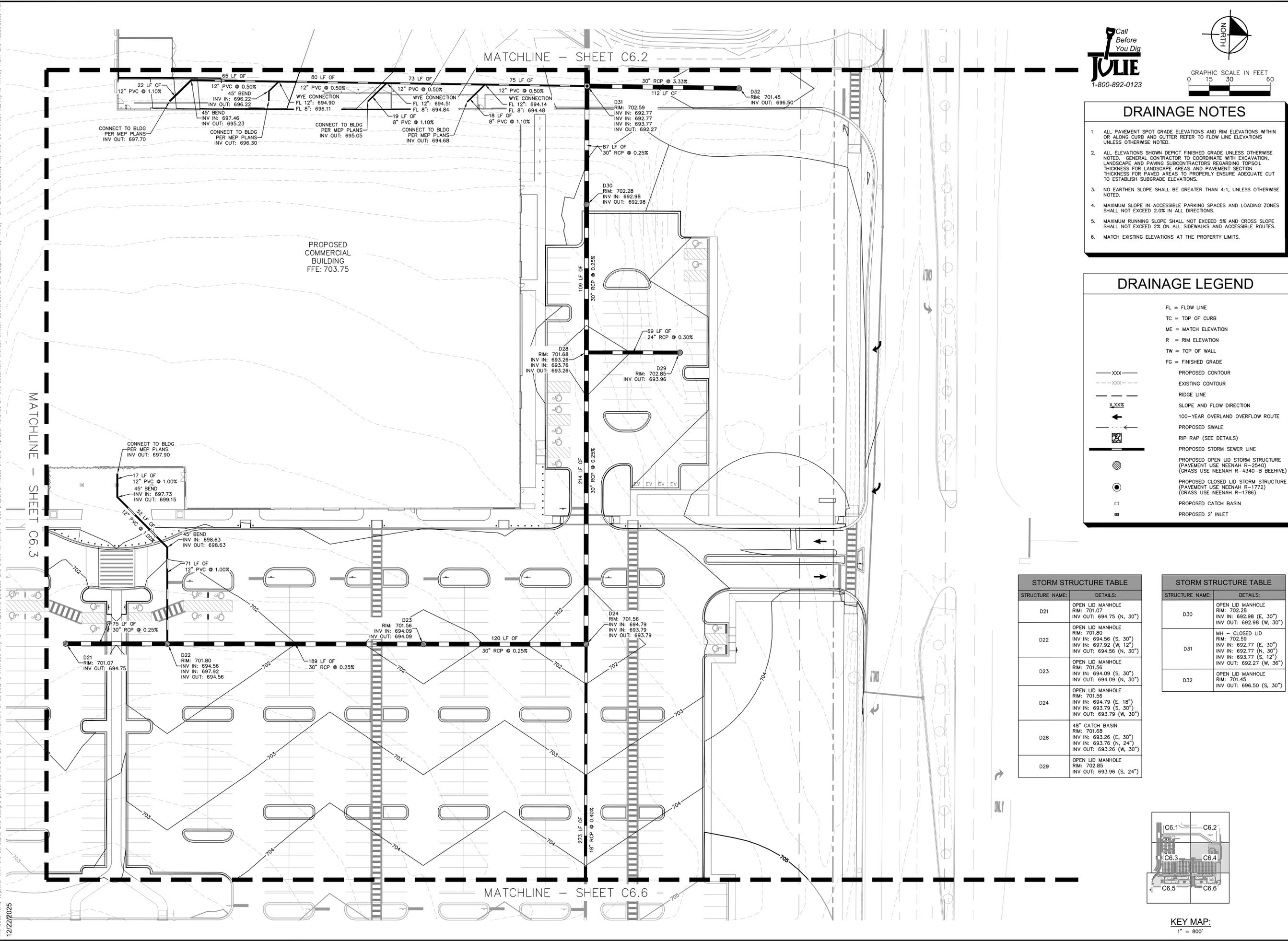
DRAINAGE PLAN

SHEET NUMBER **C6.3**

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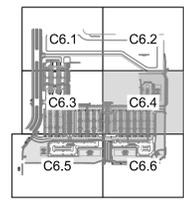


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 - XXX% SLOPE AND FLOW DIRECTION
 - XXX% 100-YEAR OVERLAND OVERFLOW ROUTE
 - XXX--- PROPOSED SWALE
 - XXX--- RIP RAP (SEE DETAILS)
 - XXX--- PROPOSED STORM SEWER LINE
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 - XXX--- PROPOSED CATCH BASIN
 - XXX--- PROPOSED 2' INLET

STRUCTURE NAME:	DETAILS:
D21	OPEN LID MANHOLE RIM: 701.07 INV OUT: 694.75 (N, 30")
D22	OPEN LID MANHOLE RIM: 701.80 INV IN: 694.56 (S, 30") INV IN: 697.92 (W, 12") INV OUT: 694.56 (N, 30")
D23	OPEN LID MANHOLE RIM: 701.56 INV IN: 694.09 (S, 30") INV OUT: 694.09 (N, 30")
D24	OPEN LID MANHOLE RIM: 701.56 INV IN: 694.79 (E, 18") INV IN: 693.79 (S, 30") INV OUT: 693.79 (W, 30")
D28	48" CATCH BASIN RIM: 701.58 INV IN: 693.26 (E, 30") INV IN: 693.76 (N, 24") INV OUT: 693.26 (W, 30")
D29	OPEN LID MANHOLE RIM: 702.85 INV OUT: 693.96 (S, 24")

STRUCTURE NAME:	DETAILS:
D30	OPEN LID MANHOLE RIM: 702.28 INV IN: 692.98 (E, 30") INV OUT: 692.98 (W, 30")
D31	MH - CLOSED LID RIM: 702.59 INV IN: 692.77 (E, 30") INV IN: 692.77 (N, 30") INV IN: 693.77 (S, 12") INV OUT: 692.27 (W, 36")
D32	OPEN LID MANHOLE RIM: 701.45 INV OUT: 696.50 (S, 30")



KEY MAP:
1" = 800'

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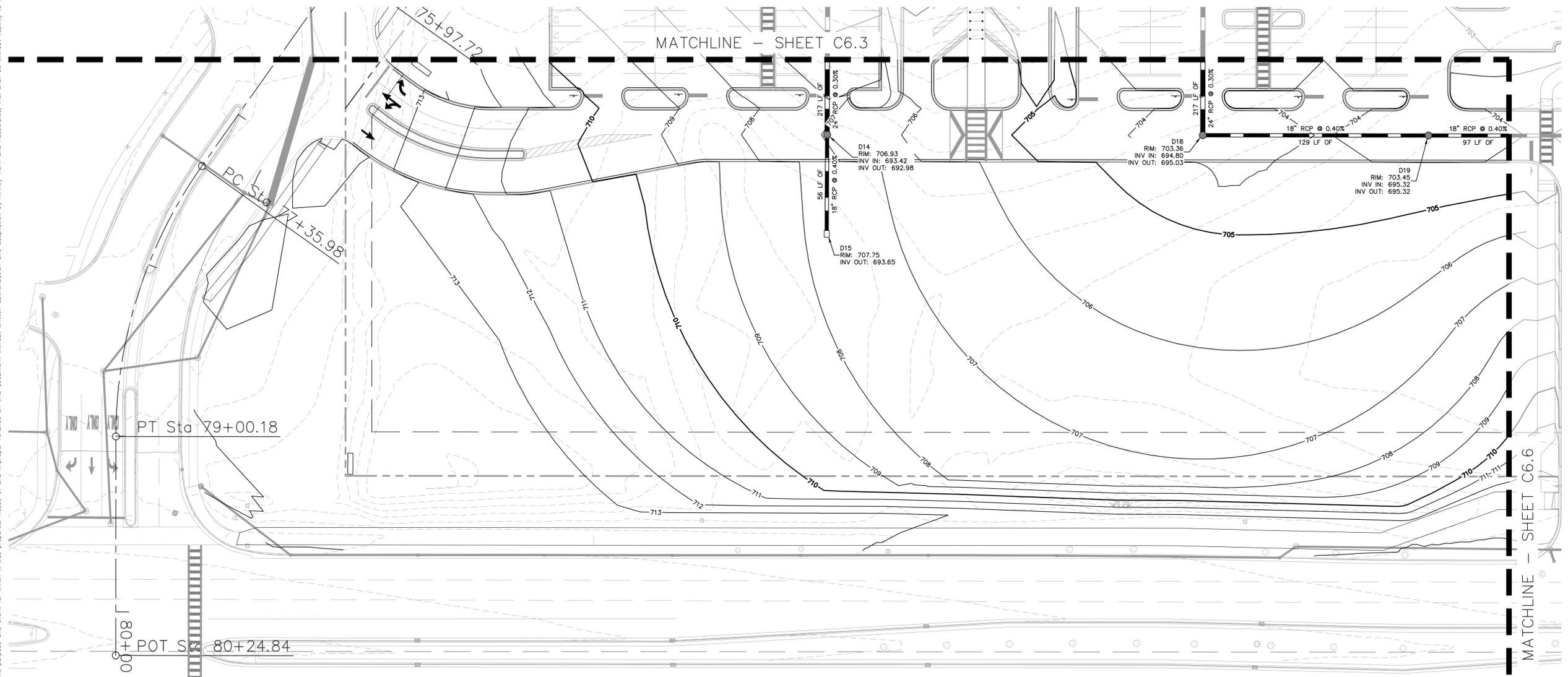
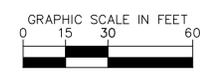
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DATE OF EXPIRATION: 11/30/27
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159TH & LAGRANGE RETAIL
VILLAGE OF ORLAND PARK
SHEET NUMBER
C6.4

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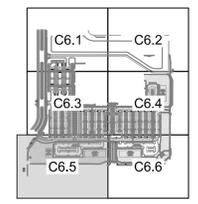
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STORM STRUCTURE TABLE

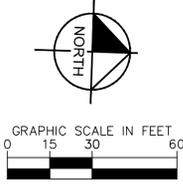
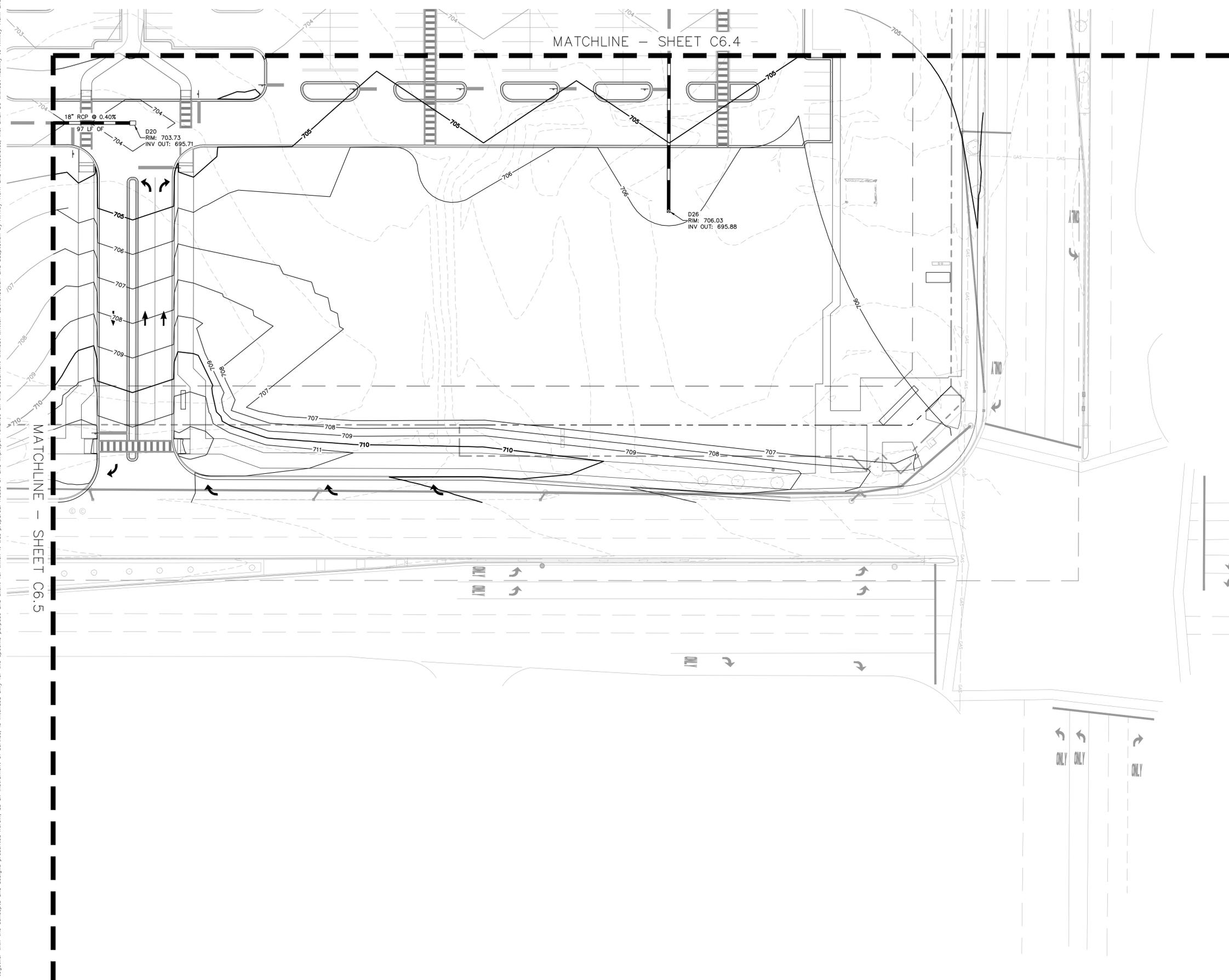
STRUCTURE NAME:	DETAILS:
D14	OPEN LID MANHOLE RIM: 706.93 INV IN: 693.42 (E, 18") INV OUT: 692.98 (W, 24")
D15	48" CATCH BASIN RIM: 707.75 INV OUT: 693.65 (W, 18")
D18	OPEN LID MANHOLE RIM: 703.36 INV IN: 694.80 (N, 18") INV OUT: 695.03 (W, 24")
D19	OPEN LID MANHOLE RIM: 703.45 INV IN: 695.32 (N, 18") INV OUT: 695.32 (S, 18")



KEY MAP:
1" = 800'

<h1 style="margin: 0;">DRAINAGE PLAN</h1>	<h1 style="margin: 0;">159TH & LAGRANGE RETAIL</h1>
<p>KHA PROJECT: 149621089 DATE: 12/22/2025 SCALE: AS SHOWN DESIGNED BY: XXX DRAWN BY: XXX CHECKED BY: XXX</p>	<p>LICENSED PROFESSIONAL: THOMAS J. SZFRANSKI ILLINOIS LICENSE NUMBER: 062.070698 DATE OF EXPIRATION: 11/30/27</p>
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<p>SHEET NUMBER C6.5</p>	<p>VILLAGE OF ORLAND PARK</p>
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MATCHLINE - SHEET C6.4

MATCHLINE - SHEET C6.5

DRAINAGE NOTES

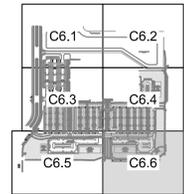
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- PROPOSED CATCH BASIN
- PROPOSED 2' INLET

STORM STRUCTURE TABLE

STRUCTURE NAME:	DETAILS:
D20	48" CATCH BASIN RIM: 703.73 INV OUT: 695.71 (S, 18")
D26	2' INLET RIM: 706.03 INV OUT: 695.88 (W, 18")



KEY MAP:
1" = 800'

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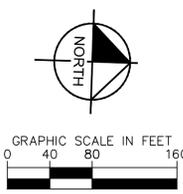
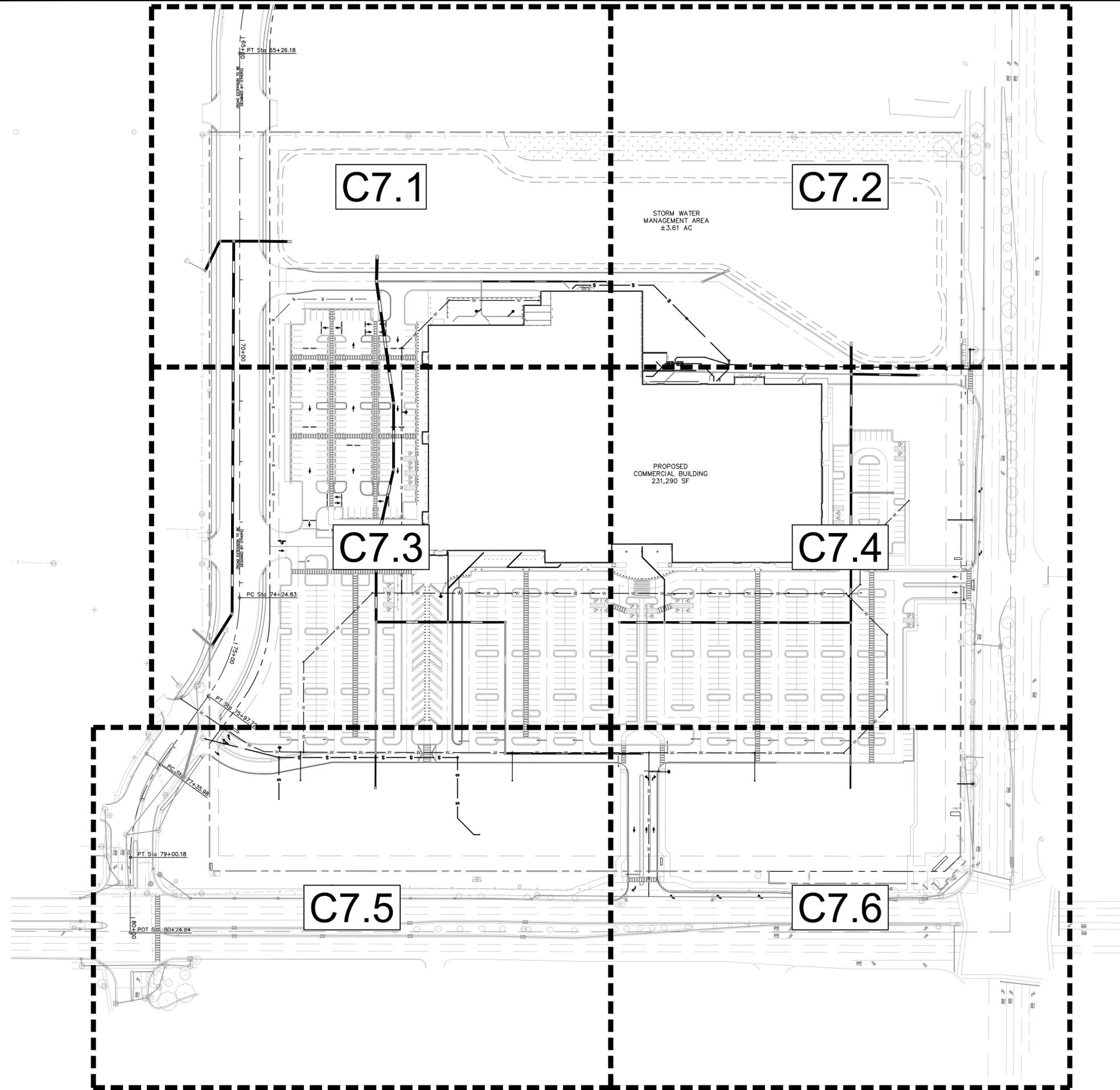
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DRAINAGE PLAN

159TH & LAGRANGE RETAIL
 VILLAGE OF ORLAND PARK ILLINOIS

SHEET NUMBER
C6.6



UTILITY NOTES

- ALL WATER LINES $\geq 3"$ SHALL BE DUCTILE IRON PIPE, CLASS 52.
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UTILITY LEGEND

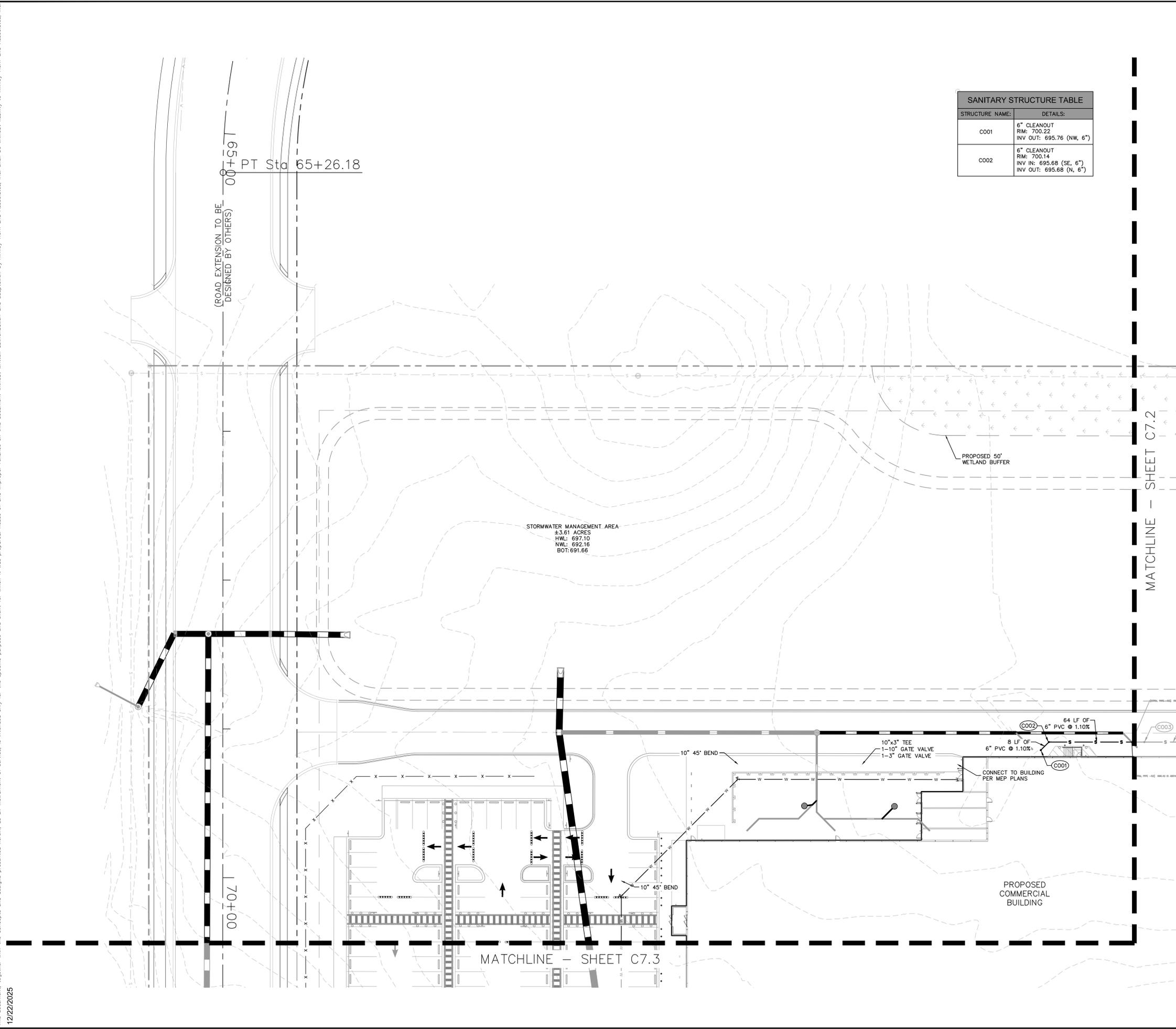
- | | |
|---------|--|
| — W — | EX. WATER LINE |
| ⊙ | EX. TRAFFIC MANHOLE |
| — S — | EX. SANITARY SEWER LINE |
| ⊙ | EX. SANITARY SEWER MANHOLE |
| — S — | EX. STORM SEWER LINE |
| ⊙ | EX. STORM MANHOLE |
| — S — | EX. STORM INLET |
| — G — | EX. GAS LINE |
| ⊙ | UTILITY POLE |
| — OHW — | EX. OVERHEAD UTILITY LINE |
| — UGE — | EX. UNDERGROUND ELECTRIC LINE |
| — CBL — | EX. UNDERGROUND CABLE |
| ⊙ | EX. TELEPHONE MANHOLE |
| — S — | PROPOSED STORM SEWER LINE |
| ⊙ | PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE) |
| ⊙ | PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772) (GRASS USE NEENAH R-1786) |
| — S — | PROPOSED SANITARY SEWER LINE |
| ⊙ | PROPOSED SANITARY MANHOLE |
| ⊙ | PROPOSED STORM/SANITARY CLEANOUT |
| — W — | PROPOSED WATER LINE |
| ⊙ | PROPOSED VALVE VAULT |
| ⊙ | PROPOSED VALVE BOX |
| ⊙ | PROPOSED FIRE HYDRANT |
| ⊙ | PROPOSED LIGHT POLE |
| ⊙ | RIP RAP (SEE DETAILS) |

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	<p>KHA PROJECT 149621089</p> <p>DATE 12/22/2025</p> <p>SCALE AS SHOWN DESIGNED BY XXX DRAWN BY XXX CHECKED BY XXX</p>	<p>OVERALL UTILITY PLAN</p>
<p>SHEET NUMBER C7.0</p>		

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12/22/2025



SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
C001	6" CLEANOUT RIM: 700.22 INV OUT: 695.76 (NW, 6")
C002	6" CLEANOUT RIM: 700.14 INV IN: 695.68 (SE, 6") INV OUT: 695.68 (N, 6")

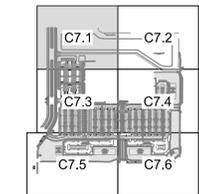
Call Before You Dig
JULIE
1-800-892-0123

GRAPHIC SCALE IN FEET
0 15 30 60

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UTILITY LEGEND

	EX. WATER LINE
	EX. TRAFFIC MANHOLE
	EX. SANITARY SEWER LINE
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	EX. STORM MANHOLE
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	RIP RAP (SEE DETAILS)



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630-487-5500
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LICENSED PROFESSIONAL: THOMAS J. SZAFRANSKI
ILLINOIS LICENSE NUMBER: 062.070698
DATE OF EXPIRATION: 11/30/27

KHA PROJECT: 149621089
DATE: 12/22/2025
SCALE: AS SHOWN
DESIGNED BY: XXX
DRAWN BY: XXX
CHECKED BY: XXX

UTILITY PLAN

159TH & LAGRANGE RETAIL

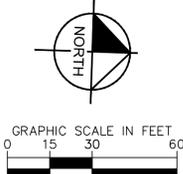
VILLAGE OF ORLAND PARK ILLINOIS

SHEET NUMBER
C7.1

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 12/22/2025
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STRUCTURE NAME:	DETAILS:	STRUCTURE NAME:	DETAILS:
C003	6" CLEANOUT RIM: 699.43 INV IN: 694.97 (S, 6") INV OUT: 694.97 (N, 6")	CO21	6" CLEANOUT RIM: 699.53 INV IN: 693.94 (SE, 6") INV OUT: 693.94 (NW, 6") INV OUT: 693.94 (SW, 6")
C004	6" CLEANOUT RIM: 698.72 INV IN: 694.26 (S, 6") INV OUT: 694.26 (NE, 6")	EX-SSMH-01	SANITARY MANHOLE RIM: 693.69 INV IN: 690.17 (S, 6")
C007	6" CLEANOUT RIM: 699.40 INV IN: 693.14 (S, 6") INV OUT: 693.14 (N, 6")	GREASE TRAP 1	GREASE TRAP RIM: 694.40 INV IN: 693.85 (N, 6") INV OUT: 693.85 (S, 6")
C008	6" CLEANOUT RIM: 699.40 INV IN: 693.64 (SE, 6") INV OUT: 693.64 (N, 6")	GREASE TRAP 2	GREASE TRAP RIM: 694.40 INV IN: 693.86 (S, 6") INV OUT: 693.86 (N, 6")
C009	CLEAN OUT RIM: 699.40 INV IN: 693.69 (E, 6") INV OUT: 693.69 (NW, 6")	S-01	SANITARY MANHOLE RIM: 698.75 INV IN: 692.68 (S, 6") INV IN: 692.68 (E, 6") INV IN: 692.68 (W, 8") INV OUT: 692.58 (N, 8")
C010	CLEAN OUT RIM: 699.40 INV IN: 693.77 (S, 6") INV IN: 693.77 (N, 6") INV OUT: 693.77 (W, 6")	S-03	SANITARY MANHOLE RIM: 701.90 INV IN: 690.32 (E, 8") INV OUT: 690.22 (N, 6")
C011	CLEAN OUT RIM: 699.49 INV IN: 693.94 (SE, 6") INV OUT: 693.94 (N, 6")	S-06	MH RIM: 697.87 INV IN: 693.40 (SW, 6") INV OUT: 693.30 (NE, 8")
C014	CLEAN OUT RIM: 698.27 INV IN: 694.24 (NE, 6") INV OUT: 694.24 (S, 6")	S-07	MH RIM: 696.78 INV IN: 692.81 (SW, 8") INV OUT: 692.71 (E, 8")
C017	6" CLEANOUT RIM: 696.79 INV IN: 692.76 (SE, 6") INV OUT: 692.76 (W, 6")	S-22	6" NYLOPLAST DRAIN BASIN RIM: 699.52 INV IN: 693.81 (NE, 6")

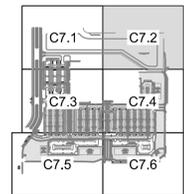
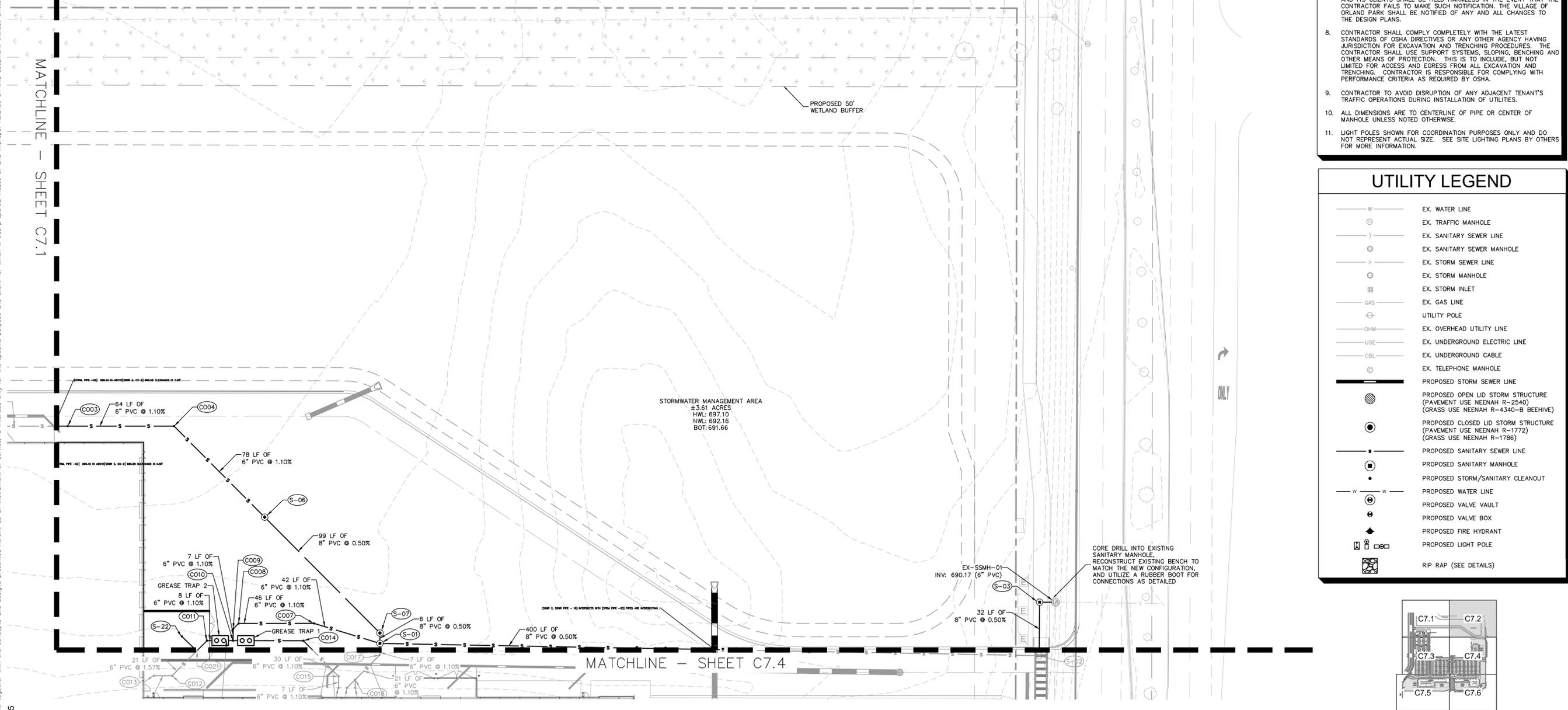

 Call Before You Dig
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 GRAPHIC SCALE IN FEET

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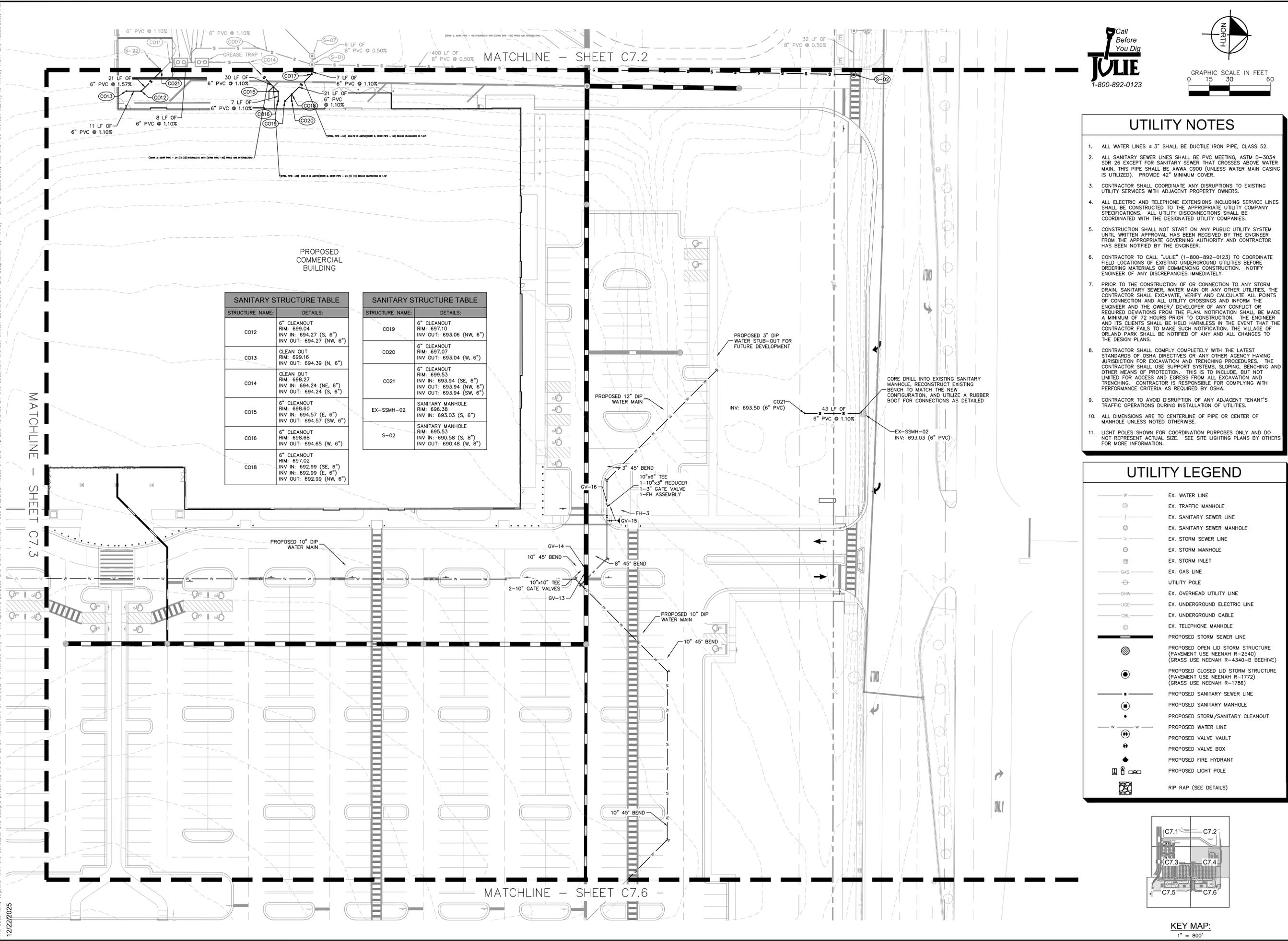
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	PROPOSED LIGHT POLE
	RIP RAP (SEE DETAILS)



KEY MAP:
1" = 800'

<h2 style="margin: 0;">UTILITY PLAN</h2>	<h2 style="margin: 0;">159TH & LAGRANGE RETAIL</h2>
KHA PROJECT 149621089 DATE 12/22/2025 SCALE AS SHOWN DESIGNED BY XXX DRAWN BY XXX CHECKED BY XXX	LICENSED PROFESSIONAL THOMAS J. SZFRANSKI ILLINOIS LICENSE NUMBER 062.070698 DATE OF EXPIRATION: 11/30/27 DATE: 12/22/2025
SHEET NUMBER <h1 style="margin: 0;">C7.2</h1>	ILLINOIS VILLAGE OF ORLAND PARK

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 12/22/2025



Call Before You Dig
JULIE
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NORTH
 GRAPHIC SCALE IN FEET
 0 15 30 60

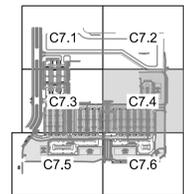
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C012	6" CLEANOUT RIM: 699.04 INV IN: 694.27 (S, 6") INV OUT: 694.27 (NW, 6")
C013	CLEAN OUT RIM: 699.16 INV OUT: 694.39 (N, 6")
C014	CLEAN OUT RIM: 698.27 INV IN: 694.24 (NE, 6") INV OUT: 694.24 (S, 6")
C015	6" CLEANOUT RIM: 698.60 INV IN: 694.57 (E, 6") INV OUT: 694.57 (SW, 6")
C016	6" CLEANOUT RIM: 698.68 INV OUT: 694.65 (W, 6")
C018	6" CLEANOUT RIM: 697.02 INV IN: 692.99 (SE, 6") INV OUT: 692.99 (E, 6")

STRUCTURE NAME:	DETAILS:
C019	6" CLEANOUT RIM: 697.10 INV OUT: 693.06 (NW, 6")
C020	6" CLEANOUT RIM: 697.07 INV OUT: 693.04 (W, 6")
C021	6" CLEANOUT RIM: 699.53 INV IN: 693.94 (SE, 6") INV OUT: 693.94 (NW, 6")
EX-SSMH-02	SANITARY MANHOLE RIM: 696.38 INV IN: 693.03 (S, 6")
S-02	SANITARY MANHOLE RIM: 695.53 INV IN: 690.58 (S, 8") INV OUT: 690.48 (W, 8")

UTILITY LEGEND

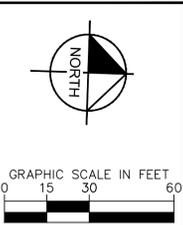
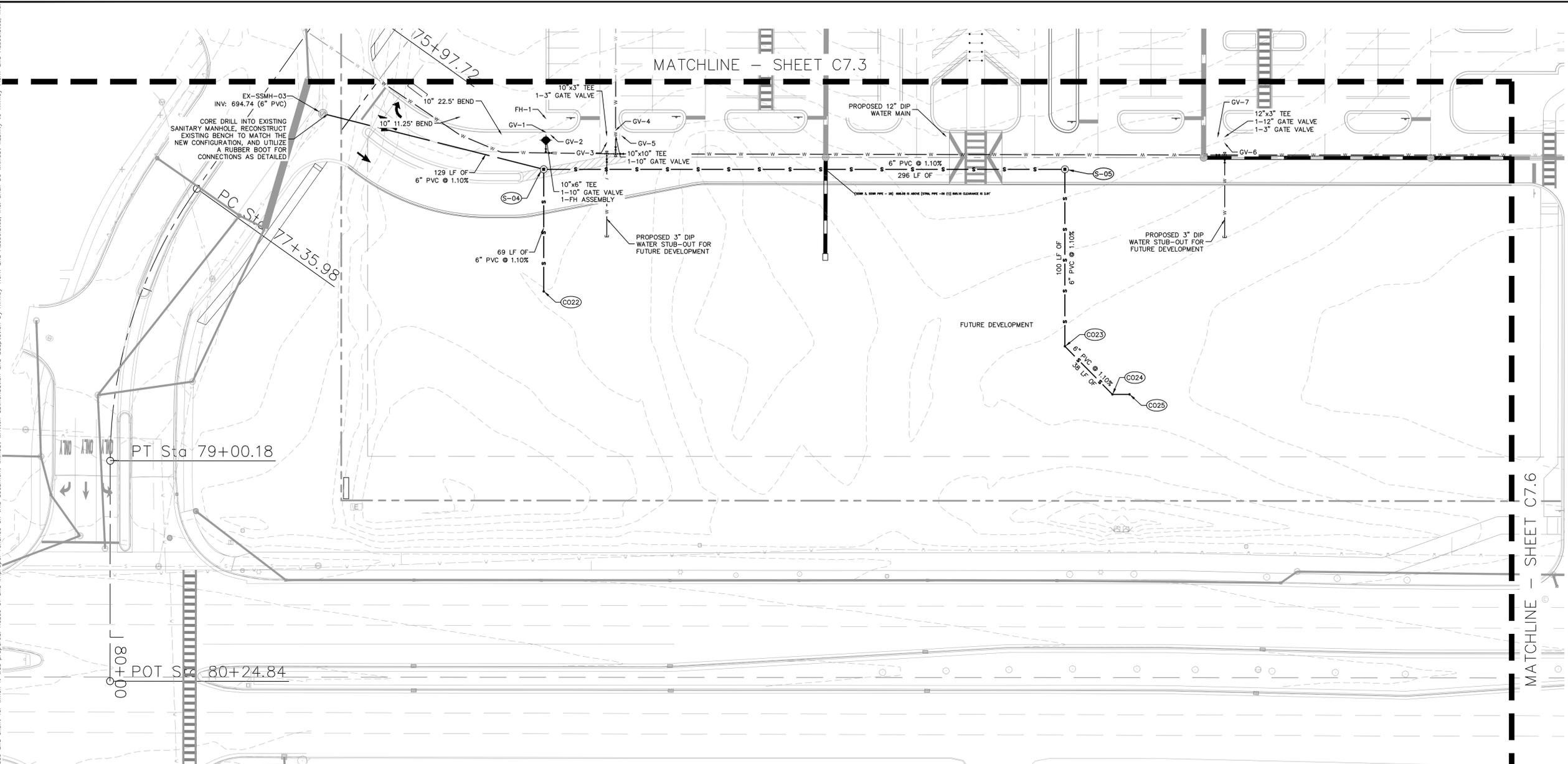
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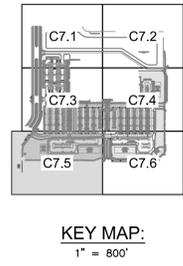
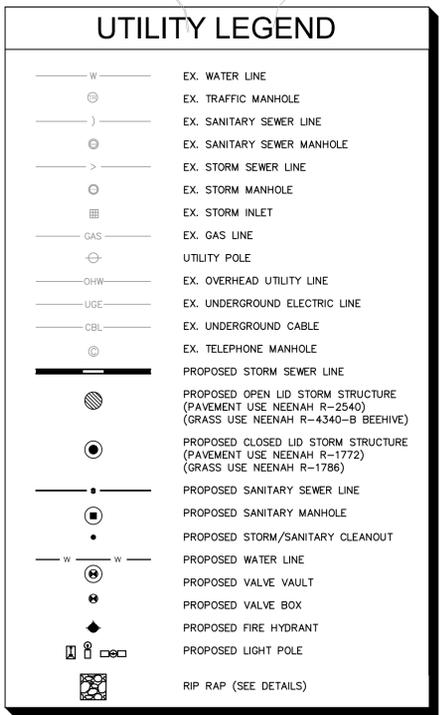
<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">© 2026 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WARRENVILLE, IL 60555 WWW.KIMLEY-HORN.COM</p>	<p style="font-size: 8px; margin: 0;">LICENSED PROFESSIONAL THOMAS J. SZFRANSKI ILLINOIS LICENSE NUMBER 062.070698 DATE OF EXPIRATION: 11/30/27</p>
<p style="font-size: 8px; margin: 0;">KHA PROJECT 149621089 DATE 12/22/2025 SCALE AS SHOWN DESIGNED BY XXX DRAWN BY XXX CHECKED BY XXX</p>	<h2 style="margin: 0;">UTILITY PLAN</h2>
<h1 style="margin: 0;">159TH & LAGRANGE RETAIL</h1>	
<p style="font-size: 8px; margin: 0;">SHEET NUMBER C7.4</p>	
<p style="font-size: 8px; margin: 0;">ILLINOIS VILLAGE OF ORLAND PARK</p>	
	<p style="font-size: 8px; margin: 0;">REVISIONS No. _____ DATE _____</p>

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12/22/2025
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SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
C022	CLEAN OUT RIM: 711.62 INV OUT: 697.09 (W, 6")
C023	CLEAN OUT RIM: 706.24 INV IN: 700.69 (NE, 6") INV OUT: 700.69 (W, 6")
C024	CLEAN OUT RIM: 706.39 INV IN: 701.11 (N, 6") INV OUT: 701.11 (SW, 6")
C025	CLEAN OUT RIM: 706.34 INV OUT: 701.22 (S, 6")
EX-SSMH-03	SANITARY MANHOLE RIM: 698.37 INV IN: 694.74 (N, 6")
S-04	SANITARY MANHOLE RIM: 710.65 INV IN: 696.33 (N, 6") INV IN: 696.33 (E, 6") INV OUT: 696.16 (S, 6")
S-05	SANITARY MANHOLE RIM: 704.64 INV IN: 699.59 (E, 6") INV OUT: 699.59 (S, 6")

- ### UTILITY NOTES
- ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
 - ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
 - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
 - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 - CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/ DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE VILLAGE OF ORLAND PARK SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
 - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
 - CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
 - ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
 - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.



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ILLINOIS

VILLAGE OF ORLAND PARK

159TH & LAGRANGE
RETAIL

SHEET NUMBER
C7.5

LICENSED PROFESSIONAL

THOMAS J. SZAFRANSKI
ILLINOIS LICENSE NUMBER
062.070698
DATE OF EXPIRATION: 11/30/27

DATE: 12/22/2025

KHA PROJECT
149621089

DATE
12/22/2025

SCALE AS SHOWN
DESIGNED BY XXX

DRAWN BY XXX

CHECKED BY XXX

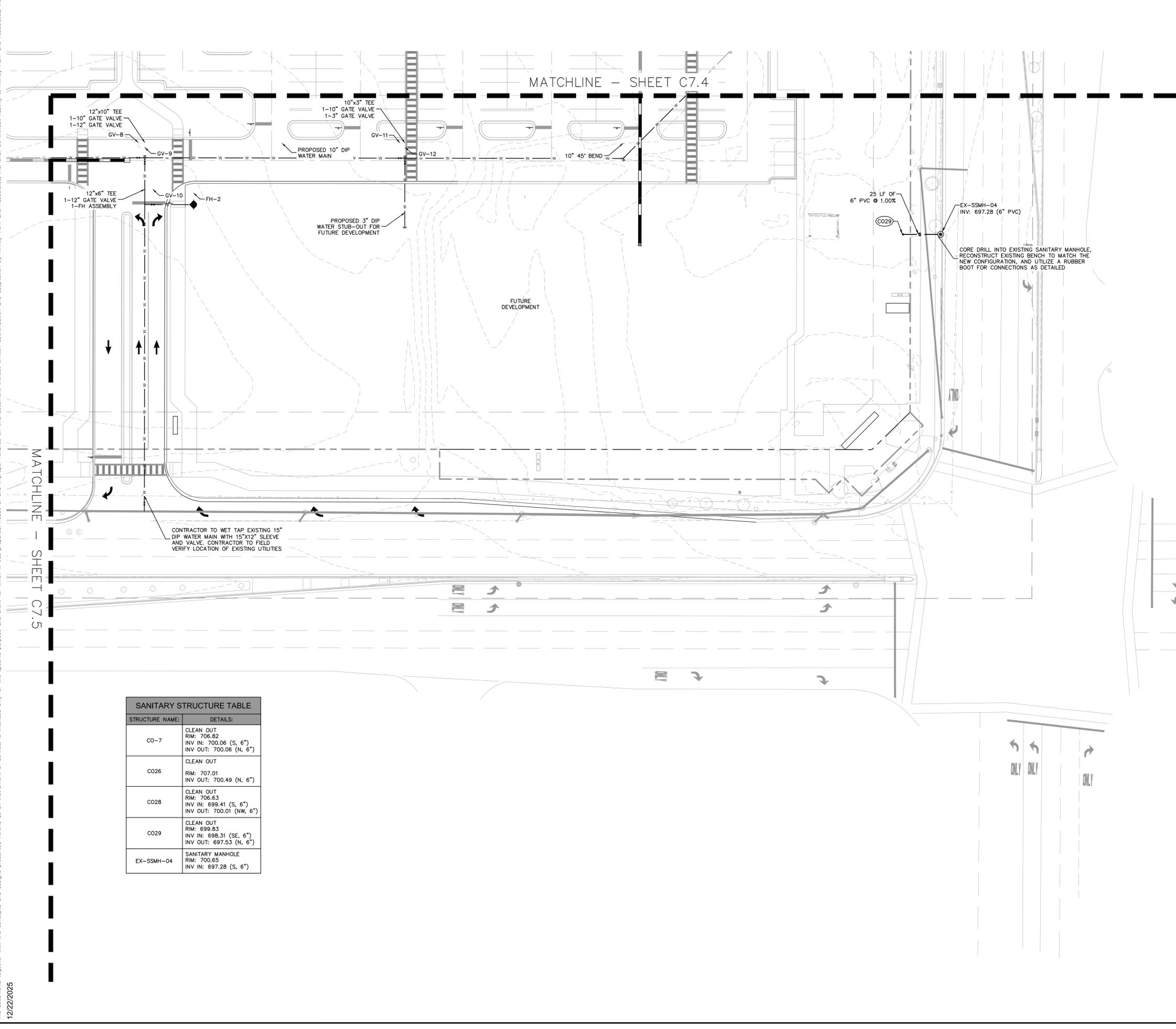
REVISIONS

No.	DATE	BY



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Call Before You Dig

JULIE

1-800-892-0123

GRAPHIC SCALE IN FEET

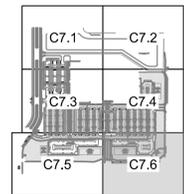
0 15 30 60

- ### UTILITY NOTES
- ALL WATER LINES \geq 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
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UTILITY LEGEND

— W —	EX. WATER LINE
⊙	EX. TRAFFIC MANHOLE
—) —	EX. SANITARY SEWER LINE
—) —	EX. SANITARY SEWER MANHOLE
— > —	EX. STORM SEWER LINE
⊙	EX. STORM MANHOLE
⊙	EX. STORM INLET
— GAS —	EX. GAS LINE
⊙	UTILITY POLE
— OHW —	EX. OVERHEAD UTILITY LINE
— UGE —	EX. UNDERGROUND ELECTRIC LINE
— CBL —	EX. UNDERGROUND CABLE
⊙	EX. TELEPHONE MANHOLE
—	PROPOSED STORM SEWER LINE
⊙	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
⊙	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772) (GRASS USE NEENAH R-1786)
—) —	PROPOSED SANITARY SEWER LINE
⊙	PROPOSED SANITARY MANHOLE
—) —	PROPOSED STORM/SANITARY CLEANOUT
— W —	PROPOSED WATER LINE
⊙	PROPOSED VALVE VAULT
⊙	PROPOSED VALVE BOX
⊙	PROPOSED FIRE HYDRANT
⊙	PROPOSED LIGHT POLE
⊙	RIP RAP (SEE DETAILS)

SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
CO-7	CLEAN OUT RIM: 706.82 INV IN: 700.06 (S, 6") INV OUT: 700.06 (N, 6")
CO26	CLEAN OUT RIM: 707.01 INV OUT: 700.49 (N, 6")
CO28	CLEAN OUT RIM: 706.63 INV IN: 699.41 (S, 6") INV OUT: 700.01 (NW, 6")
CO29	CLEAN OUT RIM: 699.83 INV IN: 698.31 (SE, 6") INV OUT: 697.53 (N, 6")
EX-SSMH-04	SANITARY MANHOLE RIM: 700.65 INV IN: 697.28 (S, 6")



REVISIONS

No.	DATE

ILLINOIS

159TH & LAGRANGE RETAIL

VILLAGE OF ORLAND PARK

SHEET NUMBER

C7.6

DATE

12/22/2025

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LICENSED PROFESSIONAL

KHA PROJECT

149621089

THOMAS J. SZFRANSKI

ILLINOIS LICENSE NUMBER

062.070698

DATE

12/22/2025

SCALE

AS SHOWN

DESIGNED BY

XXX

DATE OF EXPIRATION

11/30/27

DRAWN BY

XXX

CHECKED BY

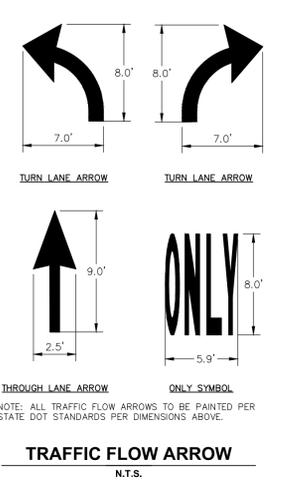
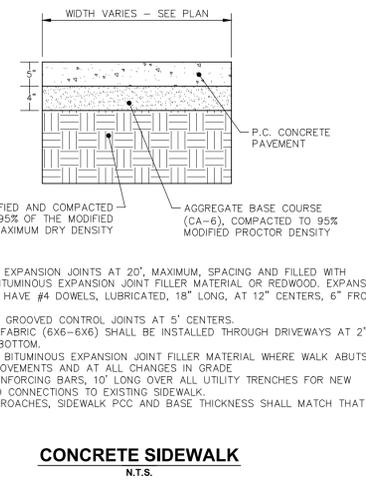
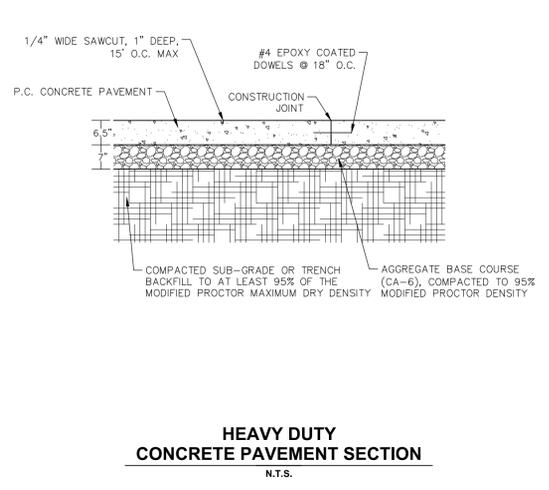
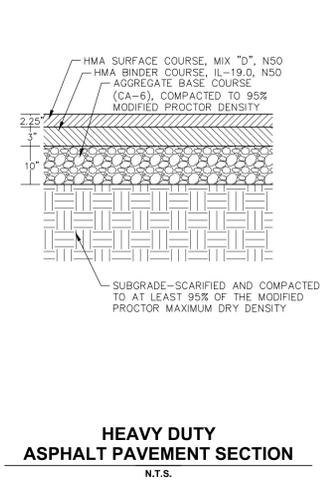
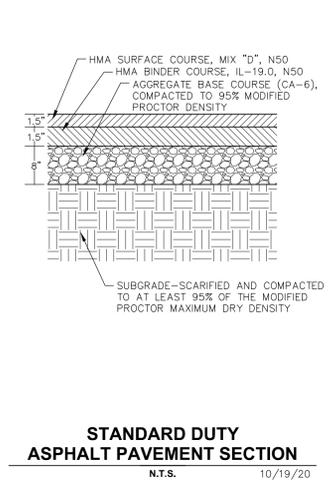
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DATE

12/22/2025

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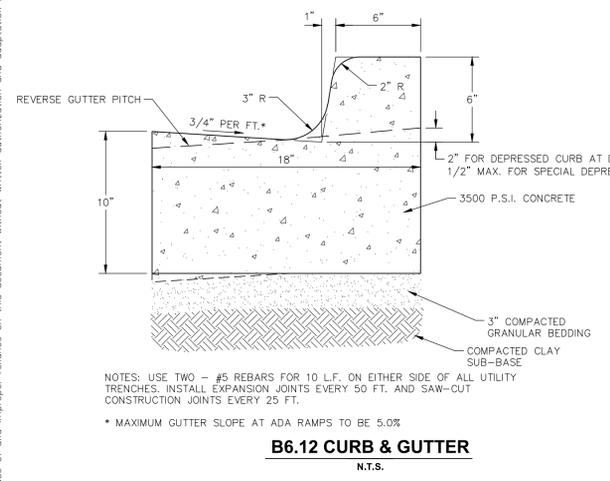
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N.T.S. 10/19/20

HEAVY DUTY ASPHALT PAVEMENT SECTION
N.T.S.

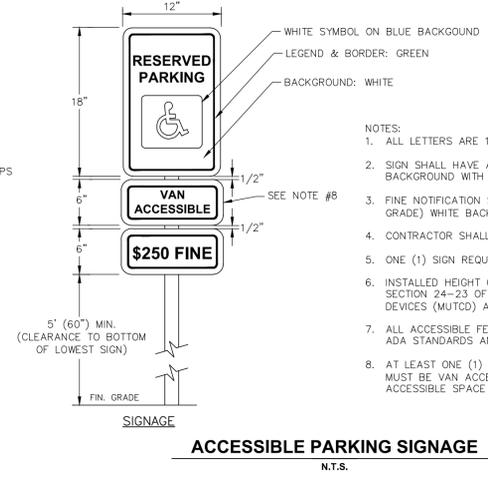
HEAVY DUTY CONCRETE PAVEMENT SECTION
N.T.S.

CONCRETE SIDEWALK
N.T.S.

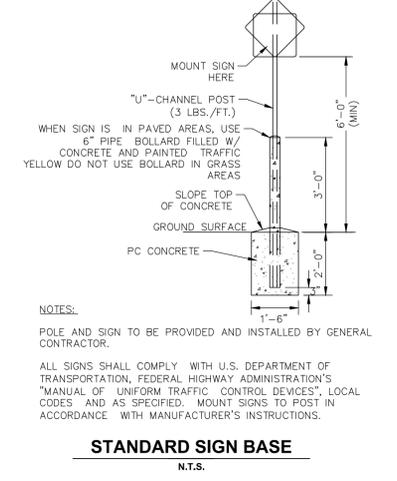
TRAFFIC FLOW ARROW
N.T.S.



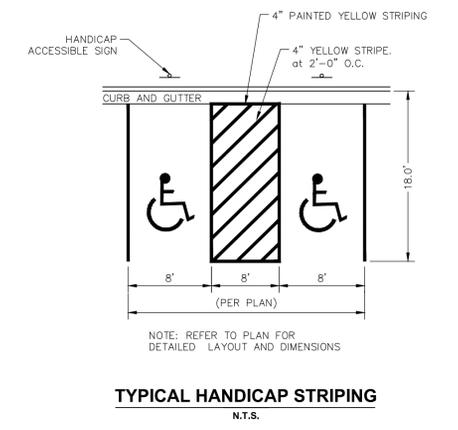
B6.12 CURB & GUTTER
N.T.S.



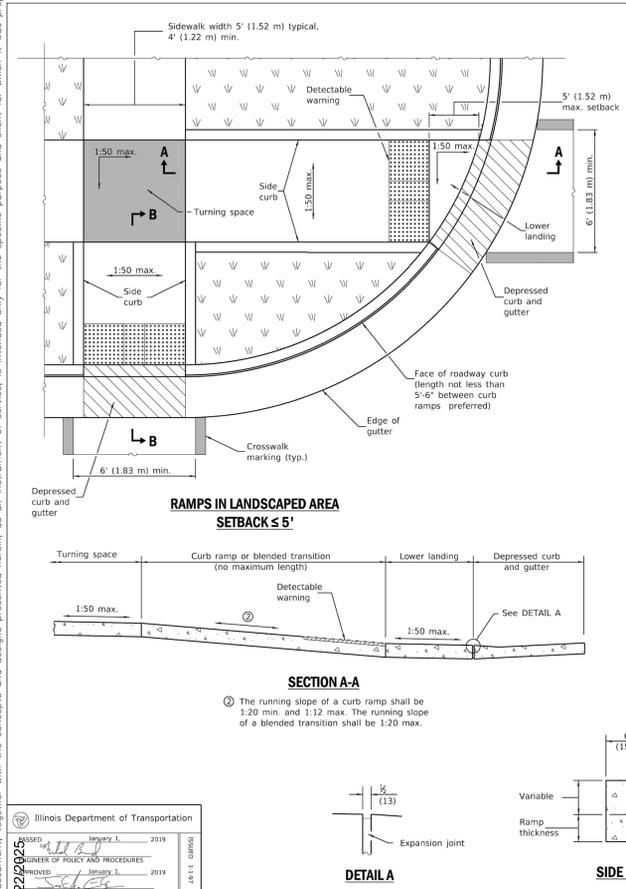
ACCESSIBLE PARKING SIGNAGE
N.T.S.



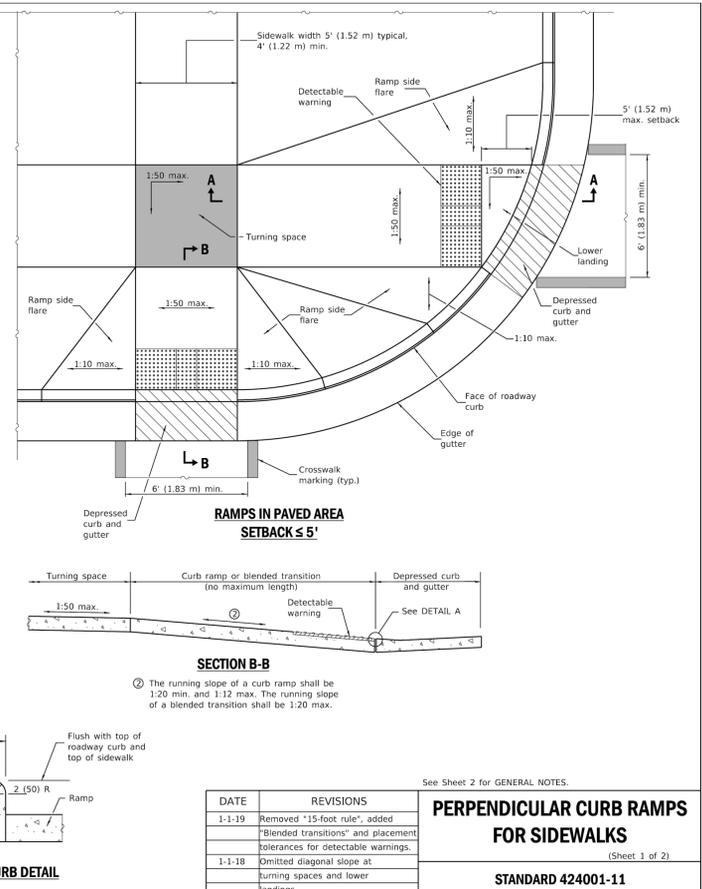
STANDARD SIGN BASE
N.T.S.



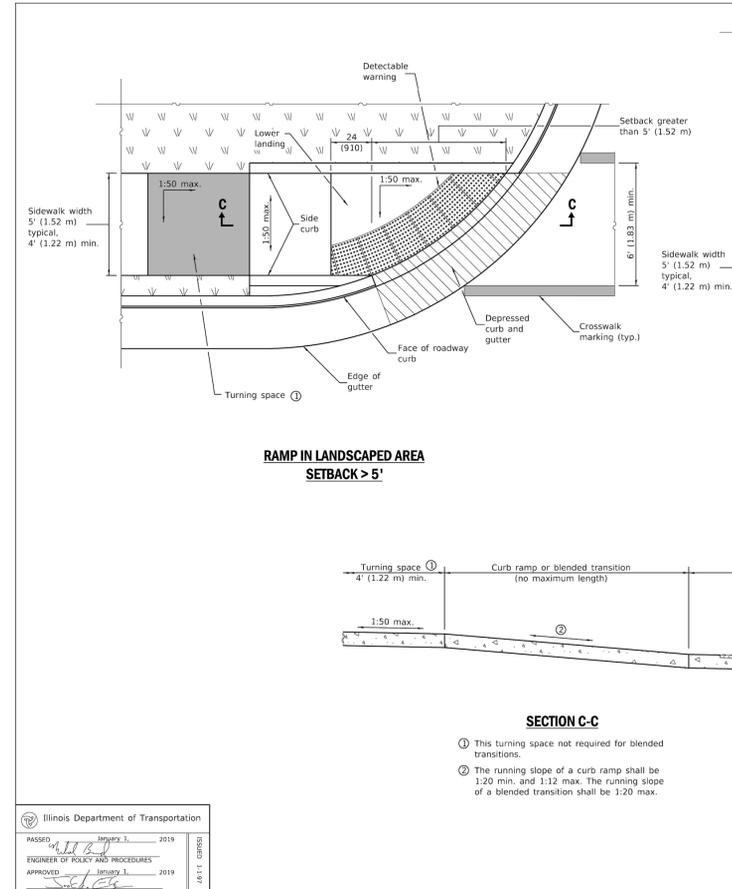
TYPICAL HANDICAP STRIPING
N.T.S.



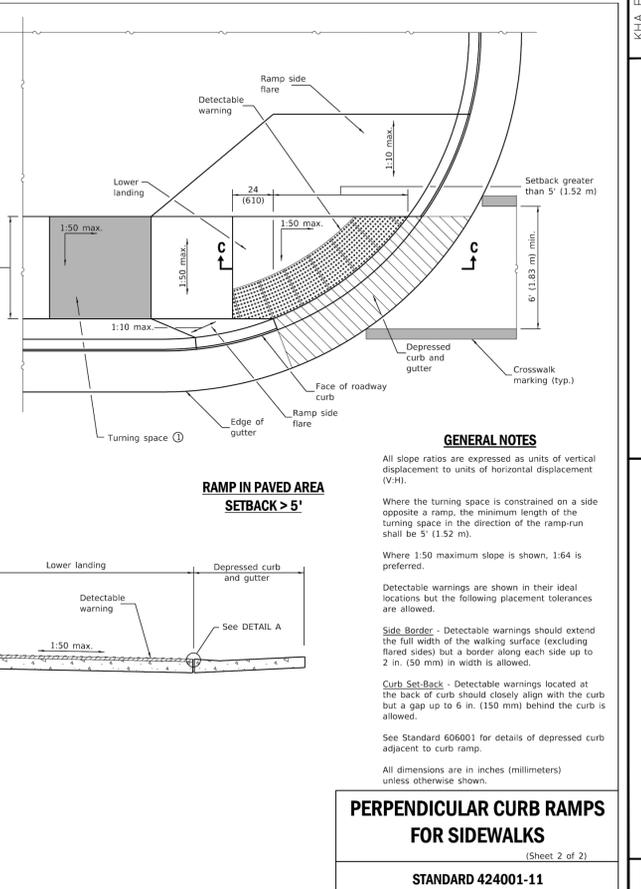
RAMPS IN LANDSCAPED AREA
SETBACK ≤ 5'



RAMPS IN PAVED AREA
SETBACK ≤ 5'



RAMP IN LANDSCAPED AREA
SETBACK > 5'



RAMP IN PAVED AREA
SETBACK > 5'

GENERAL NOTES

All slope ratios are expressed as units of vertical displacement to units of horizontal displacement (V:H).

Where the turning space is constrained on a side opposite a ramp, the minimum length of the turning space in the direction of the ramp-run shall be 5' (1.52 m).

Where 1:50 maximum slope is shown, 1:64 is preferred.

Detectable warnings are shown in their ideal locations but the following placement tolerances are allowed.

Side Border - Detectable warnings should extend the full width of the walking surface (excluding flared sides) but a border along each side up to 2 in. (50 mm) in width is allowed.

Curb Set-Back - Detectable warnings located at the back of curb should closely align with the curb but a gap up to 6 in. (150 mm) behind the curb is allowed.

See Standard 606001 for details of depressed curb adjacent to curb ramp.

All dimensions are in inches (millimeters) unless otherwise shown.

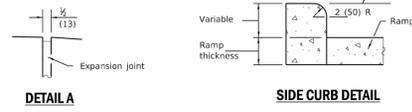
PERPENDICULAR CURB RAMPS FOR SIDEWALKS
(Sheet 2 of 2)
STANDARD 424001-11

See Sheet 2 for GENERAL NOTES.

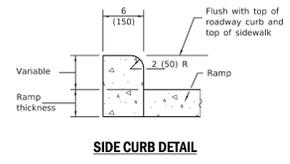
DATE	REVISIONS
1-1-19	Removed "15-foot rule", added "blended transitions" and placement tolerances for detectable warnings.
1-1-18	Omitted diagonal slope at turning spaces and lower landings.

PERPENDICULAR CURB RAMPS FOR SIDEWALKS
(Sheet 1 of 2)
STANDARD 424001-11

12/22/2025	Illinois Department of Transportation
12/22/2025	DESIGNED BY: THOMAS J. SZFRANSKI
12/22/2025	CHECKED BY: THOMAS J. SZFRANSKI
12/22/2025	DATE OF EXPIRATION: 11/30/27



DETAIL A



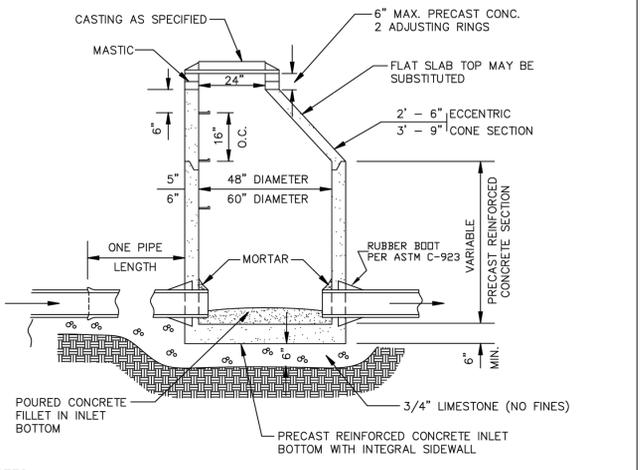
SIDE CURB DETAIL

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<p>CONSTRUCTION DETAILS</p>	<p>ILLINOIS</p>
<p>159TH & LAGRANGE RETAIL</p>	<p>VILLAGE OF ORLAND PARK</p>
<p>SHEET NUMBER C8.0</p>	<p>DATE: 12/22/2025</p>

NOT FOR CONSTRUCTION

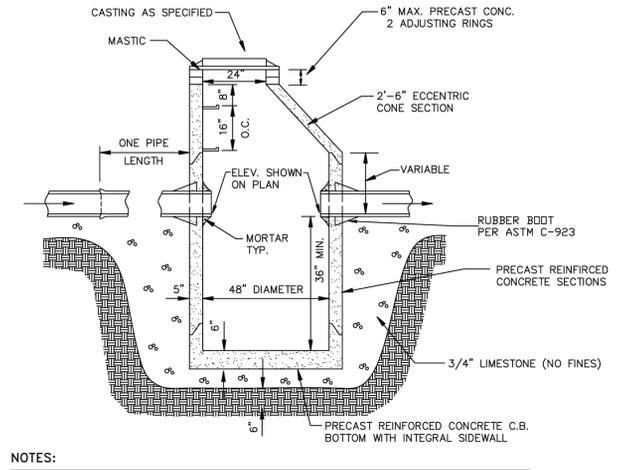
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DATE: 12/22/2025



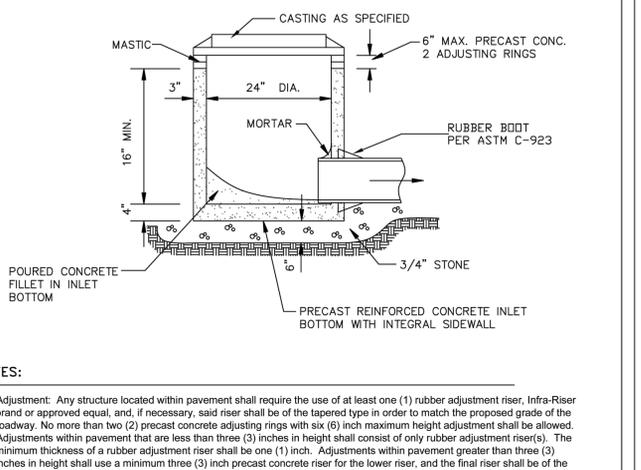
- NOTES:**
- Adjustment: Any structure located within pavement shall require the use of at least one (1) rubber adjustment riser, Infra-Riser brand or approved equal, and, if necessary, said riser shall be of the tapered type in order to match the proposed grade of the roadway. No more than two (2) precast concrete adjusting rings with six (6) inch maximum height adjustment shall be allowed. Adjustments within pavement that are less than three (3) inches in height shall consist of only rubber adjustment riser(s). The minimum thickness of a rubber adjustment riser shall be one (1) inch. Adjustments within pavement greater than three (3) inches in height shall use a minimum three (3) inch precast concrete riser for the lower riser, and the final riser shall be of the rubber type.
 - Pipe and frame seals: All pipe connection openings shall be precast with resilient rubber water tight pipe to manhole sleeves or seals conforming to ASTM C-923. Adapter chimney seal with twelve (12) inch sleeve type shall extend from the manhole cone to the manhole frame for all structures in the right-of-way.
 - Sealing: All mating surfaces of adjustment riser(s), structure sections, and frames shall be sealed with a mastic sealant. No concrete mortar or epoxy shall be allowed as a sealant for adjustment risers, structure sections or frames. If multiple adjustment risers are required, a continuous application of sealant shall be applied between each unit.
 - All bottom sections shall be monolithically precast including bases and invert flowlines.
 - Provide CA-6 aggregate backfill around manhole to subgrade elevation in paved areas for subgrade.

STORM MANHOLE		
DESIGNED BY: STORM SEWER IMPROVEMENT	DATE: STS-01	REVISIONS:
DRAWN BY: Village of ORLAND PARK	REVISIONS:	
Engineering Department		



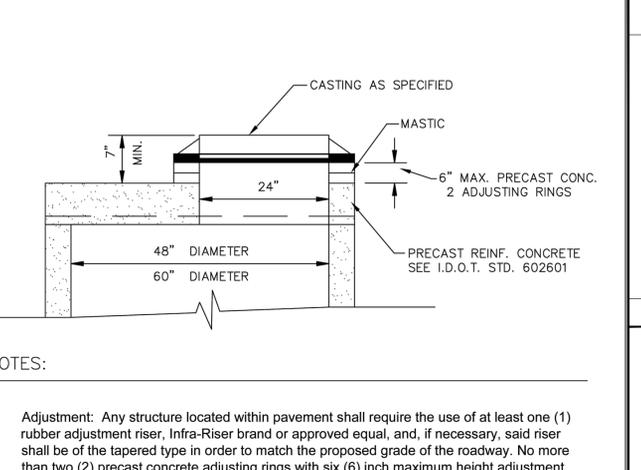
- NOTES:**
- Adjustment: Any structure located within pavement shall require the use of at least one (1) rubber adjustment riser, Infra-Riser brand or approved equal, and, if necessary, said riser shall be of the tapered type in order to match the proposed grade of the roadway. No more than two (2) precast concrete adjusting rings with six (6) inch maximum height adjustment shall be allowed. Adjustments within pavement that are less than three (3) inches in height shall consist of only rubber adjustment riser(s). The minimum thickness of a rubber adjustment riser shall be one (1) inch. Adjustments within pavement greater than three (3) inches in height shall use a minimum three (3) inch precast concrete riser for the lower riser, and the final riser shall be of the rubber type.
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 - Sealing: All mating surfaces of adjustment riser(s), structure sections, and frames shall be sealed with a mastic sealant. No concrete mortar or epoxy shall be allowed as a sealant for adjustment risers, structure sections or frames. If multiple adjustment risers are required, a continuous application of sealant shall be applied between each unit.
 - All bottom sections shall be monolithically precast including bases and invert flowlines.
 - Provide CA-6 aggregate backfill around catch basin to subgrade elevation in paved areas for subgrade.

CATCHBASIN TYPE A		
DESIGNED BY: STORM SEWER IMPROVEMENT	DATE: STS-02	REVISIONS:
DRAWN BY: Village of ORLAND PARK	REVISIONS:	
Engineering Department		



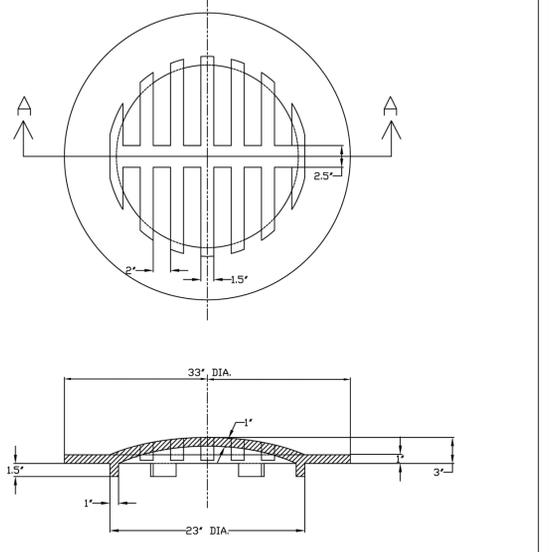
- NOTES:**
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 - Pipe and frame seals: All pipe connection openings shall be precast with resilient rubber water tight pipe to manhole sleeves or seals conforming to ASTM C-923. Adapter chimney seal with twelve (12) inch sleeve type shall extend from the manhole cone to the manhole frame for all structures in the right-of-way.
 - Sealing: All non-rubber mating surfaces, exterior joints of frames, adjustment riser(s), flat slab top or cone section (if applicable) and structure section shall be sealed with a uniform application of bituminous mastic sealant. The mating surfaces of all rubber adjustment risers shall be sealed with the manufacturer's recommended sealant for rubber adjustment risers. If multiple adjustment risers are required, a continuous application of sealant shall be applied between each unit. Interior surfaces shall be sealed with concrete mortar or epoxy mortar. Concrete mortar or epoxy mortar will not be used on mating surfaces as a sealant between adjustment risers, structure sections or frames.
 - All bottom sections shall be monolithically precast including bases and invert flowlines.
 - Provide CA-6 aggregate backfill around inlet to subgrade elevation in paved areas for subgrade.

INLET TYPE A		
DESIGNED BY: STORM SEWER IMPROVEMENT	DATE: STS-05	REVISIONS:
DRAWN BY: Village of ORLAND PARK	REVISIONS:	
Engineering Department		



- NOTES:**
- Adjustment: Any structure located within pavement shall require the use of at least one (1) rubber adjustment riser, Infra-Riser brand or approved equal, and, if necessary, said riser shall be of the tapered type in order to match the proposed grade of the roadway. No more than two (2) precast concrete adjusting rings with six (6) inch maximum height adjustment shall be allowed. Adjustments within pavement that are less than three (3) inches in height shall consist of only rubber adjustment riser(s). The minimum thickness of a rubber adjustment riser shall be one (1) inch. Adjustments within pavement greater than three (3) inches in height shall use a minimum three (3) inch precast concrete riser for the lower riser, and the final riser shall be of the rubber type.
 - Sealing: All non-rubber mating surfaces, exterior joints of frames, adjustment riser(s), flat slab top or cone section (if applicable) and structure section shall be sealed with a uniform application of bituminous mastic sealant. The mating surfaces of all rubber adjustment risers shall be sealed with the manufacturer's recommended sealant for rubber adjustment risers. If multiple adjustment risers are required, a continuous application of sealant shall be applied between each unit. Interior surfaces shall be sealed with concrete mortar or epoxy mortar. Concrete mortar or epoxy mortar will not be used on mating surfaces as a sealant between adjustment risers, structure sections or frames.

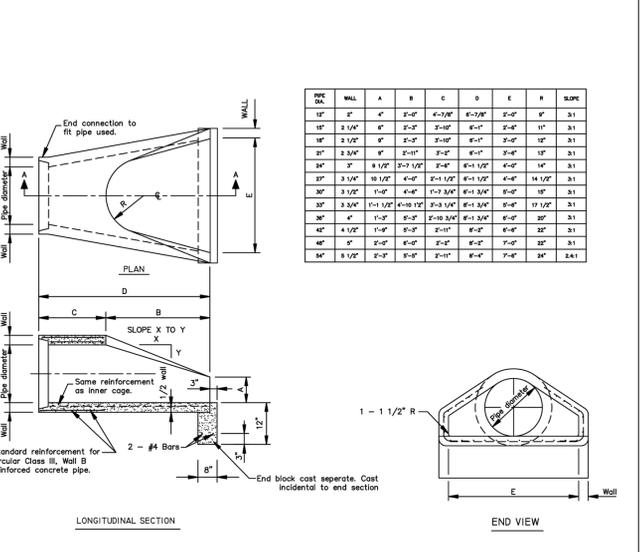
FLAT SLAB TOP		
DESIGNED BY: STORM SEWER IMPROVEMENT	DATE: STS-06	REVISIONS:
DRAWN BY: Village of ORLAND PARK	REVISIONS:	
Engineering Department		



SECTION A-A CAST GRATE
WT. 200 LBS.

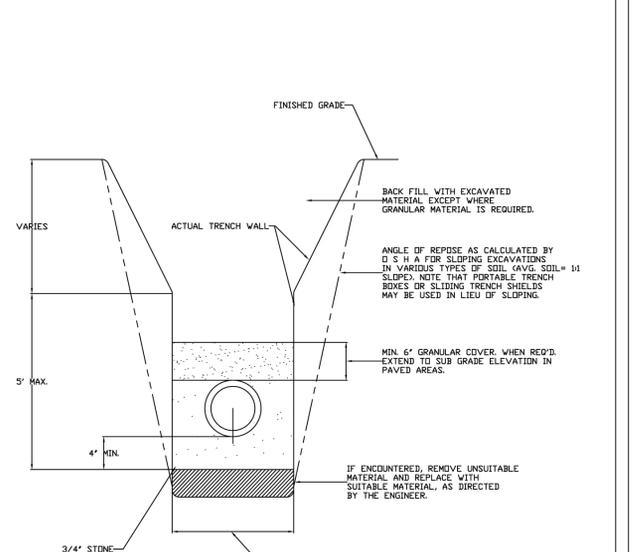
THE CAST GRATE MAY BE EITHER GRAY IRON OR DUCTILE IRON CONFORMING TO THE STANDARD SPECIFICATIONS. DUCTILE IRON CASTING SHALL BE GRADE 65-45-12.

GRATE TYPE B		
DESIGNED BY: STORM SEWER IMPROVEMENT	DATE: STS-07	REVISIONS:
DRAWN BY: Village of ORLAND PARK	REVISIONS:	
Engineering Department		

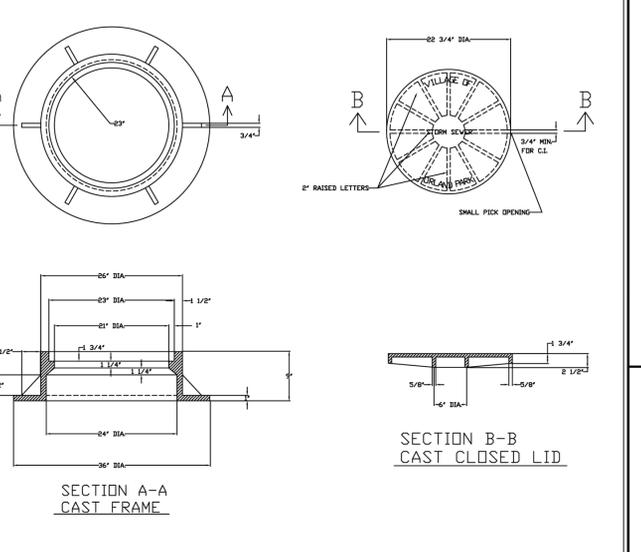


- NOTES:**
- PRECAST CONCRETE FLARED END SECTIONS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF A.A.S.H.O. M-170 CLASS III, WALL B REINFORCED CONCRETE PIPE.
- PRECAST CONCRETE FLARED END SECTION FOR PIPE DIAMETER REQUIRED SHALL BE AS INDICATED ON DETAIL PLAN FOR EACH INDIVIDUAL INSTALLATION.
- FLARED END SECTIONS 12 INCHES OR GREATER WILL REQUIRE GRATES.

PRECAST REINFORCED CONCRETE FLARED END SECTION		
DESIGNED BY: STORM SEWER IMPROVEMENT	DATE: STS-08	REVISIONS:
DRAWN BY: Village of ORLAND PARK	REVISIONS:	
Engineering Department		



TRENCH SECTION (STORM SEWER)		
DESIGNED BY: STORM SEWER IMPROVEMENT	DATE: STS-11	REVISIONS:
DRAWN BY: Village of ORLAND PARK	REVISIONS:	
Engineering Department		



SECTION A-A CAST FRAME

SECTION B-B CAST CLOSED LID

NOTES:

- DUCTILE IRON CASTINGS SHALL BE GRADE 60-40-18 AND SHALL BE TESTED IN ACCORDANCE WITH FEDERAL SPECIFICATIONS.
- ALL LIDS AND COVERS SHALL BE PAINTED.
- ALL MANHOLE COVERS SHALL HAVE RAISED LETTERS AS SHOWN.
- ALTERNATIVE TO DUCTILE IRON LID, GRAY IRON LID MAY BE USED.
- MINIMUM WEIGHTS FOR CASTINGS AS SHOWN.
- CASTINGS SHALL BE EAST SIDE OF EACH WORKS 100000 FRAME AND 10000 COVER.

STORM SEWER FRAME & COVER		
DESIGNED BY: STORM SEWER IMPROVEMENT	DATE: STS-14	REVISIONS:
DRAWN BY: Village of ORLAND PARK	REVISIONS:	
Engineering Department		

DATE: 12/22/2025

SCALE: AS SHOWN

DRAWN BY: ###

CHECKED BY: ###

ILLINOIS

VILLAGE OF ORLAND PARK

SHEET NUMBER

C8.1

CONSTRUCTION DETAILS

159TH & LAGRANGE RETAIL

REVISIONS

NO.

DATE

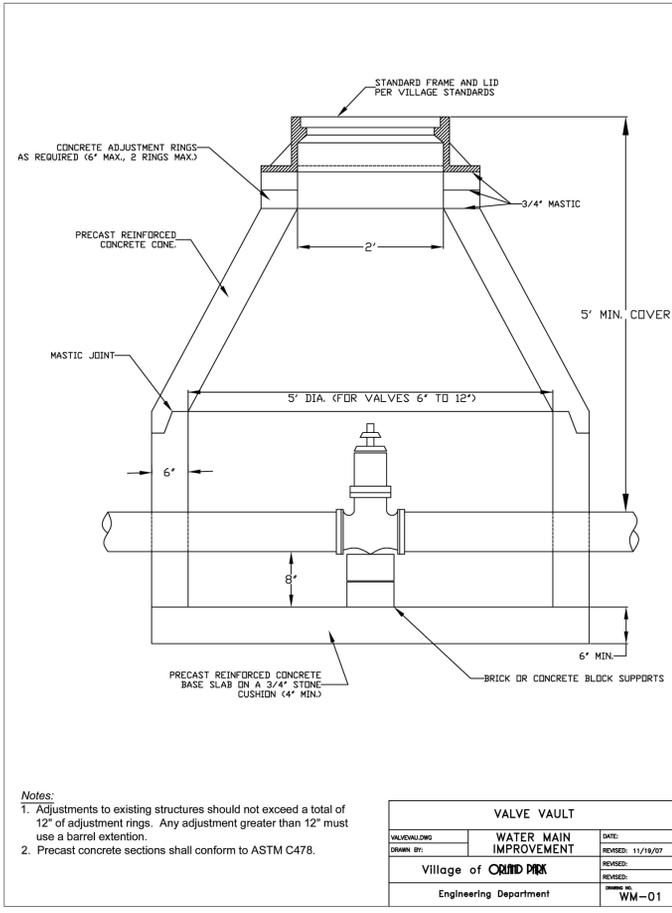
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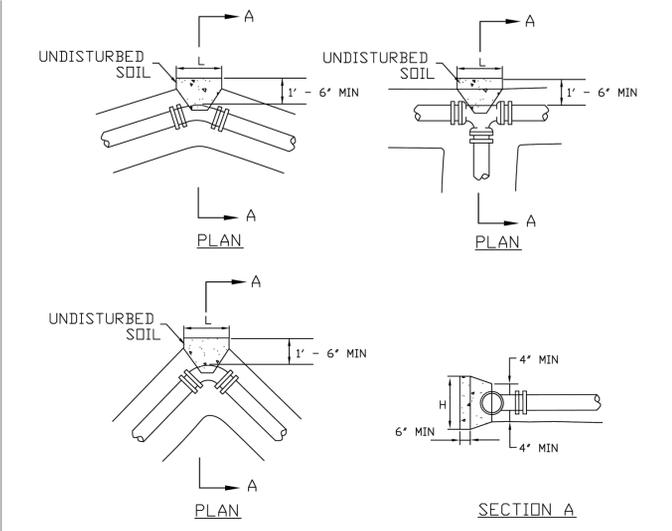
LICENSED PROFESSIONAL

THOMAS J. SZFRANSKI
ILLINOIS LICENSE NUMBER 062.070698
DATE OF EXPIRATION: 11/30/27

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 12/22/2025



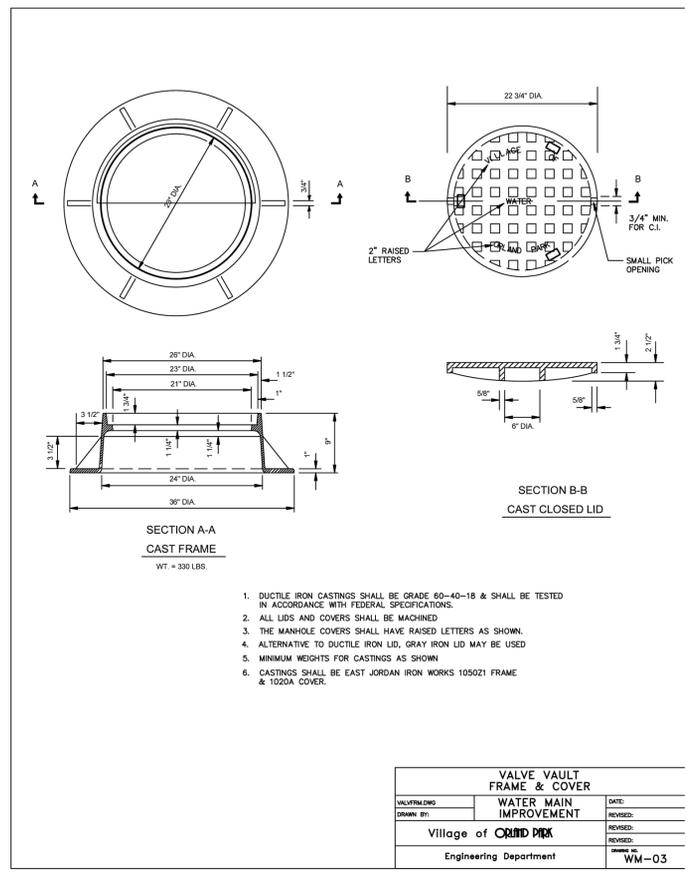
VALVE VAULT		
DATE:	11/19/07	REVISION:
DESIGNED BY:	WATER MAIN IMPROVEMENT	REVISION:
DRAWN BY:	Village of ORLAND PARK	REVISION:
CHECKED BY:	Engineering Department	REVISION:
DATE:	WM-01	REVISION:



CONCRETE THRUST BLOCK DIMENSIONS										
PIPE SIZE	11-15° BEND		22-30° BEND		45° BEND		90° BEND		TEE & PLUG	
DIAMETER	H	L	H	L	H	L	H	L	H	L
≤ 8"	1'-6"	1'-6"	2'-0"	2'-6"	2'-6"	3'-0"	3'-6"	4'-0"	3'-0"	3'-6"
≤ 12"	1'-6"	2'-0"	2'-3"	2'-6"	3'-0"	3'-6"	4'-0"	4'-6"	3'-6"	4'-0"
≤ 16"	2'-0"	2'-0"	2'-6"	3'-0"	4'-0"	4'-6"	5'-0"	6'-0"	4'-6"	5'-6"

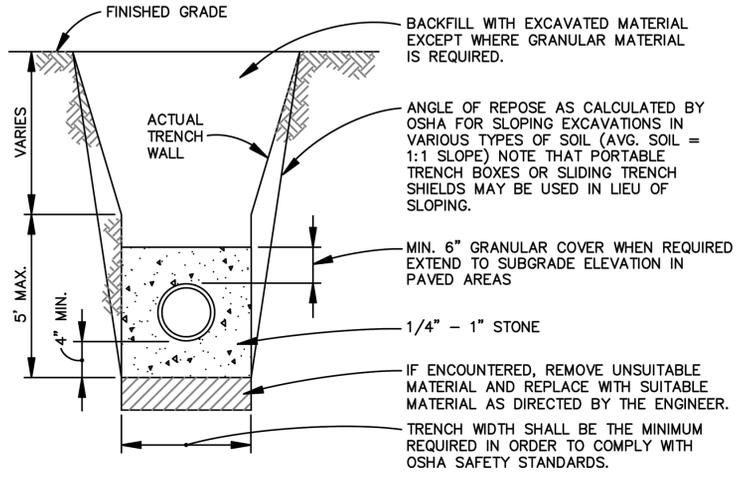
- ALL BLOCKING SHALL BE CONSTRUCTED WITH POURED CL-X CONCRETE AGAINST UNDISTURBED VERTICAL EARTH FACE WITH A MINIMUM WIDTH OF 12 INCHES.
- THRUST BLOCKS TO BE USED AT ALL BENDS 15 1/4 DEGREES OR GREATER.
- MECHANICAL JOINT RETAINER GLANDS MAY BE USED AS AN ALTERNATIVE TO CONCRETE THRUST BLOCK INSTALLATION WHEN APPROVED BY THE VILLAGE ENGINEER.
- TEST PRESSURE 150 PSI.

CONCRETE THRUST BLOCK DETAILS		
DATE:	11/19/07	REVISION:
DESIGNED BY:	WATER MAIN IMPROVEMENT	REVISION:
DRAWN BY:	Village of ORLAND PARK	REVISION:
CHECKED BY:	Engineering Department	REVISION:
DATE:	WM-10	REVISION:



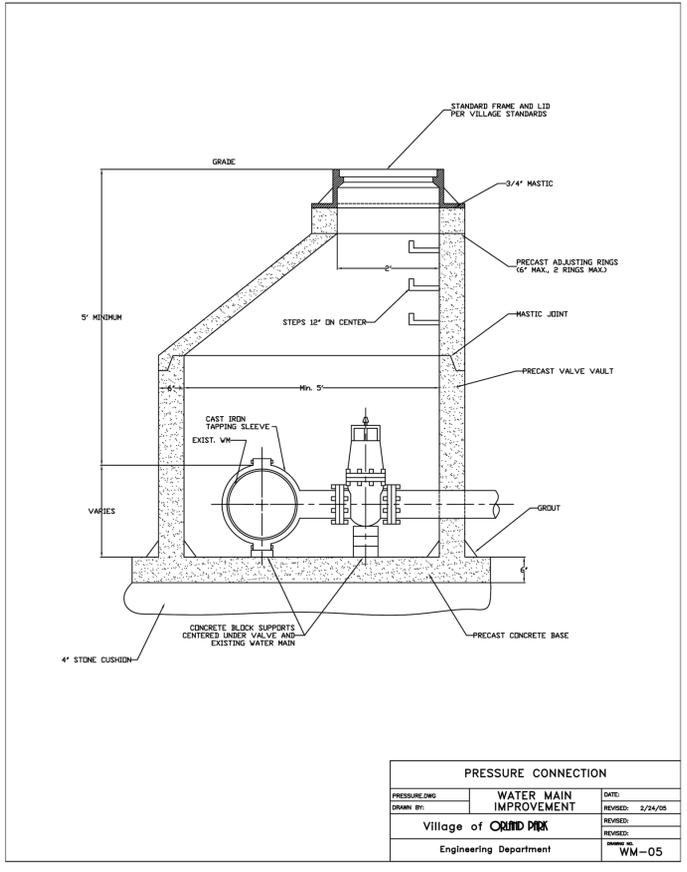
- DUCTILE IRON CASTINGS SHALL BE GRADE 60-40-18 & SHALL BE TESTED IN ACCORDANCE WITH FEDERAL SPECIFICATIONS.
- ALL LIDS AND COVERS SHALL BE MACHINED.
- THE MANHOLE COVERS SHALL HAVE RAISED LETTERS AS SHOWN.
- ALTERNATIVE TO DUCTILE IRON LID, GRAY IRON LID MAY BE USED.
- MINIMUM WEIGHTS FOR CASTINGS AS SHOWN.
- CASTINGS SHALL BE EAST JORDAN IRON WORKS 105021 FRAME & 1020A COVER.

VALVE VAULT FRAME & COVER		
DATE:	11/19/07	REVISION:
DESIGNED BY:	WATER MAIN IMPROVEMENT	REVISION:
DRAWN BY:	Village of ORLAND PARK	REVISION:
CHECKED BY:	Engineering Department	REVISION:
DATE:	WM-03	REVISION:

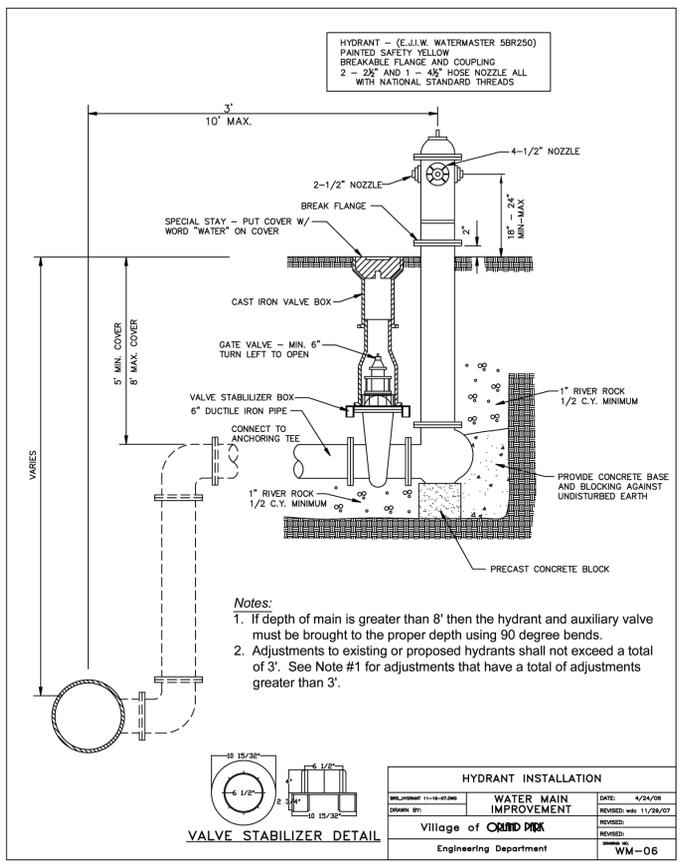


DIP AND PVC WHEN USED AS WATER MAIN SHALL NOT REQUIRE GRANULAR BEDDING OR COVER. PROVIDE UNIFORM AND CONTINUOUS SUPPORT OF PIPE BARREL BETWEEN BELL HOLES

TRENCH SECTION (WATER MAIN)		
DATE:	11/19/07	REVISION:
DESIGNED BY:	WATER MAIN IMPROVEMENT	REVISION:
DRAWN BY:	Village of ORLAND PARK	REVISION:
CHECKED BY:	Engineering Department	REVISION:
DATE:	WM-11	REVISION:



PRESSURE CONNECTION		
DATE:	11/19/07	REVISION:
DESIGNED BY:	WATER MAIN IMPROVEMENT	REVISION:
DRAWN BY:	Village of ORLAND PARK	REVISION:
CHECKED BY:	Engineering Department	REVISION:
DATE:	WM-05	REVISION:



- If depth of main is greater than 8' then the hydrant and auxiliary valve must be brought to the proper depth using 90 degree bends.
- Adjustments to existing or proposed hydrants shall not exceed a total of 3'. See Note #1 for adjustments that have a total of adjustments greater than 3'.

HYDRANT INSTALLATION		
DATE:	11/19/07	REVISION:
DESIGNED BY:	WATER MAIN IMPROVEMENT	REVISION:
DRAWN BY:	Village of ORLAND PARK	REVISION:
CHECKED BY:	Engineering Department	REVISION:
DATE:	WM-06	REVISION:

159TH & LAGRANGE RETAIL

VILLAGE OF ORLAND PARK

SHEET NUMBER C8.2

CONSTRUCTION DETAILS

ILLINOIS

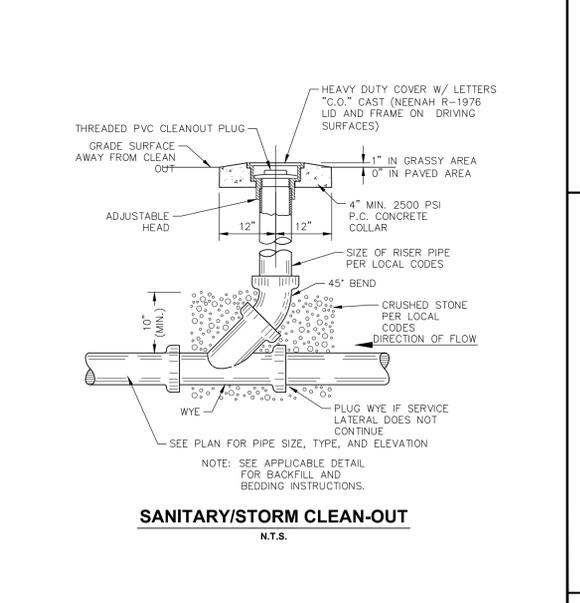
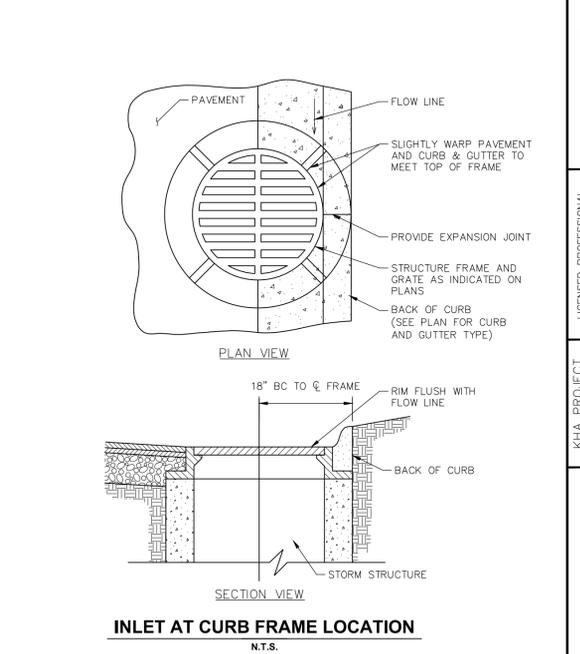
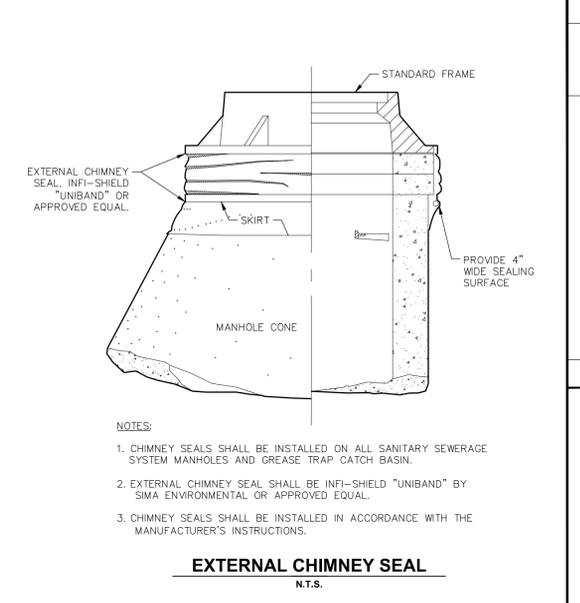
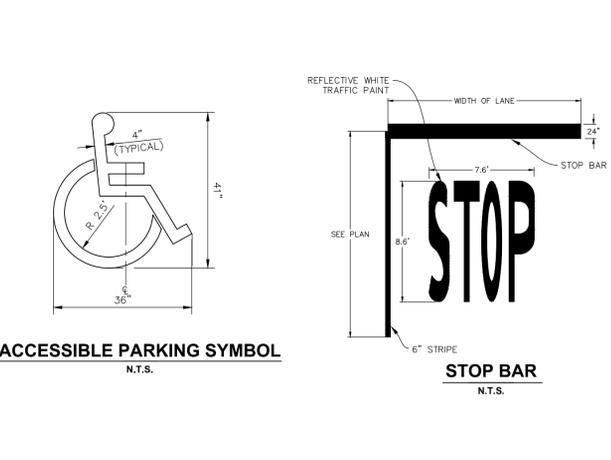
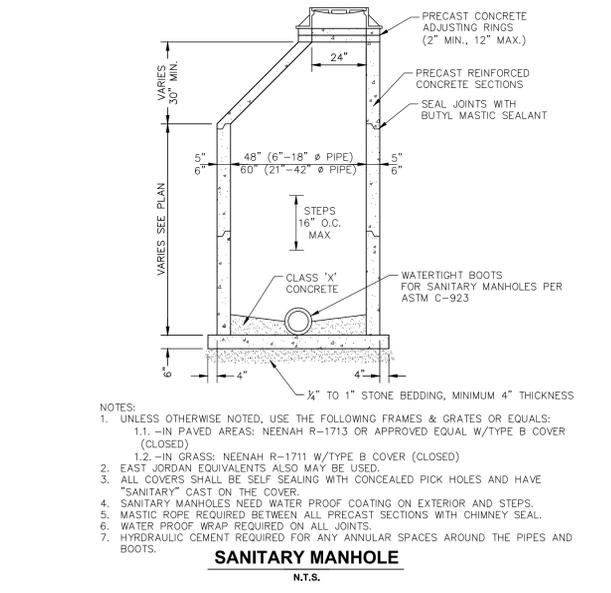
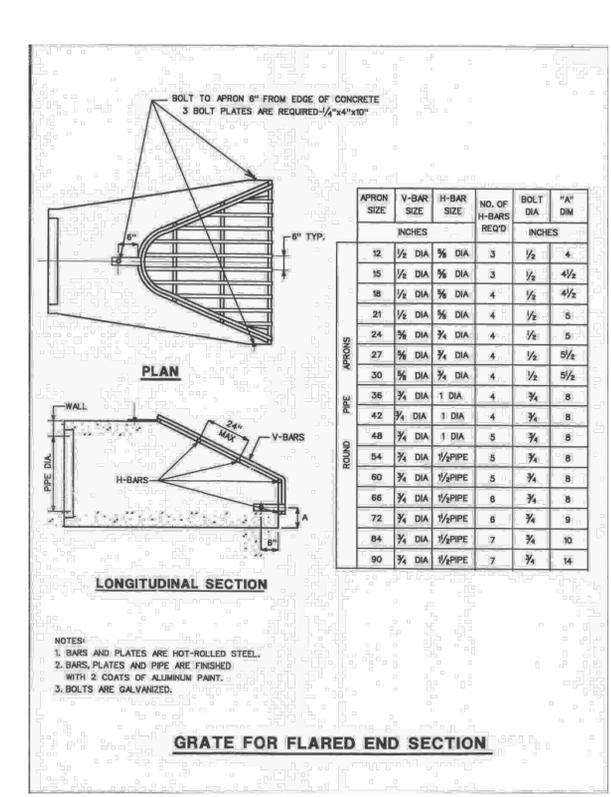
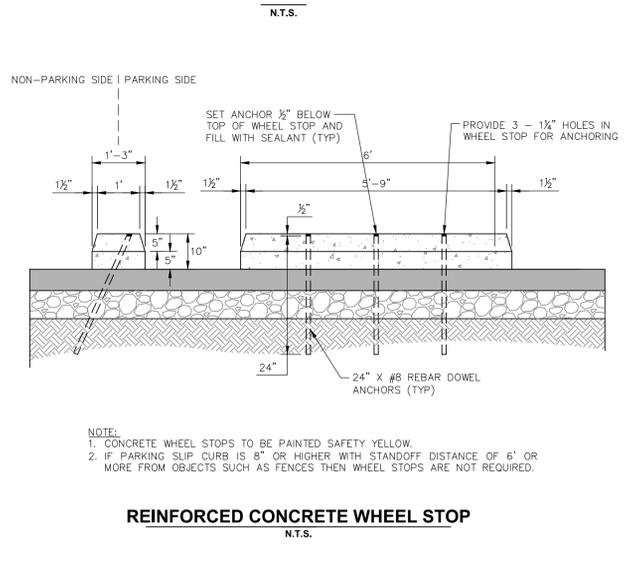
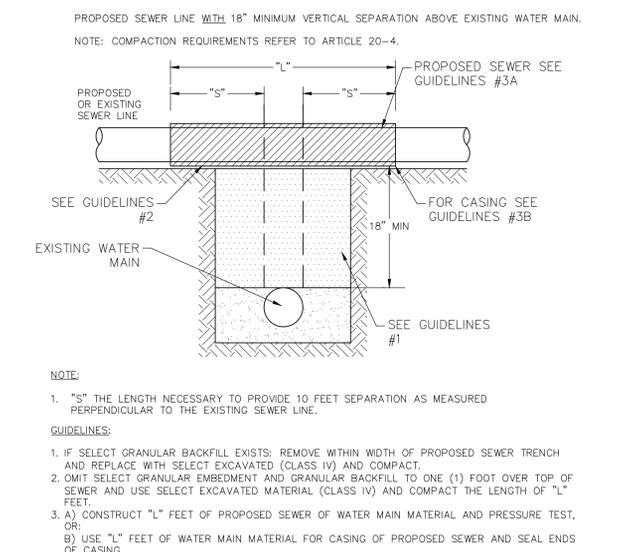
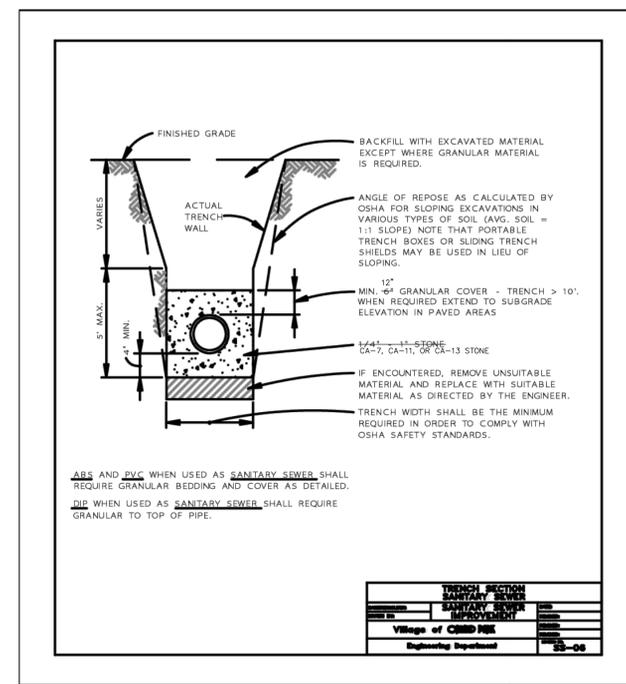
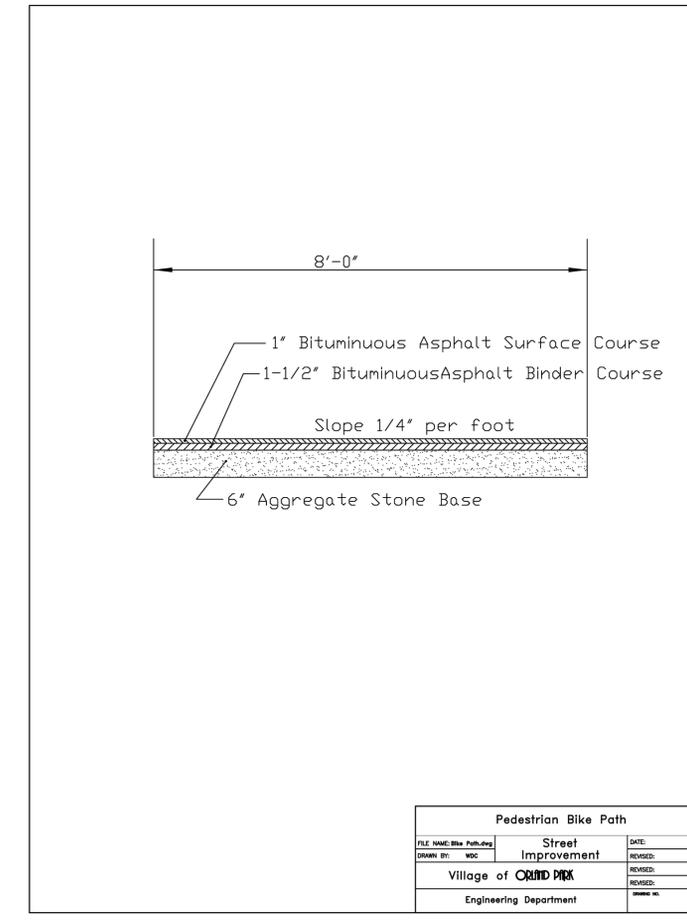
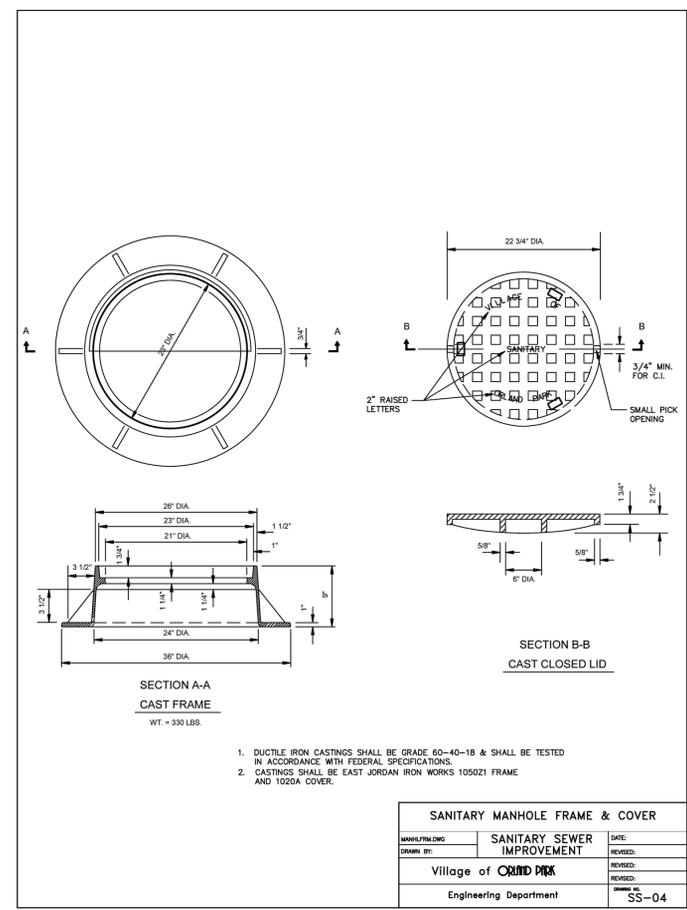
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 ILLINOIS LICENSE NUMBER: 062.070698
 DATE OF EXPIRATION: 11/30/27

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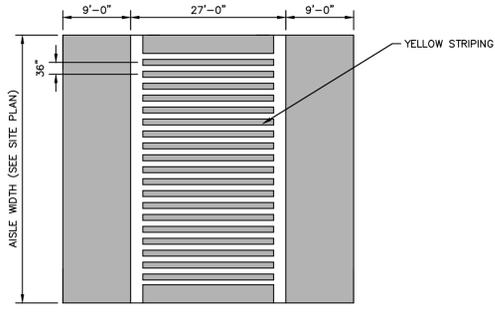
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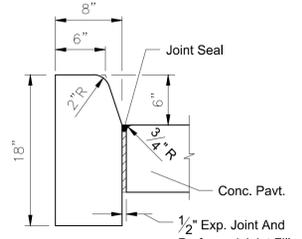
		LICENSED PROFESSIONAL THOMAS J. SZAFRANSKI ILLINOIS LICENSE NUMBER 062.070698 DATE OF EXPIRATION: 11/30/27 CHECKED BY: ### DATE: 12/22/2025
KHA PROJECT 149621089		DATE 12/22/2025
SCALE AS SHOWN ###		DESIGNED BY ###
DRAWN BY ###		CHECKED BY ###
CONSTRUCTION DETAILS		
159TH & LAGRANGE RETAIL		ILLINOIS VILLAGE OF ORLAND PARK
SHEET NUMBER C8.3		REVISIONS NO. _____ DATE _____ BY _____

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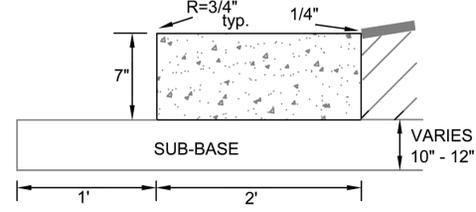
12/22/2025



CONCRETE SPEED TABLE



6" CONCRETE CURB



RIBBON CURB

159TH & LAGRANGE
RETAIL
VILLAGE OF ORLAND PARK
ILLINOIS

CONSTRUCTION
DETAILS

KHA PROJECT
149621089
DATE
12/22/2025
SCALE AS SHOWN
DESIGNED BY ###
DRAWN BY ###
CHECKED BY ###

LICENSED PROFESSIONAL
THOMAS J. SZAFRANSKI
ILLINOIS LICENSE NUMBER
062.070698
DATE OF EXPIRATION: 11/30/27
DATE: 12/22/2025

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