

SITE PLAN & PRELIMINARY ENGINEERING PLANS

8760 W 159TH STREET

ORLAND PARK, COOK COUNTY, ILLINOIS

(ORLAND TWP PIN #'S 27-14-300-068, 27-14-300-070, 27-14-300-069)

MASTER NOTES

1. ALL ITEMS OF THIS PROJECT SHALL BE GOVERNED BY SPECIFICATIONS INCLUDED IN THE DOCUMENTS LISTED BELOW:
- A. VILLAGE OF ORLAND PARK STANDARDS SPECIFICATIONS.
 - B. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" PREPARED BY THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS AND ADOPTED BY SAID DEPARTMENT (LATEST REVISION) AND HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS".
 - C. "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS" ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - D. "ILLINOIS URBAN MANUAL" (LATEST REVISION) BY ASSOCIATION OF ILLINOIS SOIL & WATER CONSERVATION DISTRICTS.
 - E. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", BY ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.
 - F. "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - G. "ILLINOIS ACCESSIBILITY CODE", (LATEST EDITION).

*LATEST REVISION IN EFFECT ON THE DATE OF THESE PLANS

2. PRIOR TO BID, THE CONTRACTOR SHALL VERIFY CONFORMANCE BETWEEN PLANS AND THE ABOVE REFERENCED CODES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BID.

3. IN THE EVENT OF A CONFLICT BETWEEN THESE VARIOUS STANDARDS, MUNICIPAL STANDARDS SHALL APPLY.

4. ALL TRAFFIC CONTROL AND OTHER ADVISORY SIGNS NEEDED FOR CONSTRUCTION ARE TO BE FURNISHED BY THE CONTRACTOR IN ACCORDANCE WITH SECTION 701 OF THE STANDARD SPECIFICATIONS.

5. ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS OF OSHA.

6. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING JULIE 1-630-554-3242 AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. ALL UTILITIES MUST BE STAKED/LOCATED BEFORE CONSTRUCTION.

7. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITY PUBLIC WORKS DEPARTMENT 708-403-6350 A MINIMUM OF 48 HOURS BEFORE CONSTRUCTION ACTIVITIES. A 48-HOUR NOTICE MUST BE PROVIDED FOR INSPECTIONS AND TESTS. CITY STAFF MUST OPERATE ALL WATERMAIN VALVES AND HYDRANTS ONLY.

8. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL SURVEYING MONUMENTS UNTIL THE OWNER, THEIR AGENT OR A LICENSED SURVEYOR HAS WITNESSED OR OTHERWISE REFERENCED THEIR LOCATIONS.

9. THE CONTRACTOR SHALL BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES AS MAY BE INDICATED ON THE PLANS. THESE AREAS SHALL BE EXCAVATED TO DETERMINE ELEVATIONS BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.

10. SAWING OF REMOVAL ITEMS AS NOTED IN THE PLANS OR AS REQUIRED BY THE ENGINEER SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT OF THE ITEM BEING REMOVED AND NO EXTRA COMPENSATION WILL BE ALLOWED.

11. ALL ROAD SIGNS, STREET SIGNS AND TRAFFIC SIGNS WHICH NEED TO BE RELOCATED OR MOVED DUE TO CONSTRUCTION SHALL BE TAKEN DOWN AND STORED BY THE CONTRACTOR AT HIS OWN EXPENSE EXCEPT THOSE WHICH THE PERMIT AGENCY SHALL REQUIRE TO BE TEMPORARILY RESET UNTIL COMPLETION OF CONSTRUCTION OPERATIONS. AFTER COMPLETION OF THE WORK, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, RESET ALL SAID SIGNS AT THE LOCATIONS DESIGNATED BY THE PERMIT AGENCY ENGINEER.

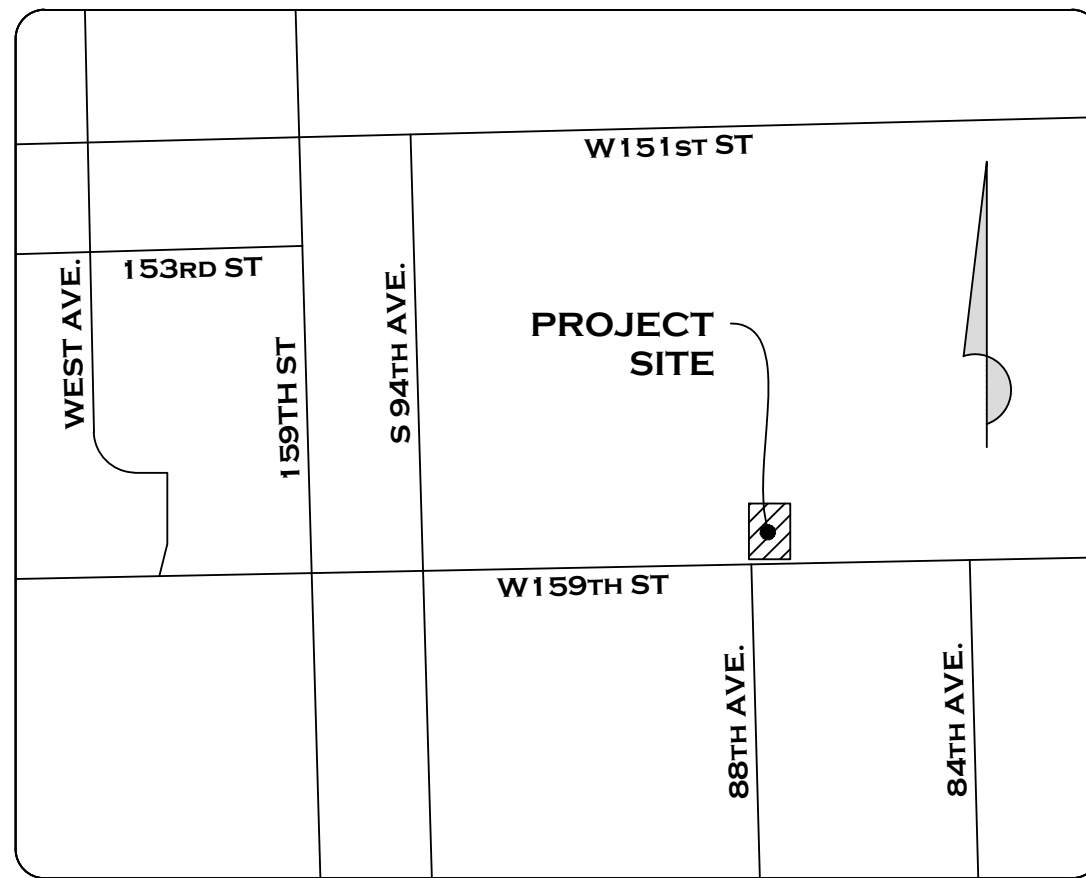
12. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE OWNER'S ENGINEER AT A COST TO BE BORNE BY THE CONTRACTOR THAT DESTROYED THE STAKES.

13. CONTRACTOR SHALL USE CARE NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED OR MODIFIED. ANY DAMAGE DONE TO THESE ITEMS BY CONTRACTORS OPERATIONS SHALL BE REPAIRED AND/OR RESTORED BY THE CONTRACTOR AT THE CONTRACTORS OWN EXPENSE.

14. THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE OWNER, THE PERMIT AGENCY AND ITS OFFICERS, EMPLOYEES, AND AGENTS, AND THE OWNER'S ENGINEERS, FROM AND AGAINST ALL LOSSES, CLAIMS, DEMANDS, PAYMENTS, SUITS, ACTIONS, RECOVERIES AND JUDGMENT OF EVERY NATURE AND DESCRIPTION BROUGHT OR RECOVERED AGAINST THEM BY REASON OF ANY ACT OR OMISSION OF SAID CONTRACTOR, HIS AGENTS OR EMPLOYEES, IN THE EXECUTION OF THE WORK OR IN THE GUARDING OF IT.

15. BURNING ON THE SITE IS NOT PERMITTED.

16. ALL IMPROVEMENTS SHOWN ON THE PLANS ARE THE RESPONSIBILITY OF THE CONTRACTOR.



VICINITY MAP

(NOT TO SCALE)

SYMBOL LEGEND

PROPOSED	PROPERTY LINE	EXISTING
	BUILDING SETBACK LINE	
	EASEMENT LINE	
	DEPRESSED CURB	
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN	
	GAS LINE	
	ELECTRIC LINE	
	TELEPHONE LINE	
	OVERHEAD WIRES	
	FENCE LINE	
	SILT FENCE	
	GRADING CONTOUR	
	MANHOLE	
	STORM CURB FRAME & GRATE	
	STORM MANHOLE	
	STORM CATCH BASIN	
	STORM FLARED END SECTION	
	SANITARY MANHOLE	
	VALVE VAULT	
	FIRE HYDRANT	
	BUFFALO BOX	
	GAS VALVE	
	ELECTRIC STRUCTURE	
	TRANSFORMER	
	POWER POLE	
	PEDESTAL	
	TRAFFIC SIGNAL MANHOLE	
	DRAINAGE FLOW ARROW	
	OVERFLOW ROUTE	
	AIR CONDITIONER	
	SINGLE POLE SIGN	
	DOUBLE POLE SIGN	
	STREET LIGHT	
	BOLLARD	
	CLEAN OUT	
	DOWN SPOUT	
	TREE	
	EROSION CONTROL BLANKET	
	FINAL STABILIZATION (SEED)	
	CONCRETE SIDEWALK	
	NEW HEAVY DUTY ASPHALT PAVEMENT	
	STANDARD DUTY ASPHALT PAVEMENT	
	PERMEABLE BRICK PAVEMENT	

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1	COVER SHEET
2	EXISTING CONDITION PLAN
3	SITE PLAN
4	PRELIMINARY ENGINEERING PLAN

PROJECT TEAM

DEVELOPER

ARCHITECT

CIVIL ENGINEER

JOE RIZZA ENTERPRISES, INC.

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ORLAND PARK, IL 60462

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NOTE

1. DETAILS AND NOTES WITHIN THESE PLANS, ALONG WITH NOTATIONS TO SUPPLEMENT SAME ARE CRUCIAL TO THE PROPER CONSTRUCTION OF THE DESIGN CONTAINED HEREIN.

2. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH ALL CONDITIONS PRIOR TO ENGAGING IN A CONTRACT TO PERFORM WORK AS PROPOSED HEREIN.

3. PLANS ARE NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL OF THE ENGINEER.

BENCHMARKS

ELEVATIONS SHOWN ARE RELATIVE TO NAVD'88.

SITE BM #1:
UPPER FLANGE BOLT ON FIRE HYDRANT, LOCATED APPROXIMATED 70' NORTH OF THE NORTH CURB LINE OF 159TH STREET ON WEST SIDE OF DRIVE JUST EAST OF THE PORSCHE BUILDING, AS NOTED HEREON. ELEV=713.80'

ABBREVIATIONS

AGG. AGGREGATE GRAVEL
ALT. ALTERNATE
B.B. BACK TO BACK
BB BIT. AGG. MIXTURE
B.B. BACK TO BACK
BB BUFFALO BOX
BC BACK OF CURB
BT BITUMINOUS CONCRETE
BM BENCHMARK
B.O. BY OTHERS
B.P. BOTTOM OF PIPE
BW BOTTOM OF WALL
CB CATCH BASIN
CATV CABLE TELEVISION
CE COMM. ED.
CL CENTER LINE
CMP CORRUGATED METAL PIPE
CS CENTER OF STRIP
C.C. CONCRETE
C.C. CLEAN OUT
DIA. DIAMETER
D.I.W.M. DUCTILE IRON WATER MAIN
E.P. EDGE OF PAVEMENT
E-E EDGE TO EDGE
ELEV. ELEVATION
ES EDGE OF STRIPE
EW EDGE OF WALK
EX EXISTING
F.F. FACE TO FACE
FES FLARED END SECTION
F.F. FINISHED FLOOR
F.L. FLOW LINE
FG FINISHED GRADE
HDW HANDWALL
HH HAND HOLE
H.W.L. HIGH WATER LEVEL
INLET INLET
INV INVERT
IRON PIPE IRON PIPE
J.P. JOINT
MAX. MAXIMUM
M.E. MANHOLE EXISTING
MH MANHOLE
MIN. MINIMUM
N.W. NORMAL WATER LEVEL
PED. PEDESTAL
P.C. POINT OF CURVE
P.C.C. POINT OF COMPOUND CURVE
PI. POINT OF INTERSECTION
P.R.C. POINT OF REVERSE CURVE
P.T. POINT OF TANGENCY
P.V.C. POINT OF VERTICAL CURVE
P.V.I. POINT OF VERTICAL INTERSECTION
P.V.T. POINT OF VERTICAL TANGENCY
PL. PROPERTY LINE
PP. POWER POLE
P.V.C. POLYVINYL CHLORIDE PIPE
R. RADIUS
R.C.P. REINFORCED CONCRETE PIPE
R.O.W. RIGHT OF WAY
R.D. ROOF DRAIN
SAN. SANITARY
STAH. STORM MANHOLE
STM. STORM
STA. STATION
SQ. SQUARE FEET
SQ. SQUARE YARD
TBR. TO BE REMOVED
T.C. TOP OF CURB
T.F. TOP OF FOUNDATION
T.P. TOP OF PIPE
T.W. TOP OF WALL
TRANS. TRANSFORMER
V.V. VALVE VAULT
W.M. WATER MAIN

BUILDING

OR

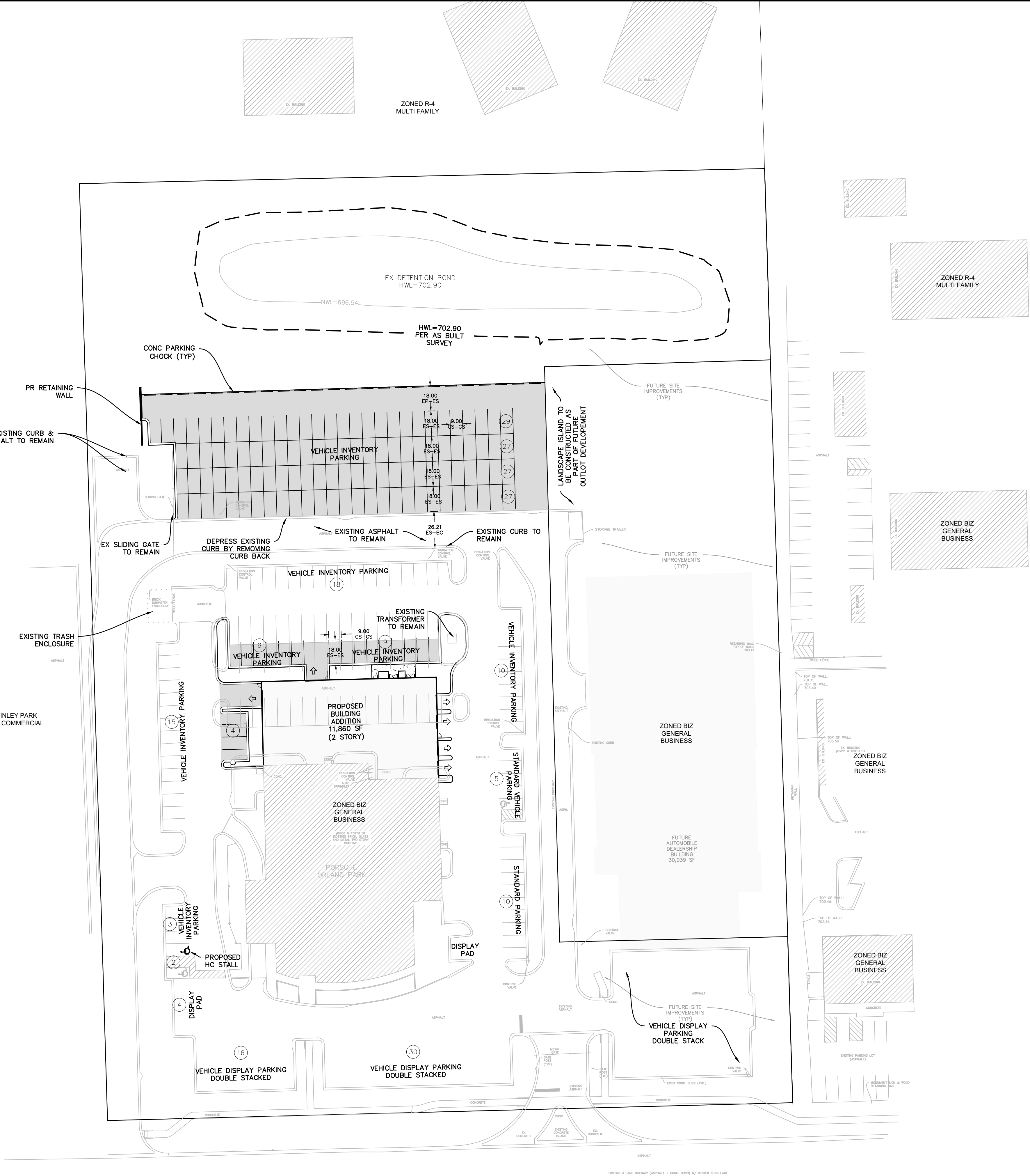
SITE PLAN

PROJECT NO. M17098B

DRAWN BY: ZDS

CHECKED BY: TDR

SHEET NO. 1 / 4



LEGEND

- DEPRESSED CURB AND GUTTER
- CONCRETE RETAINING WALL (DESIGN BY OTHERS)
- STANDARD DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PERMEABLE BRICK PAVEMENT
- LS LANDSCAPED AREA
- EC EDGE OF CONCRETE
- CS CENTER OF STRIPE
- ES EDGE OF STRIPE
- FW FACE OF WALL

NOTES

- PARKING LOT LIGHTING BY OTHERS
 - THE "JOE RIZZA PORSCHE- LOT 1" DATA TABLE INCLUDES EXISTING AND PROPOSED CONDITIONS WITHIN EXISTING LOT 1 AREA.
- THE EXISTING PARKING LOT SOUTH OF "OUTLOT B" IS INCLUDED IN THIS LOT 1.
- THE EXISTING LOT 1 HAS NO SIDE YARD SETBACK FOR THE PORTION OF LOT 1 THAT IS ADJACENT TO OUTLOTS A AND B.

Site Data Table	Required	Porsche	Porsche
		Existing Condition	Proposed Condition
Zoning District	BIZ	BIZ	BIZ
Existing Use	-	Motor Vehicle Sales and Motor Vehicle Services	Motor Vehicle Sales and Motor Vehicle Services
Porsche Building Size (sq. ft.)	-	36,020	47,880
Requirements	Required	Current	Proposed
Attributable Gross Area (sq. ft.)	10,000	261,788	261,788
Net Area (sq. Ft.)	N/A	218,482	182,462.00
Floor Area Ratio (1 story)	1.00	0.07	0.08
Detention Pond Area (sq. ft.)	N/A	28,347	28,347
Lot Coverage	75% (80% w/ BMP's)	70%	67%
Green Space (sq. ft.)	25% Min	77,537	85,814
Height (ft)	50	26	26
Standard Parking Stalls	1 space/300 sq.ft.	14	14
Accessible Parking Stalls	1 B.F. space/ 25 spaces	3	3
Inventory Parking Stalls	-	145	218
Service Vehicle Parking Stalls	-	18	18
Total Parking	-	180	253
Bicycle Parking Stalls	0 None Required	0	0
Setbacks			
159 th Street (South) ft.	25	94.4	94.4
Interior Side (East) ft.	15	79.2	79.2
Interior Side (West) ft.	15	103.5	103.5
Rear (North) ft.	30	831	803
Parking Lot Setback			
North Lot Line	15	241	241
East Lot Line	10	83	83
West Lot Line	10	104	104
South Lot Line	30	20	20

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MeritCorp

DATE: 03/28/2024

05/14/2024

DESCRIPTION: SUBMIT TO VILLAGE OF ORLAND PARK

RESUBMIT TO VILLAGE OF ORLAND PARK

ENGINEERING - PLANNING - SURVEYING - ENVIRONMENTAL

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RIZZA PORSCHE

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ORLAND PARK, ILLINOIS 60462

SITE PLAN & PRELIM ENGINEERING PLANS

SITE PLAN

PROJECT NO. M17098B

DRAWN BY: ZDS

CHECKED BY: TDR

SHEET NO. 3 / 4

