

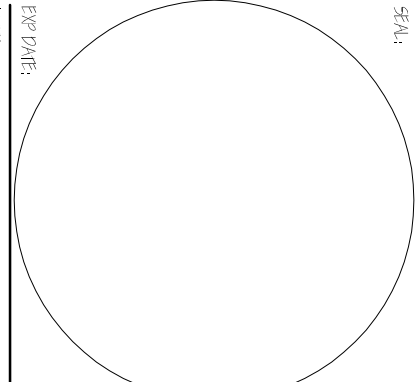


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IC44-404-901

A-10	ELEVATIONS
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Two Story Residence
For
9855 W. 144th St.
Orland Park Il. 60462



12.11.2012

2012-137

A-1.0

© 200

GENERAL NOTES
1. INCLUDED AS PART OF THESE DOCUMENTS IS THE "GENERAL CONDITIONS FOR CONSTRUCTION", AIA DOCUMENT A-201, ARTICLE 1 THRU 14 INCLUSIVE.

1. MAINTAIN THROUGHOUT CONSTRUCTION PERIOD, A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A HOLD HARMLESS CLAUSE, PROTECTING THE OWNER AND ARCHITECT.
2. ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED PRACTICES AND STANDARDS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS, MAJOR ELEMENTS AND MATERIALS. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPLETION OF THE PROJECT. ACCEPTANCE BY THE OWNER SHALL BE UNDER THE CONDITIONS OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATION, AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED OR DESTROYED.
5. DRAWINGS AND SPECIFICATIONS ARE TO BE LISTED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
6. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL INCOMING UTILITIES.

DIMENSIONS
11 DO NOT

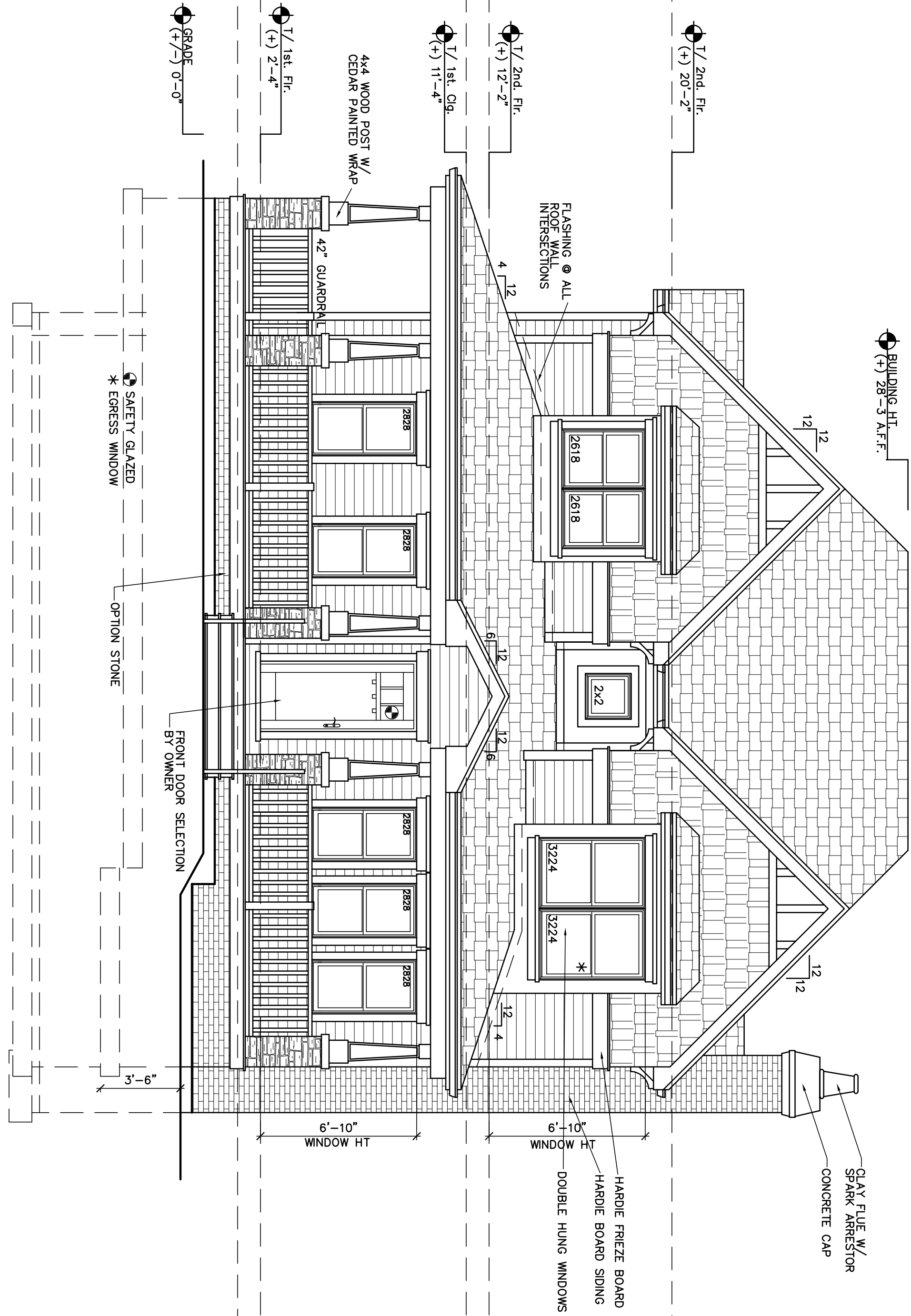
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21. RECESS

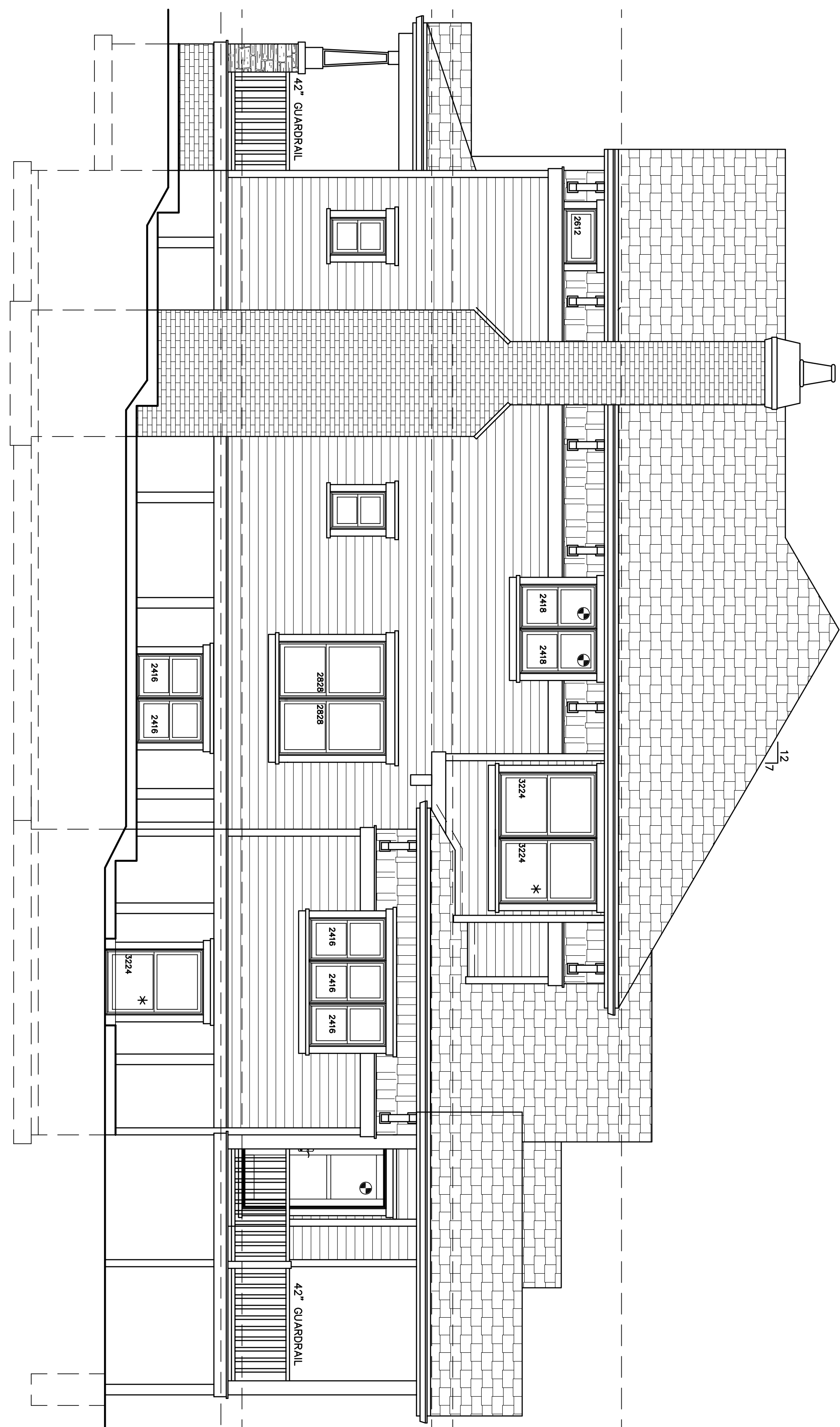
- 2.0 CLEARANCE: A MINIMUM CLEARANCE BETWEEN ROOF DECK FLOORS AND ANY COMBUSTIBLE WALL IS PROVIDED THAT THE THICKNESS OF THE COMBUSTIBLE WALL SHALL NOT BE LESS THAN 6 INCHES.
- 2.1 LOW TEMPERATURE CHIMNEYS SHALL EXTEND TO A HEIGHT NOT LESS THAN 3'-0" ABOVE THE ROOF AT THE POINT OF INTERSECTION AND NOT LESS THAN 2'-0" ABOVE ANY ROOF WITHIN 10'-0" OF SUCH CHIMNEY EXCEPT CHIMNEYS ON A ROOF SLOPED MORE THAN 15 DEGREES MAY EXTEND NOT LESS THAN 2'-0" ABOVE THE RIDGE.
- 2.2 HANDRAIL HEIGHTS ON STAIRS SHALL BE 2'-10" ABOVE THE NOSING. HANDRAIL HEIGHTS AT LANDING SHALL BE 3'-0" A.F.F.
- 2.3 EGRESS IS REQUIRED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO BE PROHIBIT ORDERED WITHOUT USE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.
- 2.4 ALL STUPLIGHTS AND ALL GLAZED PANELS MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHERE THE TALL HEIGHT OF THE GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS. NO WINDOW SILLS SHALL HAVE A SILL HEIGHT OF LESS THAN 2'-0" ABOVE THE FLOOR UNLESS NOTED OTHERWISE.
- 2.5 OPENINGS IN FIRE RATED FLOORS AND WALLS INCLUDING SPACES BETWEEN DUCTS, PIPES, CONDUIT, ETC. SHALL BE CLOSED OFF BY AN APPROVED FIRE STOPPING SYSTEM OR EQUIVALENT. ALL OPENINGS AND PENETRATIONS SHALL BE SEALED TO PREVENT THE PASSAGE OF SMOKE AND FLAMES IN FIRE RATED ASSEMBLIES.

FRONT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

$$\underline{\underline{1/4" = 1'-0"}}$$


GENERAL ROOF NOTES

1. USE CANADIAN PRICE-PINE-R NR 1/NO2 FOR ROOF RATHER THAN 2X10 S. 2X12'S ROOF RATHER THAN 1X6. REMAINING PINE-R NR 1/NO2 FOR MAJOR LUMBER SPECIES' 2008 EDITION. SNOW REGION, HEAVY-ROOF.
2. SPAN TABLES FOR SPURRY-PINE-R NR 1/NO2 FOR NONPINE LUMBER:
 $2 \times 6 @ 12' O.C. = 11'-5"$ $2 \times 8 @ 16' O.C. = 14'-5"$ $2 \times 10 @ 16' O.C. = 17'-5"$
 $2 \times 6 @ 12' O.C. = 13'-0"$ $2 \times 8 @ 12' O.C. = 16'-5"$ $2 \times 10 @ 12' O.C. = 20'-1"$
SPAN TABLES FOR HEAVY-PINE NR 1/NO2 FOR NONPINE LUMBER:
 $2 \times 12 @ 12' O.C. = 24'-11"$
- * CARPENTER CONTRACTOR NOTE: THE ABOVE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR ALL OTHER METHODS. IT IS ALLOWED TO DO SO AS LONG AS THE AGENT CHANGES FROM MAXIMUM SPAN ALLOWED BY CODE. FURTHERMORE, IF RATHER SPAN IN A ROOF AREA CHANGES FROM MAXIMUM SPAN ALLOWED IN THE EMB MOUTH OUT.
2. HIP OR VALLEY RATHERS EXCEEDS 24'-0" IN LENGTH SHALL BE 1.5X THE GIVE GIVE LUM NUMBERS X RATHERS DEPTH PLUS 2' DEEP.
3. ALL HIP VALLEY CHOPPE JACKS SHALL BE INSTALLED AND SHALL BE EQUAL IN DEPTH AND SPACING TO MAIN RATHER FRAMING UNTO HIP OR VALLEY RATHER.
4. VERTICAL ROPE SUPPORT USED FOR START OF FRAMING AS MARKED BY RATHER SHALL BE 1/2" ABOVE RATHERS. FRAMING LUMBER 1" SHALL BE ON FLAT 2X6'S EXTENDED OVER BEARING WALL OR OVER CEILING JOISTS.
5. COLLARS MUST BE PLACED PER LOCAL GOVERNING BUILDING CODES.
6. WHERE HIP RATHERS FRAME PERPENDICULAR TO CEILING JOISTS PROVIDE SOLID BLOCKING AT 8'-0" O.C. BETWEEN JOISTS FOR A DISTANCE OF 10'-0" FROM EXTERIOR WALL.

ROOF LIVE LOAD =	30 PSF
HORIZONTAL WIND LOAD (90 MPH 3-SEC GUST)	
LESS THAN 30' =	15 PSF
30' TO 49' =	20 PSF
50' TO 99' =	30 PSF
BALCONIES AND DECKS (EXTERIOR) =	60 PSF
GARAGES (PASSENGER CARS ONLY) =	60 PSF
ATTICS (NO STORAGE WITH ROOF SLOPE NOT	
STEEPER THAN 3/12 =	10 PSF
ATTICS (LIMITED ATTIC STORAGE) =	20 PSF
SLEEPING UNITS (EXCEPT SLEEPING ROOMS) =	40 PSF
DWELLING ROOMS =	30 PSF
STAIRS =	40 PSF
PARTITIONS OR WALLS (INTERIOR), HORIZONTALLY =	5 PSF

THE LABORER MUST CHECK ALL DIMENSIONS, DETAILS AND JOINT CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR ANY SUBCONTRACTOR AND THEIR NEGLIGENCE.

ALL DIMENSIONS MUST CORRESPOND TO EXISTING CONDITIONS. IN THE EVENT OF ANY DISCREPANCY, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. ALL SCALE DIMENSIONS ARE INDICATED ON THE DRAWINGS ONLY.

* ALL BEDROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW SET CODE BOOK.

• UNFRT GLASS AND/OR MULTIPLE INT GLASS SHALL BE INSULATED THREADED SAFETY GLASS PER AIA SPEC.

GEOGRAPHIC DESIGN CRITERIA

ROOF SNOW LOAD – 34 LBS.
WIND SPEED – 90 MPH
SEISMIC DESIGN CATEGORY – B
FROST LINE DEPTH – 42"
WINTER DESIGN TEMPERATURE – 0
DEGREES FAHRENHEIT

GUTTERS AND DOWNSPOUTS MUST DISCHARGE A MINIMUM OF THE FEET(3) AWAY FROM THE BUILDING IN ACCORDANCE WITH THE APPROVED GRADING PLANS OR TO AN APPROVED DRAINAGE SYSTEM.

PROVIDE BARBER THAT CONSISTS OF AT LEAST FOURTEEN (14) GALVANIZED STEEL RODS, ONE-FOURTH (1/4") DIAMETER, SPACED AT EQUAL INTERVALS THROUGHOUT THE ENTIRE LENGTH OF THE ROOF. PROVIDE A MOISTURE BARRIER SHEET, THAT EXTENDS FROM THE EAVES DOWN TO A POINT AT LEAST 24 INCHES ABOVE THE EXTERIOR WALL LINE OF THE BUILDING. PROVIDE TWO (2) INCHES OF INSULATION ON TOP OF THE MOISTURE BARRIER SHEET.

HIDES ABOVE ALL EXTERIOR DOORS AND WINDOWS OPENINGS IN THE MASONRY VENEER

NOTE: ALL ROOF COUNTER FLASHING MUST BE BENT AND CUT AND BRICK WORK JOINTS

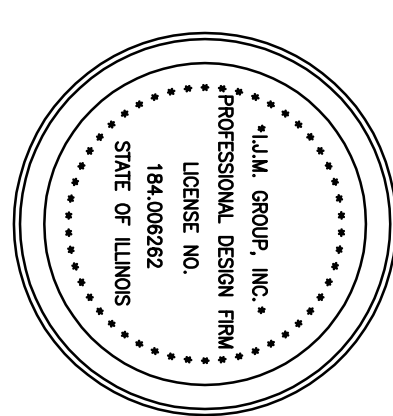
NOTE:
ALL FLASHING SHALL COMPLY WITH SHIMAKA
REQUIREMENTS.
THE CONTRACTOR SHALL LOCATE AND INSTALL GUTTERS AND DOWNSPOUTS AS REQUIRED
3. INSTALICE ICE AND WATER SHIELD 2'-0" FROM
GUTTERS
4. FLASHING AT ROOF VALLEYS
5. RAFTERS SPACING MORE THAN 15'-0" MUST BE 2X10 CONSLT. OR 2x6'S WITH A PURLEN WALL
SECTION 1 MAX 0'-VALUE OF .30 FOR ALL DOORS AND WINDOWS

EAVE STRIPS ARE TO MATCH A STREET NUMBER HAS BEEN ASSIGNED SHALL HAVE SUCH NUMBER DISPLAYED IN A POSITION EASILY OBSERVED AND READABLE FROM THE PUBLIC WAY. ALL NUMBERS SHALL BE IN ARABIC NUMERALS AT LEAST 4' HIGH 1/2" STROKE

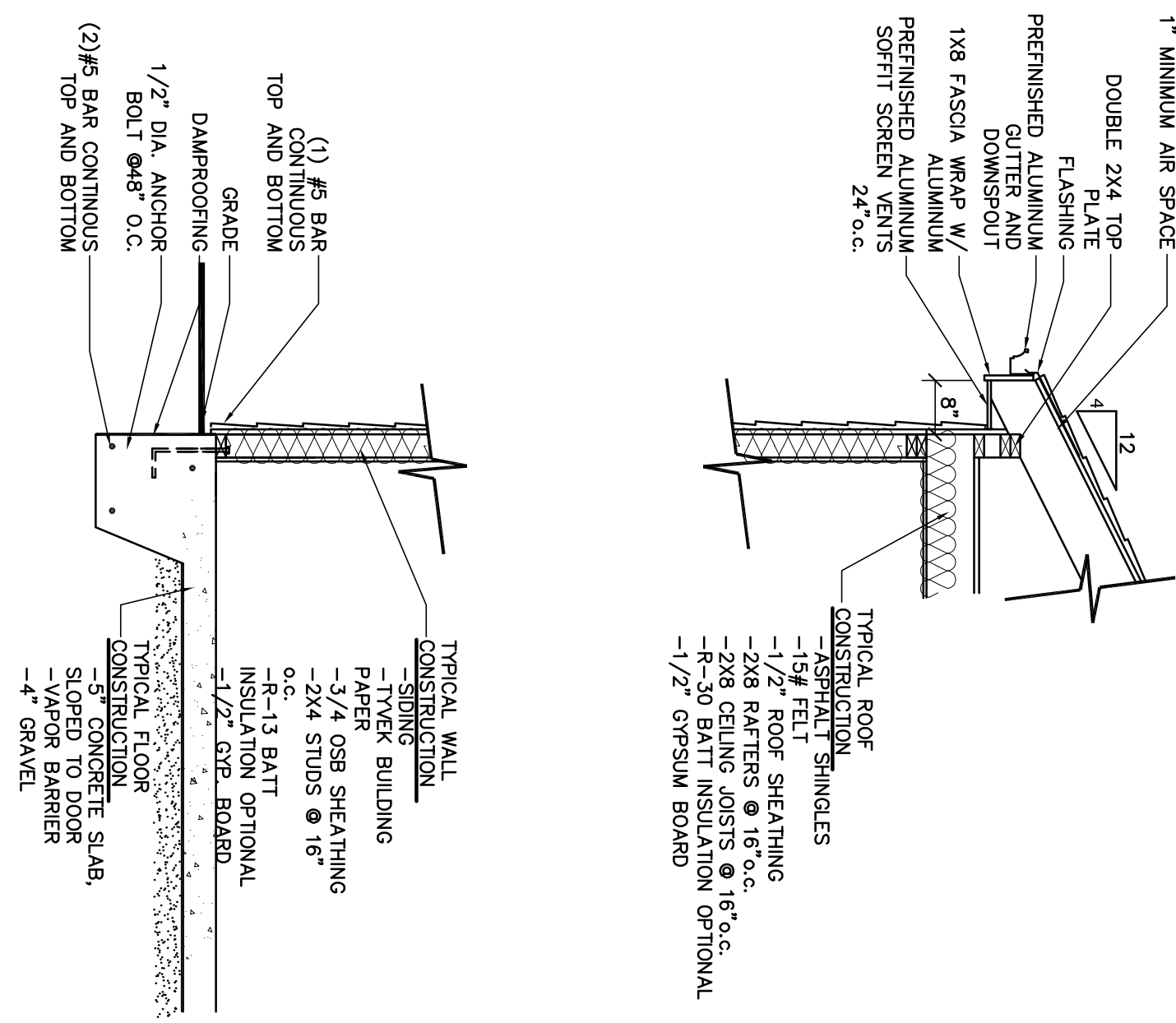
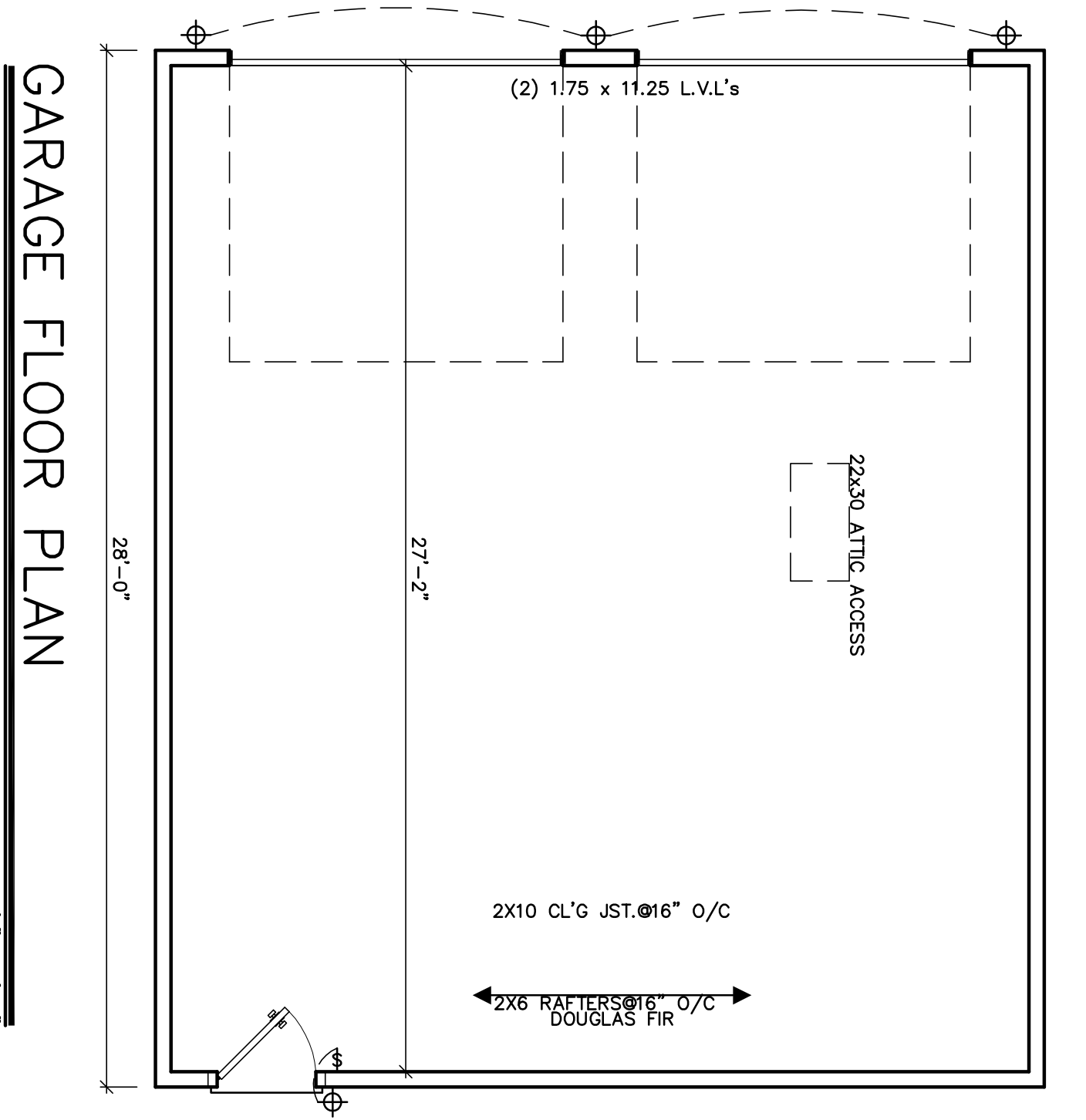
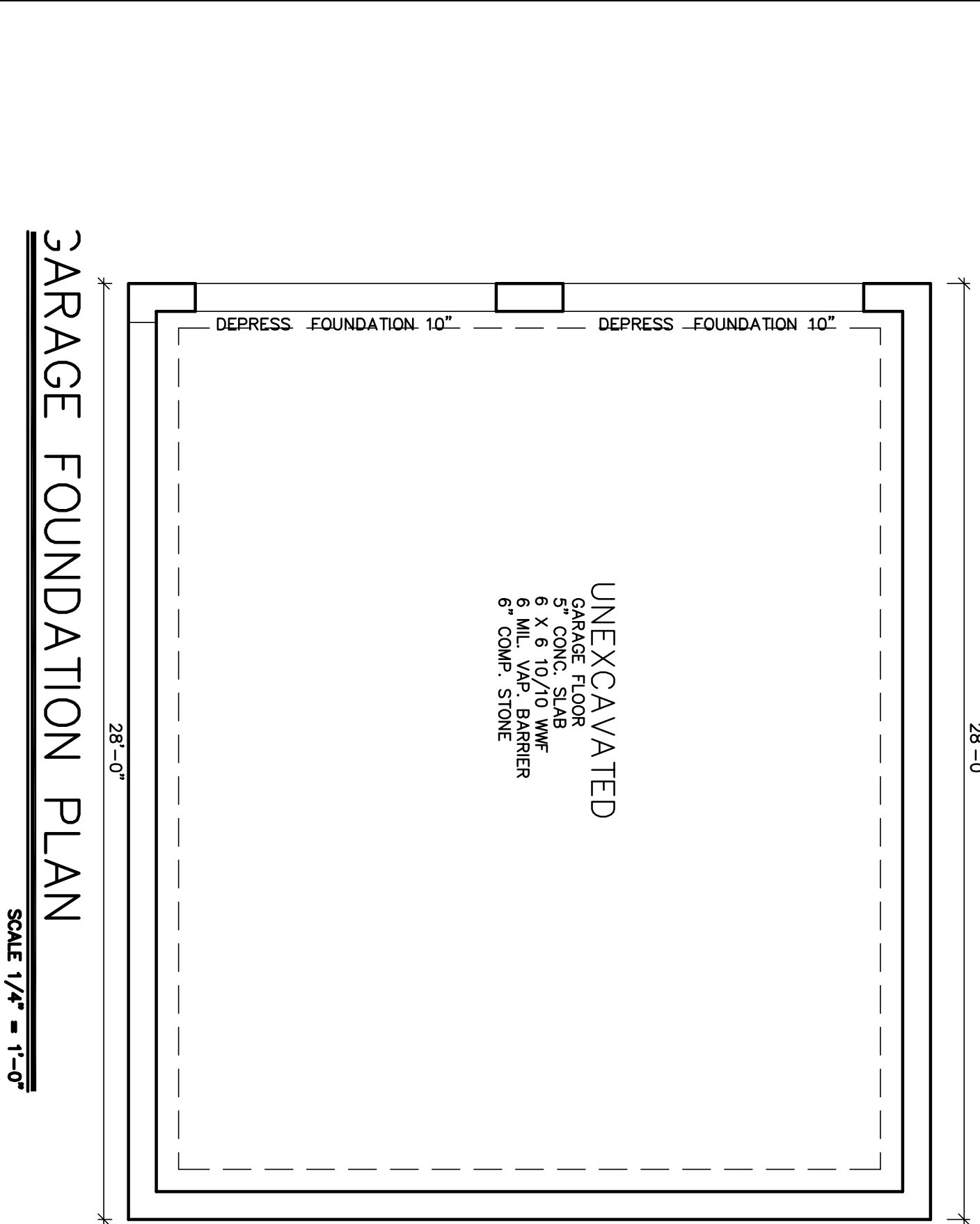
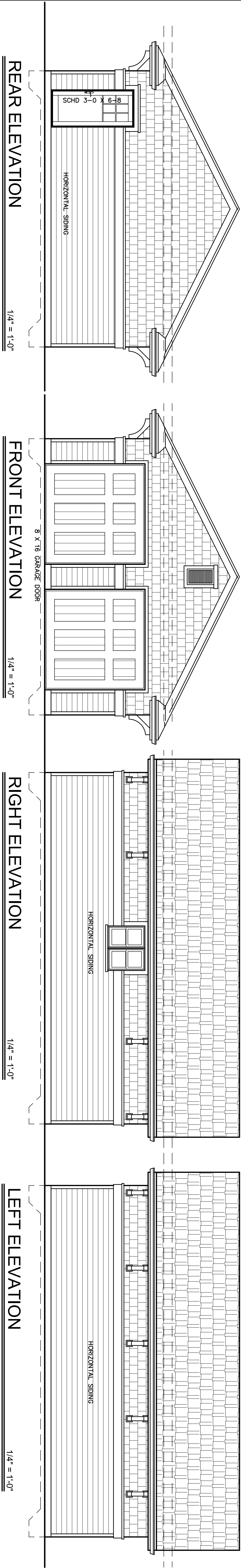
NOTE FLASHING (METAL OR PLASTIC) AND KEEP OFF THE EXTERIOR DOORS AND WINDOWS OPENINGS IN THE MASONRY VENEER

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT THEY, TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES OF THE GOVERNING BODY HAVING JURISDICTION.



EXP. 04.30.2013



NO.	DESCRIPTION
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A-2.1	FIRST FLOOR PLAN
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