

VILLAGE OF ORLAND PARK

14700 S. Ravinia Avenue
Orland Park, IL 60462
www.orlandpark.org



Meeting Agenda

Tuesday, December 19, 2023

7:00 PM

Village Hall

Plan Commission

Nick Parisi, Chairman
Edward Schussler, Vice Chairman
Commissioners: John J. Paul, Patrick Zomparelli, Yousef Zaatar,
Daniel Sanchez and John Nugent

CALLED TO ORDER/ROLL CALL

APPROVAL OF MINUTES

2023-1008 Minutes for the December 5, 2023 Plan Commission Meeting

Attachments: [December 5, 2023](#)

PUBLIC HEARINGS

NON-PUBLIC HEARINGS

2023-0508 Police Department Firing Range and EOC Facility Project - 10609 and 10629 163rd Place

Attachments: [Carport Cutsheet](#)
[Exterior Rendering](#)
[Garbage Enclosure Cutsheet](#)
[Interior Floor Plan](#)
[Site Plan](#)
[Plat of Consolidation for Lots 26 & 27](#)
[North South Elevations](#)
[East West Elevations](#)
[Engineering Plans 2](#)
[Engineering Plans 1](#)
[Landscape Plan](#)
[Supply Garage Cutsheet](#)
[Staff Report to the Plan Commission](#)

ML

OTHER BUSINESS

2023-1006 Memo: New Petitions

Attachments: [12 December 19, 2023](#)

NON-SCHEDULED CITIZENS & VISITORS

ADJOURNMENT

VILLAGE OF ORLAND PARK

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Meeting Minutes

Tuesday, December 5, 2023

7:00 PM

Village Hall

Plan Commission

Nick Parisi, Chairman
Edward Schussler, Vice Chairman
Commissioners: John J. Paul, Patrick Zomparelli, Yousef Zaatar,
Daniel Sanchez and John Nugent

CALLED TO ORDER/ROLL CALL

The meeting was called to order at 7:00 p.m.

Present: 6 - Member Parisi; Member Schussler; Member Paul; Member Zomparelli; Member Sanchez, Member Nugent

Absent: 1 - Member Zaatar

APPROVAL OF MINUTES

2023-0951 Minutes for the November 21, 2023 Plan Commission Meeting

A motion was made by Member Nick Parisi, seconded by Member John J. Paul, that this matter be APPROVED. The motion carried by the following vote:

Aye: 5 - Member Parisi, Member Schussler, Member Paul, Member Sanchez and Member Nugent

Nay: 0

Abstain: 1 - Member Zomparelli

Absent: 1 - Member Zaatar

PUBLIC HEARINGS

OPEN PUBLIC HEARING

A motion was made by Member Nick Parisi, seconded by Member Edward Schussler, that this matter be APPROVED. The motion carried by the following vote:

Aye: 5 - Member Parisi, Member Schussler, Member Paul, Member Zomparelli and Member Sanchez

Nay: 0

Absent: 2 - Member Zaatar and Member Nugent

2023-0898 Land Development Code & Village Code - Substantive Amendment: Clarify Driveways and Driveway Apron Regulations

Ms. Henry respectfully requested the staff report be accepted into the record as written and as presented during the meeting. (refer to staff report)

Ms. Skrodzki clarified on record that this was the continued hearing from the last Plan Commission meeting and Ms. Henry stated yes.

This amendment will ensure consistency with future changes by specifying construction requirements and specifications in the Village Code, while referring to the Land Development Code for zoning-related regulations (e.g. widths, lengths, and setbacks) concerning driveways and driveway aprons. It will also make both

codes more efficient and easier to interpret for public and staff.

Staff recommends to accept and make findings of fact as discussed at this Plan Commission meeting and within the staff report dated November 29, 2023. Staff recommends the Plan Commission recommend the Village Board of Trustees to approve the Village Code Amendments for Section 3-4-2-6 as presented in the attached report titled, "12/05/23 Land Development Code Amendment Report", dated November 29, 2023 and approve the Land Development Code Amendments for Section 6-306.E.8 and 6-406.B also presented in the "12/05/23 Land Development Code Amendment Report".

Ms. Haberstich clarified the reason for the continuance from November 21 was to have construction specification items in the Village Code and dimensional items in the Land Development Code. In preparation for tonight's meeting, it was determined that this is expected to be a two-part improvement, involving the Engineering on specifics on the transfer from the Land Development Code and the Village Code.

Chairman Parisi asked for clarification on minimum concrete thickness of 6" and if driveways made of brick/pavers should be mentioned.

Mr. Lueken responded to Chairman Parisi regarding paver requirements. (refer to audio)

Commissioner Zomparelli asked why make the change.

Ms. Henry responded. (refer to audio)

Commissioner Zomparelli asked additional questions regarding maximum and minimum width of driveways. (refer to audio)

Ms. Haberstich responded. (refer to audio)

Commissioner Zomparelli asked about 20' driveways. (refer to audio)

Mr. Lueken responded. (refer to audio)

Commissioner Zomparelli had additional questions regarding larger driveways. (refer to audio)

Ms. Haberstich responded regarding lot coverage. (refer to audio)

Commissioner Zomparelli made additional comments about the code and absorption. He feels we should go with minimum. (refer to audio)

Chairman Parisi commented about the street level and width of the driveway

encroaching on easements.

Commissioner Zomparelli commented on cutting off a neighbor's driveway. (refer to audio)

Mr. Lueken responded regarding regulating a maximum instead of a minimum. (refer to audio)

Joel Van Essen gave additional comments regarding why Pubic Works would agree with maximum driveway and apron widths. (refer to audio)

Commissioner Zomparelli responded. (refer to audio)

Chairman Parisi went on record to state Commissioner's Schussler and Nugent arrived at the meeting and previously stated they would be late.

Commissioner Nugent had comments and questions regarding limiting resident's ability to convert garages or have a driveway on the side of the house. (refer to audio)

Ms. Haberstich responded regarding lot coverage and zoning district requirements. (refer to audio)

Commissioner Nugent had additional comments. (refer to audio)

Mr. Lueken made comments on limiting factors. (refer to audio)

Mr. Nugent had additional comments regarding driveways and having the same rights yesterday as tomorrow. (refer to audio)

Ms. Haberstich responded they should.

Mr. Nugent commented on whether the amendment prohibits the ability for someone to do a project because the driveway is too wide.

Commission Schussler added it doesn't, it's clean-up moving it from one place to another.

Mr. Nugent verified on record if this is just clean-up or if it's limiting the options for certain neighborhoods.

Ms. Haberstich responded. (refer to audio)

Ms. Henry added we haven't changed any numbers that are preexisting, we're simply moving things around. (refer to audio)

Ms. Haberstich responded there may be other regulations impacting a driveway design.

Ms. Henry continued there may be other regulations that may keep residents from doing what they want but not this one.

Commissioner Schussler commented on a change to the numbers and briefly discussed his thoughts on width of driveways. (refer to audio)

Commissioner Paul asked about not being able to do blacktop on new driveways.

Mr. Lueken responded it's still allowed per the flatwork permit.

Commissioner Schussler asked the staff how they felt about a 21' wide double driveway.

Chairman Parisi had additional comments on the basis of 20'.

Ms. Haberstich asked a clarifying question.

Commissioner Schussler responded for a double-car driveway make it 21' and leave the 3-car the same as it is now. (refer to audio)

Commissioner Zomparelli had comments on a 10' wide parking spaces. (refer to audio)

Mr. Lueken gave examples of measurements to consider. (refer to audio)

Commissioner Zomparelli responded on how tight 20' is. (refer to audio)

Commissioner Schussler asked for staff's thoughts on the 21'.

Mr. Lueken gave his opinion and stated it's a fair consideration. (refer to audio)

Chairman Parisi stated the purpose of this amendment is to consolidate where this information can be found.

Commissioner Schussler asked staff to look at whether 21' is feasible and report back. He also stated his intent is not to change the apron width but the driveway width to make it easier to get in and out of vehicles.

Mr. Van Essen spoke. (refer to audio)

No members of the public spoke.

I move to recommend to the Village Board to approve the Plan Commission

recommended action for case number 2023-0898, also known as Technical Amendment: Clarify Driveway and Driveway Apron Regulations.

THIS PART IS FOR REFERENCE ONLY (NOT NECESSARY TO BE READ)
I move to recommend to the Village Board of Trustees to approve the Land Development Code and Village Code Amendments for Sections 6-306.E.8, 6-406.B.6, 3-4-2-6 as presented in the attached report titled "12/5/23 Land Development Code Amendment Report" dated November 29, 2023.

A motion was made by Member John J. Paul, seconded by Member Daniel Sanchez, that this matter be APPROVED. The motion carried by the following vote:

Aye: 6 - Member Parisi, Member Schussler, Member Paul, Member Zomparelli, Member Sanchez and Member Nugent

Nay: 0

Absent: 1 - Member Zaatar

CLOSE PUBLIC HEARING

A motion was made by Member Nick Parisi, seconded by Member John J. Paul, that this matter be APPROVED. The motion carried by the following vote:

Aye: 6 - Member Parisi, Member Schussler, Member Paul, Member Zomparelli, Member Sanchez and Member Nugent

Nay: 0

Absent: 1 - Member Zaatar

NON-PUBLIC HEARINGS

2023-0515 Athletic Operations Maintenance Facility Project - 14601 West Avenue

Ms. Skrodzki swore in Joel Van Essen on behalf of the Petitioner.

Mr. Van Essen gave a brief presentation on the project. Since 2015, an Athletics Maintenance Facility has been planned in order to increase storage for Recreation and Parks equipment and materials to maintain and enhance fields and recreational spaces in the Village. The project will also renovate the existing Park Administration building and add a new small garage for Veterans. (refer to audio)

Commissioner Schussler asked if he's referring to the existing garage.

Mr. Van Essen replied they are tearing down the existing one, that's where the maintenance building will be and we're adding another small garage just for the Veterans. The Village will dispose of the old Veterans building in the near future.

Mr. Van Essen continued his presentation. (refer to audio)

Ms. Henry respectfully requested the staff report be accepted into the record as written and as presented during the meeting. (refer to staff report)

Ms. Henry gave a brief presentation on the project. Location, plans and conceptual renderings were shown. (refer to audio)

Staff recommends to accept and make findings of fact as discussed at this Plan Commission meeting and within the staff report dated November 29, 2023, and that the Plan Commission approve a site plan and building elevations subject to conditions 1 through 4. (refer to staff report)

Commissioner Zomparelli asked if the little garage will have a basement.

Mr. Van Essen responded the existing Parks Administration building that's being turned into the Veterans building has a basement that can be used for storage. There will be no new basement.

Commissioner Zomparelli added it would be expensive and asked why not use a steeper roof.

Ms. Skrodzki swore in Jon Murawski on behalf of the Petitioner.

Mr. Murawski discussed the structure of the building and keeping the roof shallow. (refer to audio)

Commissioner Zomparelli replied you're basically building a shed with a brick façade.

Mr. Murawski responded 100 percent yes.

Commissioner Zomparelli commented that he understood keeping down costs and stated the current garage has been there for a long time.

Mr. Murawski stated you can move the current garage with your hand.

Commissioner Zomparelli asked if the lawnmowers and other equipment will be kept in this garage.

Mr. Van Essen responded yes, and the smaller athletic equipment.

Discussion continued regarding equipment and maintenance. (refer to audio)

Park maintenance staff used the house at one point and the offices will move the Rec/Admin facility. The house is in good shape. (refer to audio)

Mr. Van Essen responded the Veterans are excited about the location in the park area and it's a win-win.

Addressing for the building will be confirmed by the Village's GIS staff. (refer to audio)

Commissioner Nugent added for the record that the street should be spelled out and asked if they're approving 14601, 14671 or both.

Chairman Parisi asked for the address of the existing house.

Mr. Nugent stated the addresses should be consistent and asked if the neighbors on West Avenue objected or had concerns.

Mr. Van Essen responded not that he knew of and he thought some might be at tonight's meeting.

Commissioner Schussler asked if some of the Veterans were not happy about moving.

Mr. Van Essen responded most are and they've convinced the others that didn't know the plan.

Commissioner Schussler asked how much they're projecting to spend on remodeling the building for the Veterans.

Mr. Van Essen responded about \$90,000 has been set aside until the bids come in.

Commissioner Schussler had additional comments.

Mr. Van Essen responded. (refer to audio)

The masonry will be utility brick size. (refer to audio)

Mr. Schussler had additional questions about the location of the building.

Mr. Van Essen responded. (refer to audio)

Mr. Schussler asked if the Centennial site was considered.

Mr. Van Essen responded. (refer to audio)

Commissioner Schussler had additional comments stating it's an attractive/necessary building and he's all in favor.

Commissioner Sanchez stated his only question was about the address and the building looks great.

Commissioner Paul added it's a great idea and he's on board.

No members of the public spoke.

Regarding Case Number 2023-0515, also known as Orland Park Athletics Maintenance Facility, Staff recommends to accept and make findings of fact as discussed at this Plan Commission meeting and within the Staff Report dated November 29, 2023;

And

Staff recommends that the Plan Commission approve a site plan and building elevations subject to the following conditions:

1. The development will be in substantial conformance with the Preliminary Site Plan for and the Building Elevations for Athletics Maintenance Facility dated [insert date here].
2. Meet all building code requirements and final engineering requirements including required permits from outside agencies.
3. All ground-based and roof-mounted mechanical equipment must be fully screened from view and shall meet the requirements listed in 6-308.J.
4. Submit a sign permit application to the Development Services Department for separate review. Signs are subject to additional review and approval via the sign permitting process and additional restrictions may apply.

Recommended Motion

Regarding Case Number 2023-0515, also known as Orland Park Athletics Maintenance Facility, I move to approve the Staff Recommended Action as presented in the Staff Report to the Plan Commission for this case.

A motion was made by Member Nick Parisi, seconded by Member John J. Paul, that this matter be APPROVED. The motion carried by the following vote:

Aye: 6 - Member Parisi, Member Schussler, Member Paul, Member Zomparelli, Member Sanchez and Member Nugent

Nay: 0

Absent: 1 - Member Zaatar

OTHER BUSINESS

Mr. Lueken introduced new Senior Engineer, Peter Puljic.

2023-0948 Memo: New Petitions

NON-SCHEDULED CITIZENS & VISITORS

ADJOURNMENT

This meeting was adjourned at 7:47 p.m.

A motion was made by Member Nick Parisi, seconded by Member John J. Paul, that this matter be ADJOURNMENT. The motion carried by the following vote:

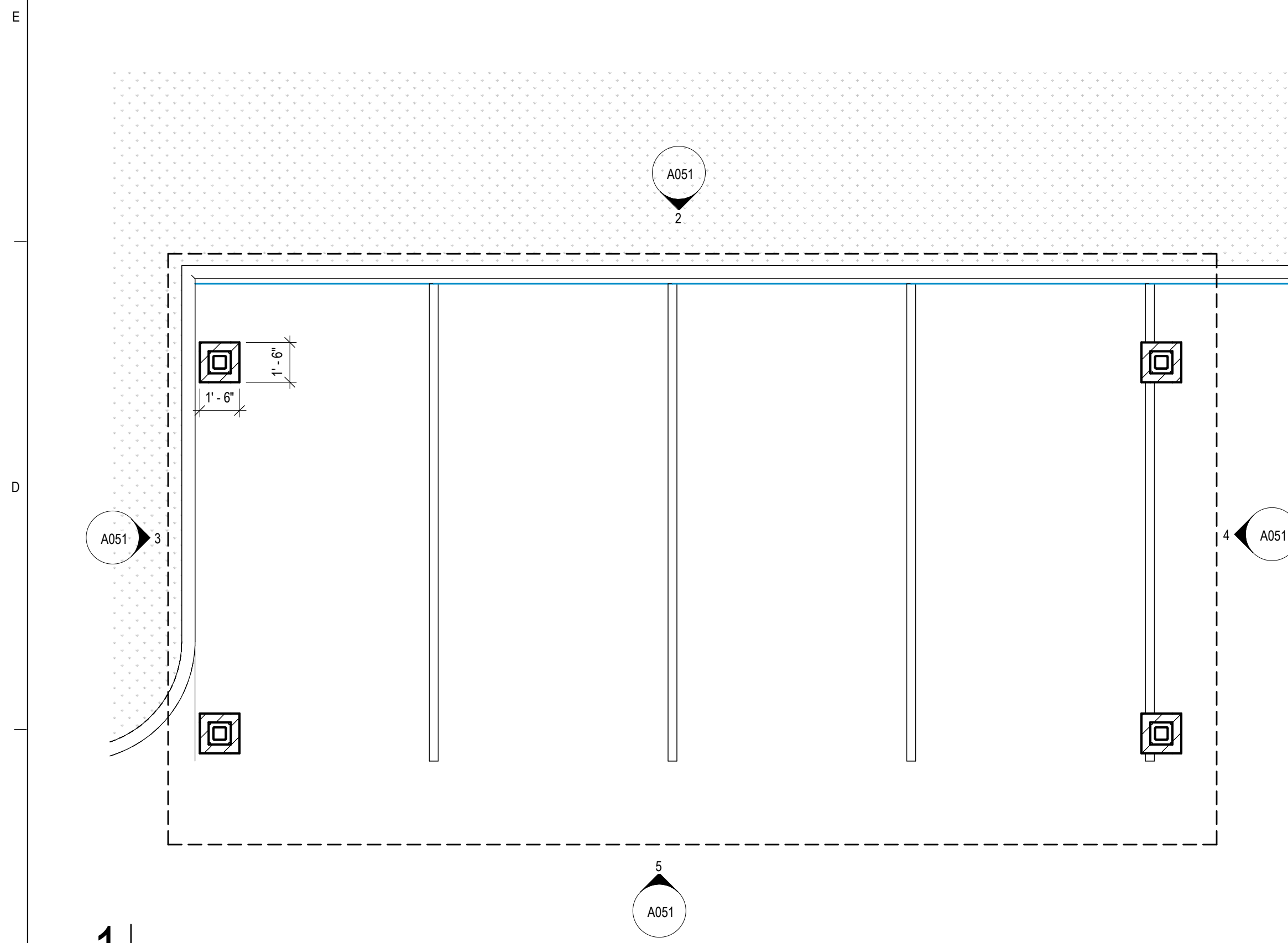
Aye: 6 - Member Parisi, Member Schussler, Member Paul, Member Zomparelli, Member Sanchez and Member Nugent

Nay: 0

Absent: 1 - Member Zaatar

KEYNOTE LEGEND

#	NOTE
03 15 00.B1	
03 31 00.J1	Concrete Slab - See Structural
03 31 00.K1	4'-0" x 4'-0" x 1'-0" Cast-in-Place Concrete Footing
03 41 00	Precast Structural Concrete
03 41 00.A1	12" x 12" Precast Concrete Rectangular Column
04 05 00	Common Work Results for Masonry
04 05 16	Masonry Grouting
04 21 00.A1	Standard Brick - 3/8" Joint
04 40 00	Stone Assemblies
05 30 00	Metal Decking
05 41 00.A4	3-1/2" Metal Stud
05 41 00.A8	6" Metal Stud
06 11 00.I1	2x12
06 22 00	Millwork
07 21 00.B4	2" Rigid Insulation
07 22 00	Roof and Deck Insulation
07 50 00	Membrane Roofing
07 51 00	Built-Up Bituminous Roofing
07 62 00.I4	
07 62 00.I5	
07 72 33	Roof Hatch
08 40 00	Entrances, Storefronts, and Curtain Walls
08 50 00	Windows
09 29 00.D1	5/8" Gypsum Wallboard
09 29 00.E1	3/4" Gypsum Wallboard
09 51 00	Acoustical Ceilings
10 51 00	Lockers
10 70 00	Exterior Specialties
12 36 00	Countertop
31 23 00.A2	Compacted Soil
32 10 00	Bases, Ballasts, and Paving



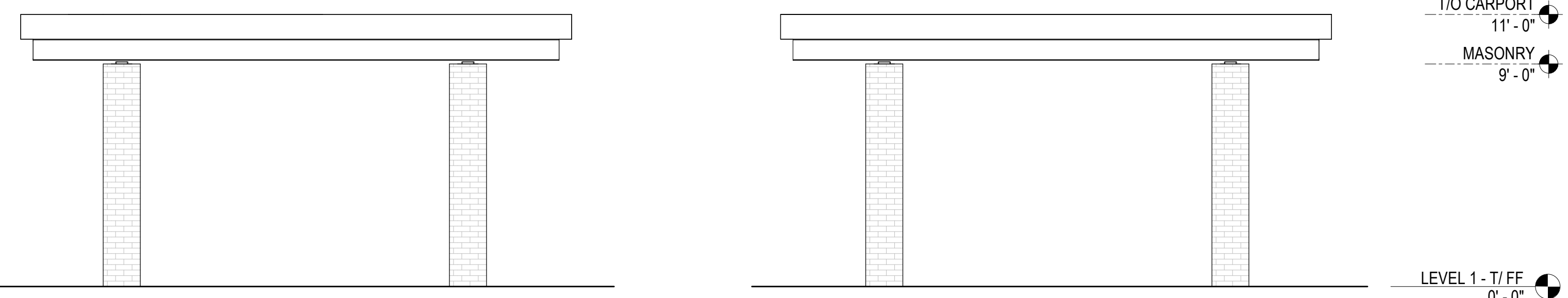
1 ENLARGED CARPORT PLAN
A051 1/4" = 1'-0"



2 CARPORT EAST ELEVATION
A051 1/4" = 1'-0"

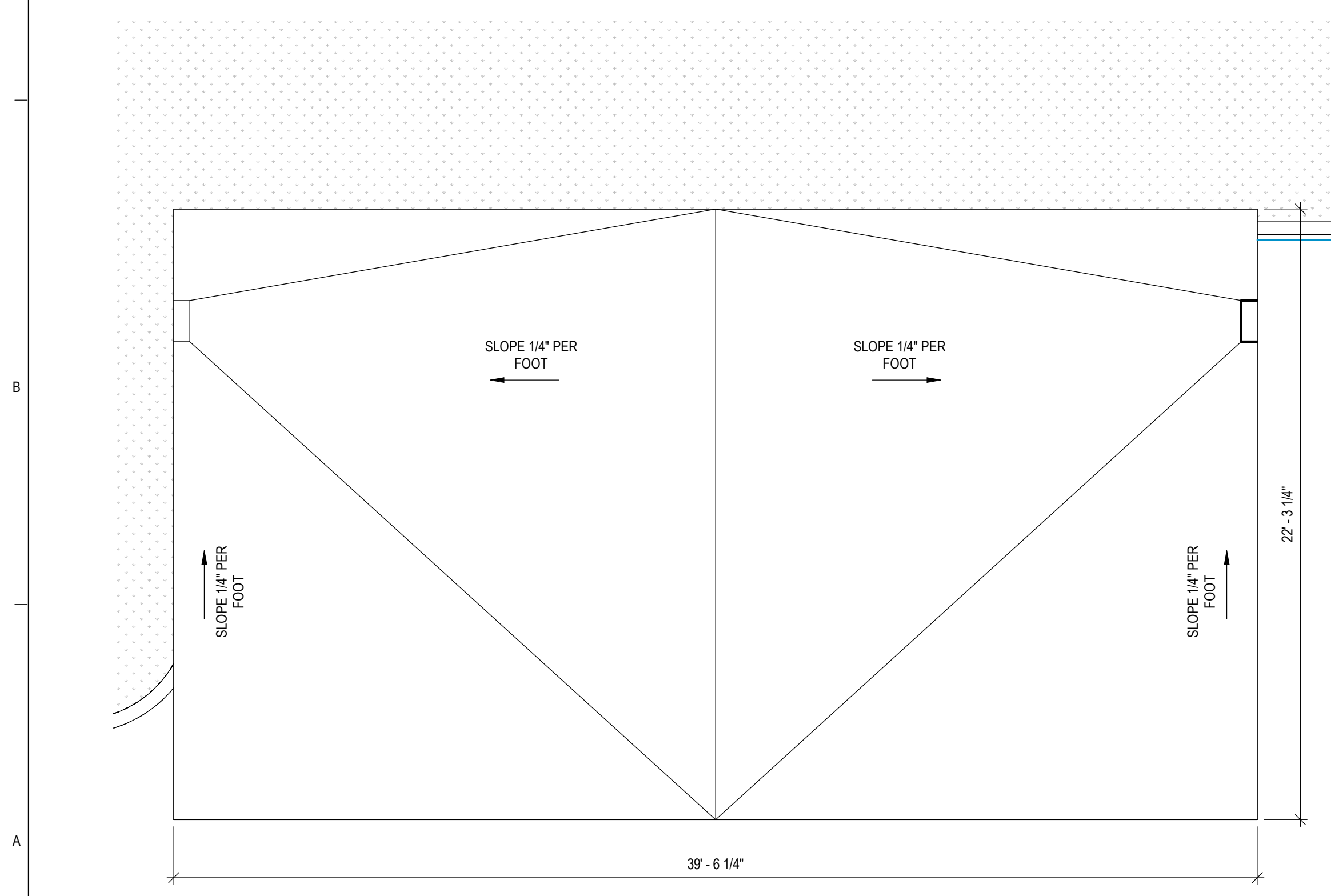


5 CARPORT WEST ELEVATION
A051 1/4" = 1'-0"



3 CARPORT NORTH ELEVATION
A051 1/4" = 1'-0"

4 CARPORT SOUTH ELEVATION
A051 1/4" = 1'-0"



6 ENLARGED CARPORT ROOF PLAN
A051 1/4" = 1'-0"

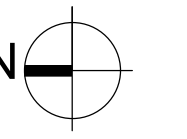
SEAL

NOT FOR CONSTRUCTION

ISSUE

ISSUED FOR REVIEW - 60%

REV	DATE	DESCRIPTION
1	12/01/23	ISSUED FOR REVIEW - 60%



PROJECT NO.	2023-053
DESIGNED BY	RB
DRAWN BY	RB
CHECKED BY	IRP
APPROVED BY	--
SHEET TITLE	

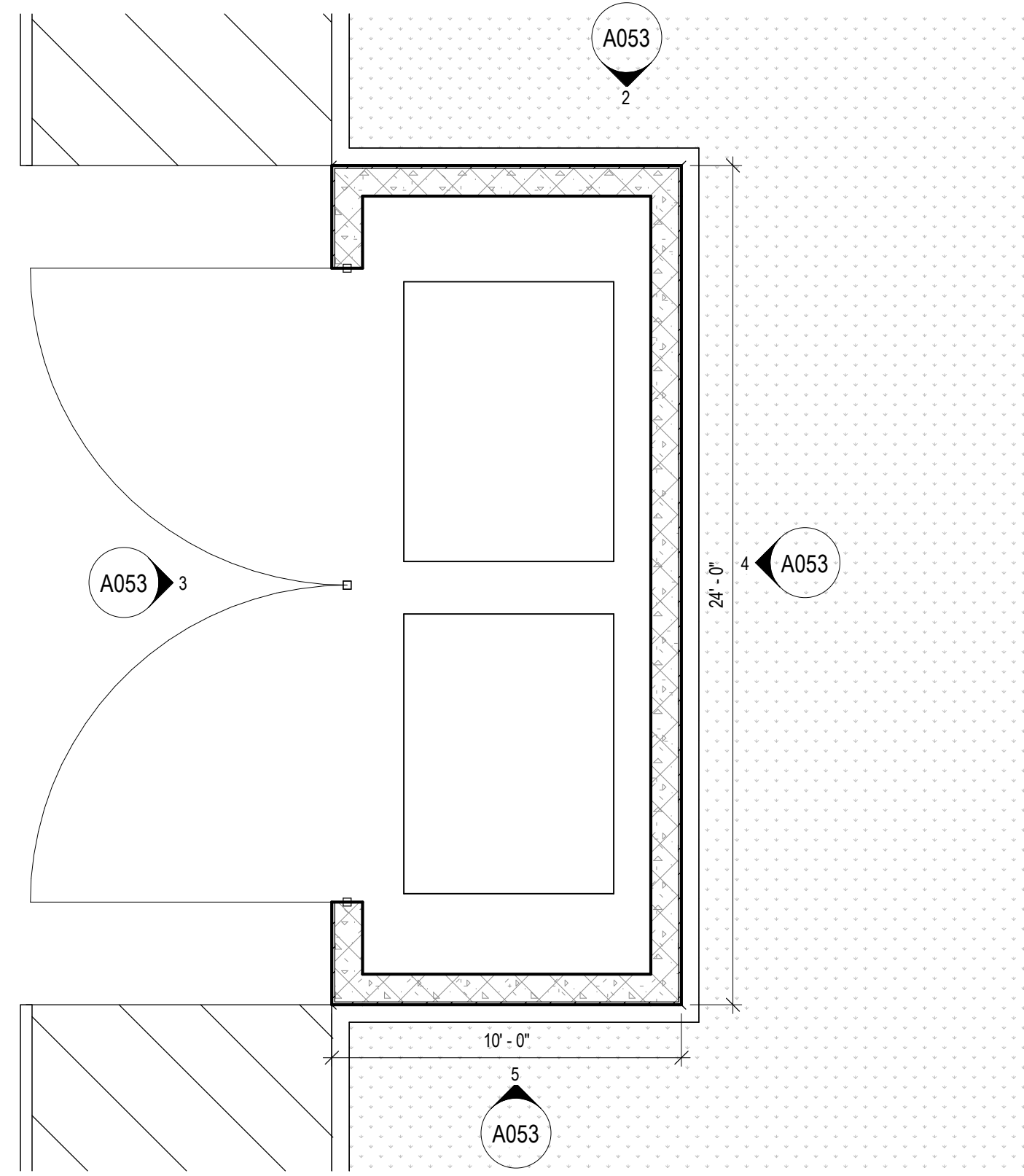
PROJECT TITLE	
CARPORT PLANS	
DATE:	SHEET NO.
12/01/23	A051
REV:	
1	



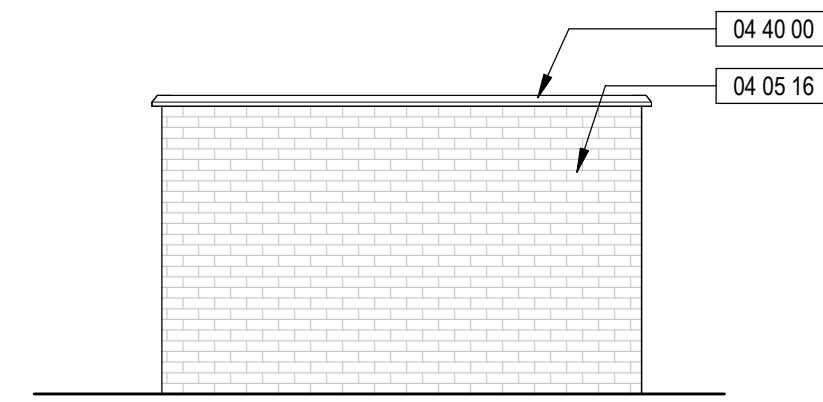
KEYNOTE LEGEND

#	NOTE
03 15 00.B1	
03 31 00.J1	Concrete Slab - See Structural
03 31 00.K1	4'-0" x 4'-0" x 1'-0" Cast-in-Place Concrete Footing
03 41 00	Precast Structural Concrete
03 41 00.A1	12" x 12" Precast Concrete Rectangular Column
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04 05 16	Masonry Grouting
04 21 00.A1	Standard Brick - 3/8" Joint
04 40 00	Stone Assemblies
05 30 00	Metal Decking
05 41 00.A4	3-1/2" Metal Stud
05 41 00.A8	6" Metal Stud
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07 50 00	Membrane Roofing
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07 62 00.H4	
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07 72 33	Roof Hatch
08 40 00	Entrances, Storefronts, and Curtain Walls
08 50 00	Windows
09 29 00.D1	5/8" Gypsum Wallboard
09 29 00.E1	3/4" Gypsum Wallboard
09 51 00	Acoustical Ceilings
10 51 00	Lockers
10 70 00	Exterior Specialties
12 36 00	Countertop
31 23 00.A2	Compacted Soil
32 10 00	Bases, Ballasts, and Paving

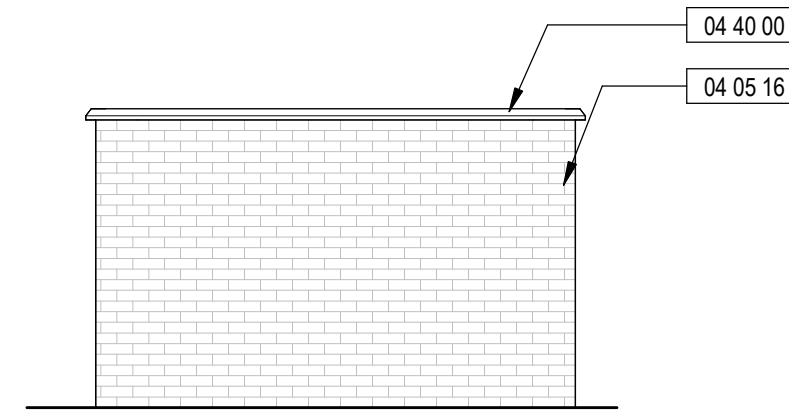
1 ENLARGED TRASH ENCLOSURE PLAN
A053 1/4" = 1'-0"



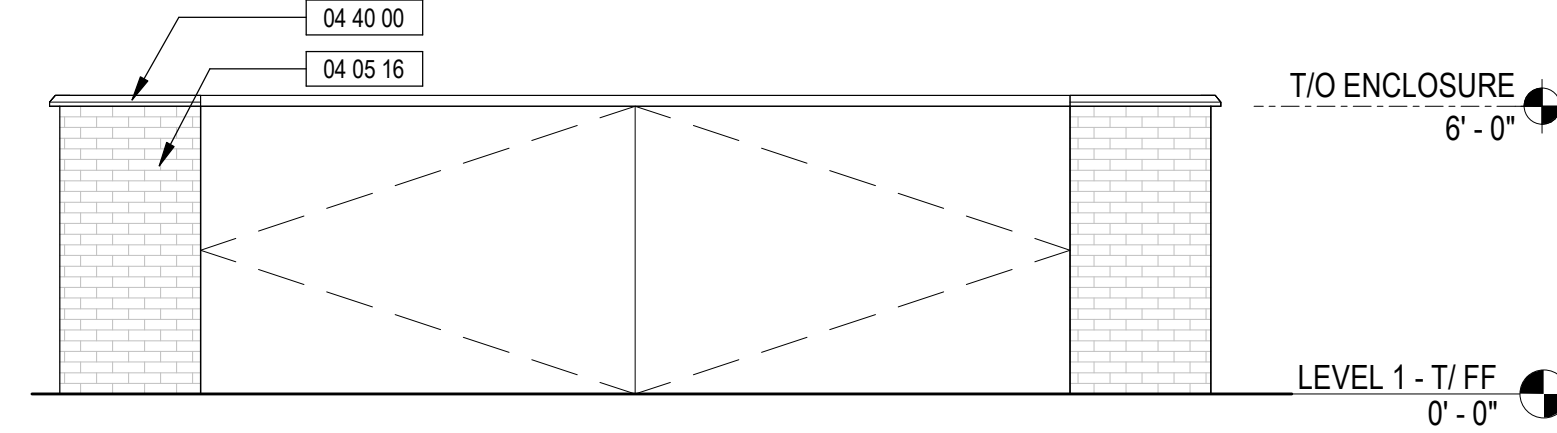
2 TRASH ENCLOSURE EAST WALL
A053 1/4" = 1'-0"



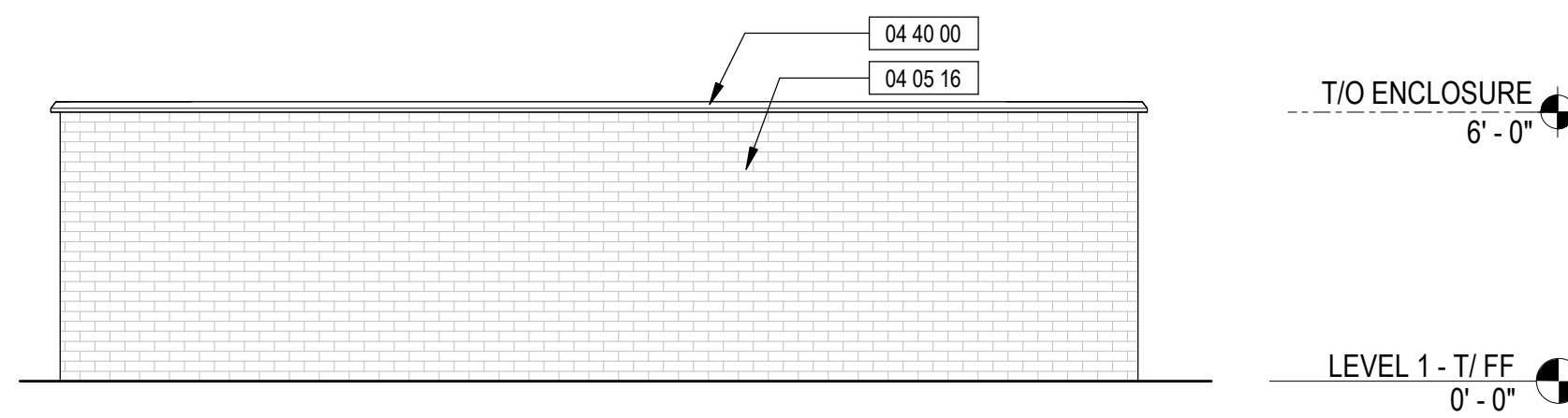
5 TRASH ENCLOSURE WEST WALL
A053 1/4" = 1'-0"



3 TRASH ENCLOSURE NORTH WALL
A053 1/4" = 1'-0"



4 TRASH ENCLOSURE SOUTH WALL
A053 1/4" = 1'-0"



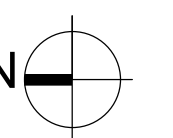
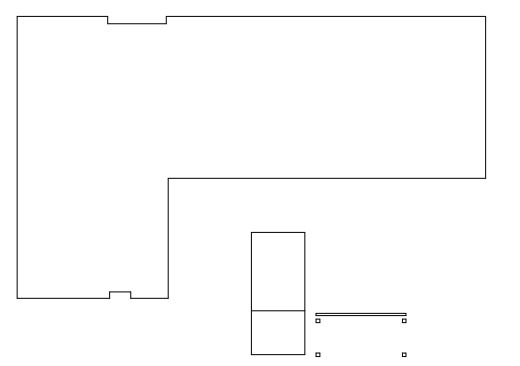
SEAL

NOT FOR CONSTRUCTION

ISSUE
ISSUED FOR REVIEW - 60%

REV	DATE	DESCRIPTION
1	12/01/23	ISSUED FOR REVIEW - 60%

KEY PLAN



PROJECT NO.	2023-053
DESIGNED BY	RB
DRAWN BY	RB
CHECKED BY	IRP
APPROVED BY	--

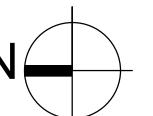
SHEET TITLE

ENLARGED PLAN
ELEMENTS

DATE:	12/01/23
REV:	1

SHEET NO.

A053

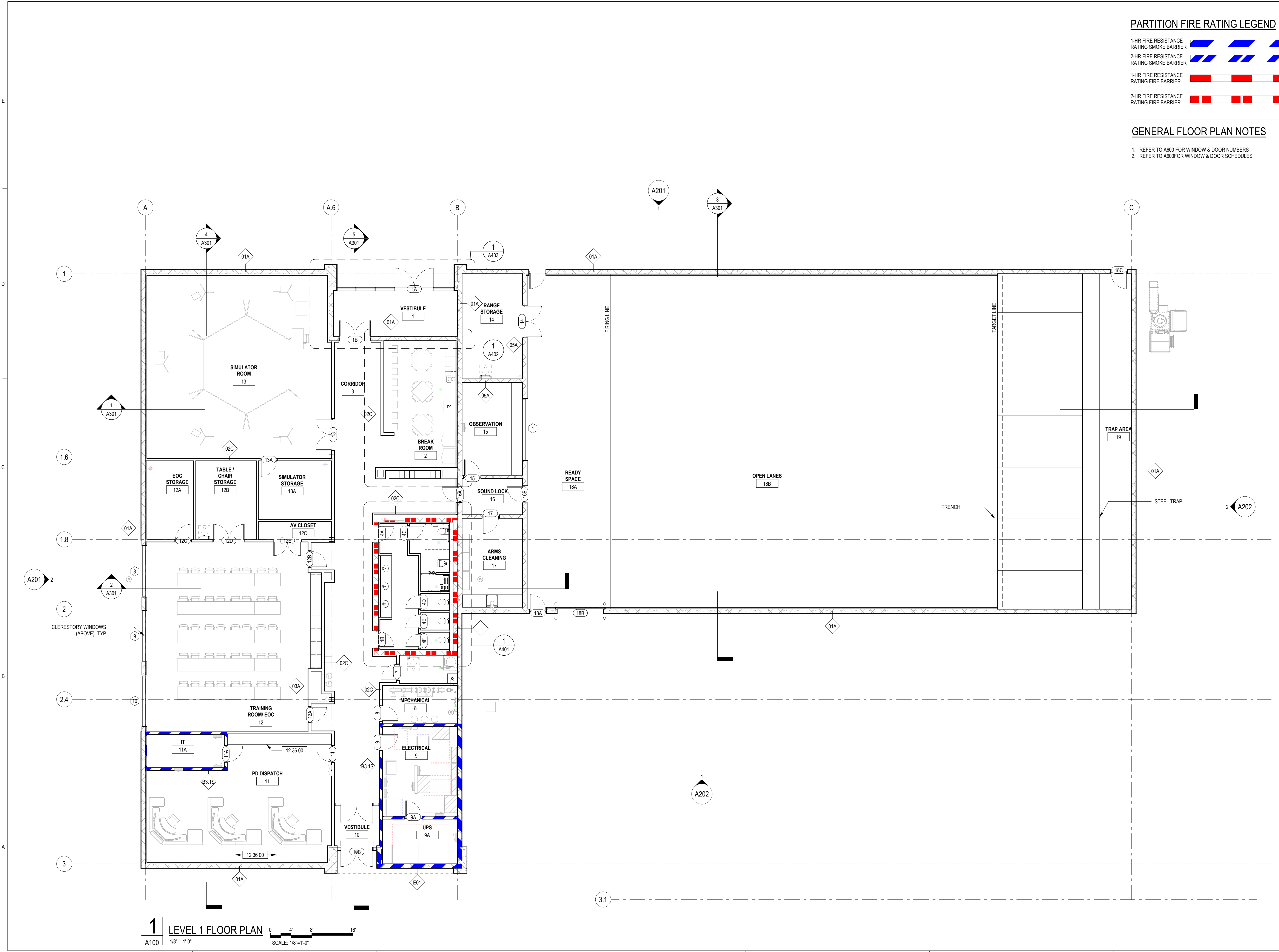


PARTITION FIRE RATING LEGEND

- 1-HR FIRE RESISTANCE RATING SMOKE BARRIER
- 2-HR FIRE RESISTANCE RATING SMOKE BARRIER
- 1-HR FIRE RESISTANCE RATING FIRE BARRIER
- 2-HR FIRE RESISTANCE RATING FIRE BARRIER

GENERAL FLOOR PLAN NOTES

1. REFER TO A600 FOR WINDOW & DOOR NUMBERS
2. REFER TO A600 FOR WINDOW & DOOR SCHEDULES



1 LEVEL 1 FLOOR PLAN
SCALE: 1/8"=1'-0"

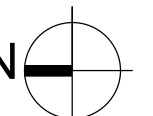
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 12/18/23 12:12:16 PM

SEAL

NOT FOR CONSTRUCTION

ISSUE
ISSUED FOR REVIEW - 60%

REV	DATE	DESCRIPTION
2	12/01/23	ISSUED FOR REVIEW - 60%
1	10/18/23	ISSUED FOR REVIEW - 30%



PROJECT NO. 2023-053

DESIGNED BY RB

DRAWN BY RB

CHECKED BY IRP

APPROVED BY --

SHEET TITLE

ARCHITECTURAL SITE
PLAN

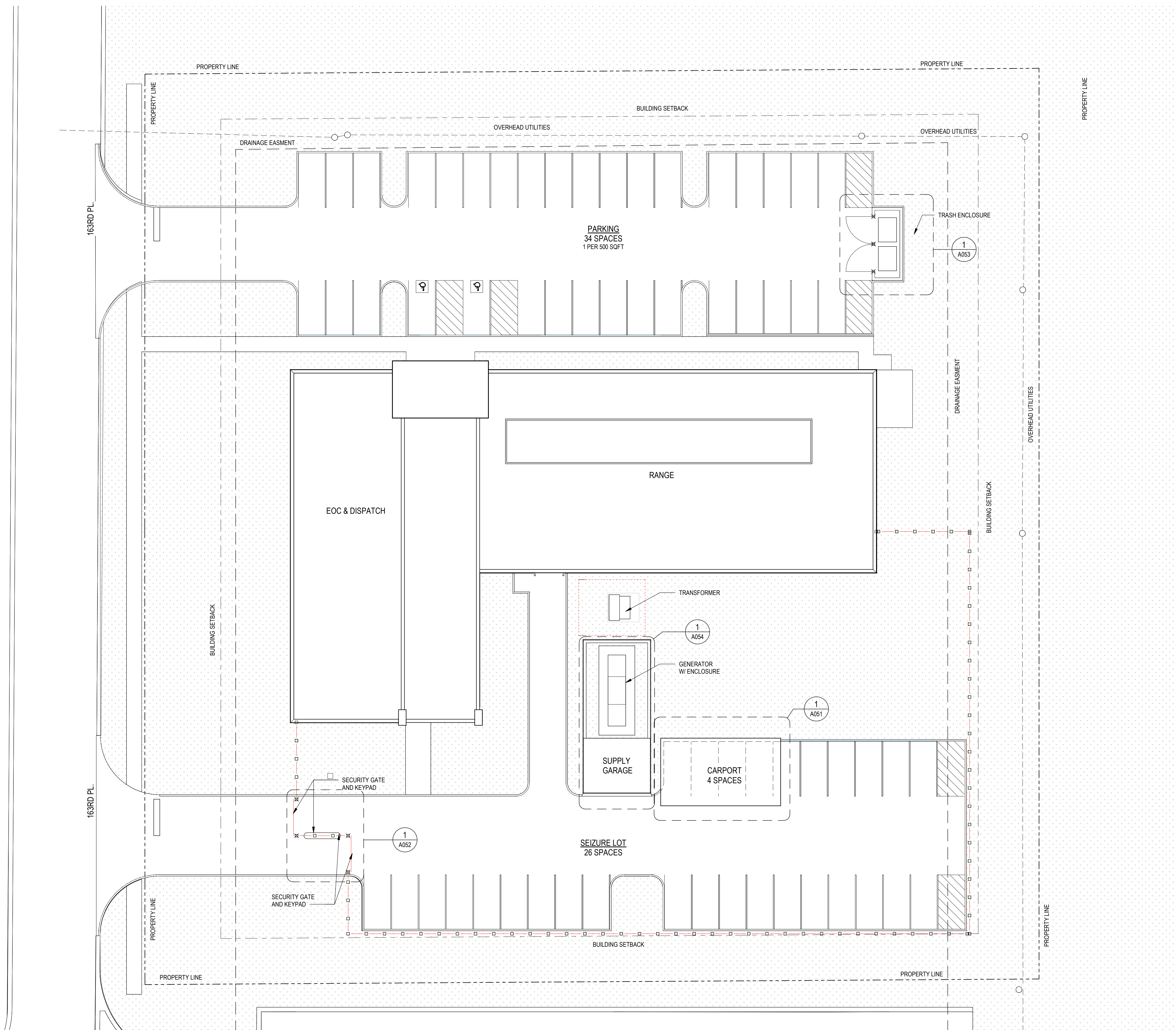
DATE: 12/01/23

REV. 2

SHEET NO.

A050

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1 SITE PLAN
A050 1/16" = 1'-0" SCALE: 1/16"=1'-0"

Model: Docs\2023-053 Orland Park Police Department Firing Range\2023-053 VOP FR Architectural R23.rvt
 12/18/23 12:12:10 PM

PLAT OF CONSOLIDATION

LOTS 26 AND 27
BEEMSTERBOER INDUSTRIAL PARK, PHASE 3
ORLAND PARK, ILLINOIS

LEGAL DESCRIPTION:

PARCEL 1 (FROM DEED - DOC. NO. 1808813054)

LOT 26 IN BEEMSTERBOER INDUSTRIAL PARK, PHASE 3, BEING A SUBDIVISION OF PARK OF THE WEST 1/2 OF THE SOUTHEAST 1/4 SECTION 20, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2 (FROM DEED - DOC. NO. 1808813053)

LOT 27 IN BEEMSTERBOER INDUSTRIAL PARK, PHASE 3, BEING A SUBDIVISION OF PARK OF THE WEST 1/2 OF THE SOUTHEAST 1/4 SECTION 20, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PROPERTY OWNER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

THIS IS TO DECLARE THAT _____ IS THE LEGAL AND TRUE OWNER OF PARCEL 1 SHOWN HEREON AND HAS ACCEPTED THE CONSOLIDATION AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

PIN 27-16-401-018-0000

BY: _____

ITS: _____

ATTEST: _____

DATED ____ DAY OF _____, A.D., 2023

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE

STATE AFORESAID, DO HEREBY CERTIFY THAT _____ IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME ARE SUBSCRIBED TO THE AFORESAID INSTRUMENT AS SUCH OWNER, APPEARED BEFORE ME THIS DATE IN PERSON AND ACKNOWLEDGED THAT HE SIGNED PLAT OF CONSOLIDATION AS HIS OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL THIS ____ DAY OF _____, A.D., 2023

AT _____, ILLINOIS.

NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

WE, VALDES ARCHITECTURE AND ENGINEERING, ILLINOIS DESIGN FIRM NUMBER 184001286-0015, HEREBY DECLARE THAT THE ABOVE DESCRIBED PROPERTY IS CORRECTLY PLATTED HEREON FROM EXISTING PLATS, DEEDS AND RECORDS FOR THE PURPOSE SHOWN HEREON.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, A.D., 2023.

PRELIMINARY

SCOTT M. GREGORY, PLS
VALDES ARCHITECTURE AND ENGINEERING
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184001286-0006
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003942

PROPERTY OWNER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

THIS IS TO DECLARE THAT _____ IS THE LEGAL AND TRUE OWNER OF PARCEL 2 SHOWN HEREON AND HAS ACCEPTED THE CONSOLIDATION AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

PIN 27-16-401-018-0000

BY: _____

ITS: _____

ATTEST: _____

DATED ____ DAY OF _____, A.D., 2023

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE

STATE AFORESAID, DO HEREBY CERTIFY THAT _____ IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME ARE SUBSCRIBED TO THE AFORESAID INSTRUMENT AS SUCH OWNER, APPEARED BEFORE ME THIS DATE IN PERSON AND ACKNOWLEDGED THAT HE SIGNED PLAT OF CONSOLIDATION AS HIS OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL THIS ____ DAY OF _____, A.D., 2023

AT _____, ILLINOIS.

NOTARY PUBLIC

THE PRESIDENT AND BOARD OF TRUSTEES:

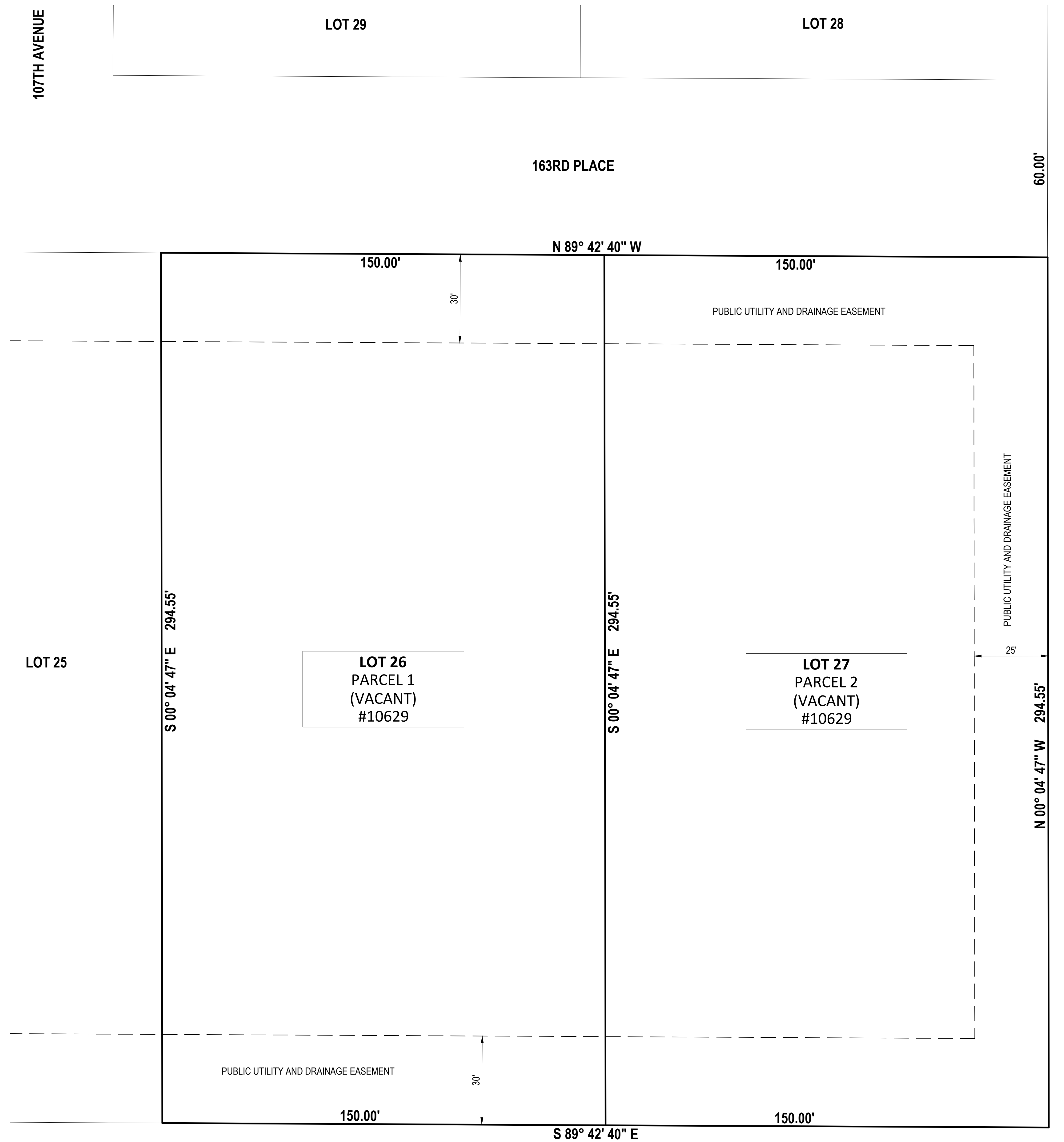
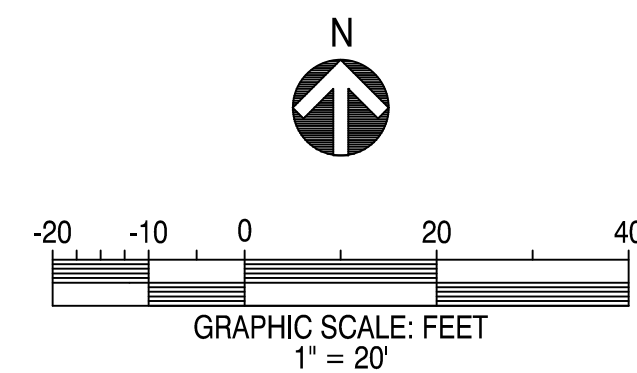
STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF ORLAND PARK, COOK COUNTY, ILLINOIS.

THIS ____ DAY OF _____, A.D., 2023.

VILLAGE PRESIDENT

ATTEST: VILLAGE CLERK

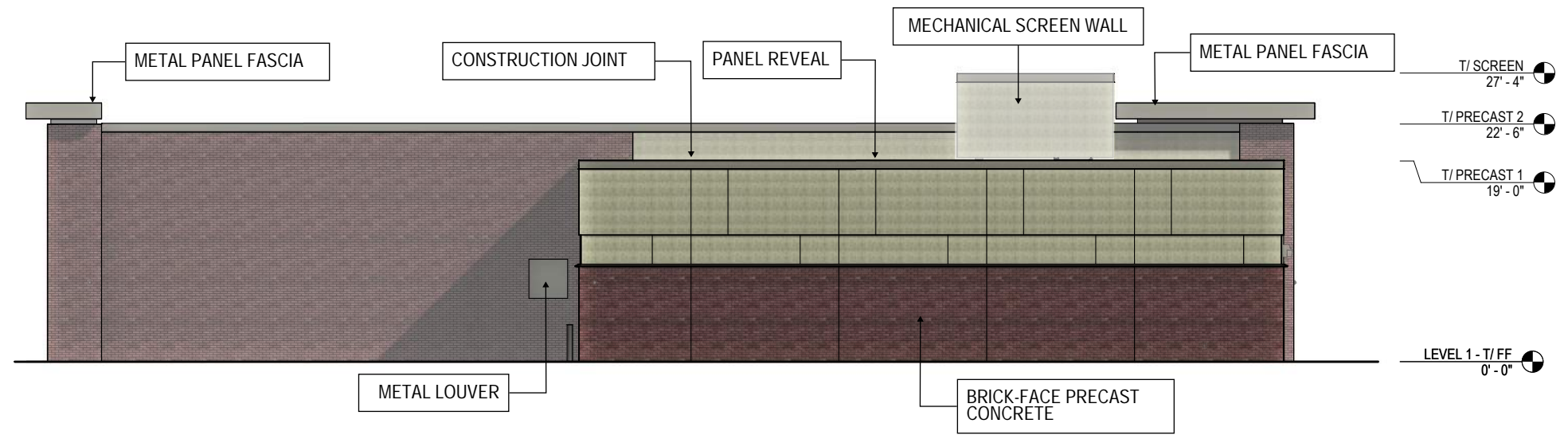


REV.	DATE	BY	DESCRIPTION OF REVISION	CHK.	APP.
0	3/15/23	JOL	ISSUED FOR INFORMATION	SMG	-



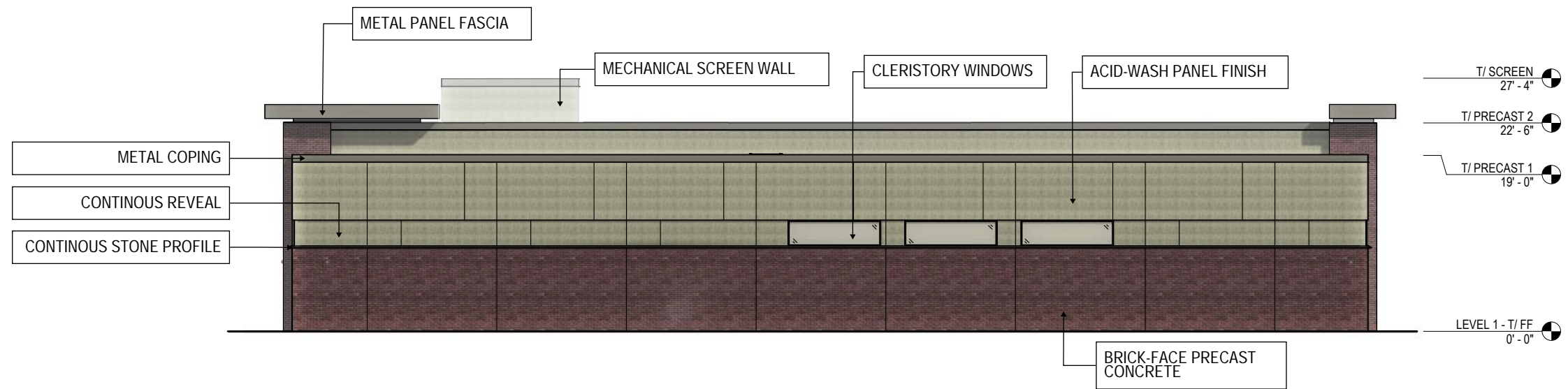
PLAT OF CONSOLIDATION
VILLAGE OF ORLAND PARK
163RD PLACE
ORLAND PARK, IL

DRAWING NUMBER 2023-053-SRV-002		
DRAWN BY JOL	CHECKED BY SMG	REV. 0
DATE 3/15/2023		



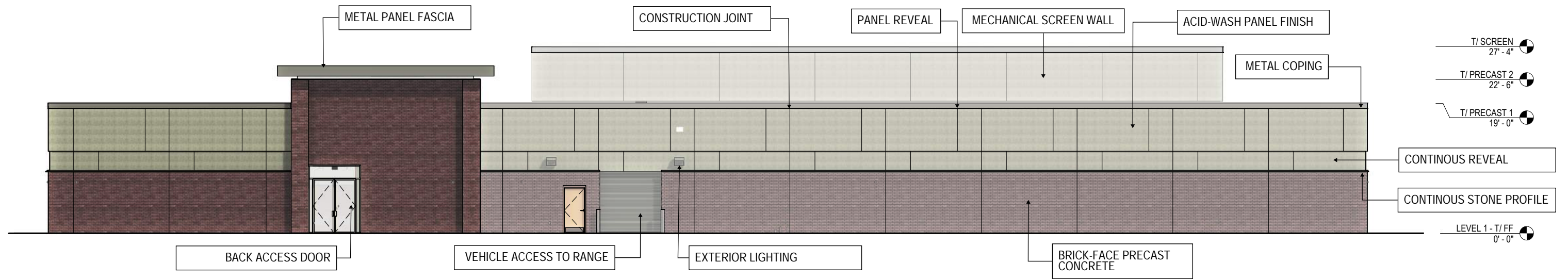
SOUTH ELEVATION

NTS



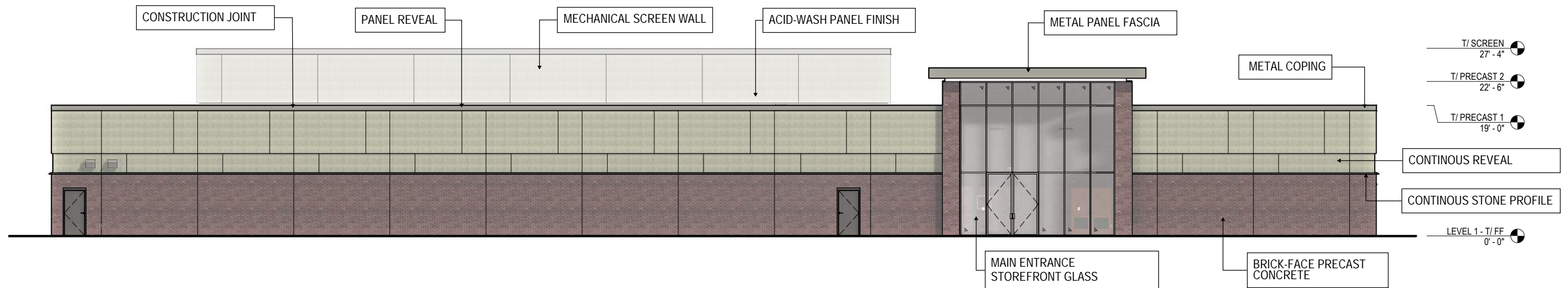
NORTH ELEVATION

NTS



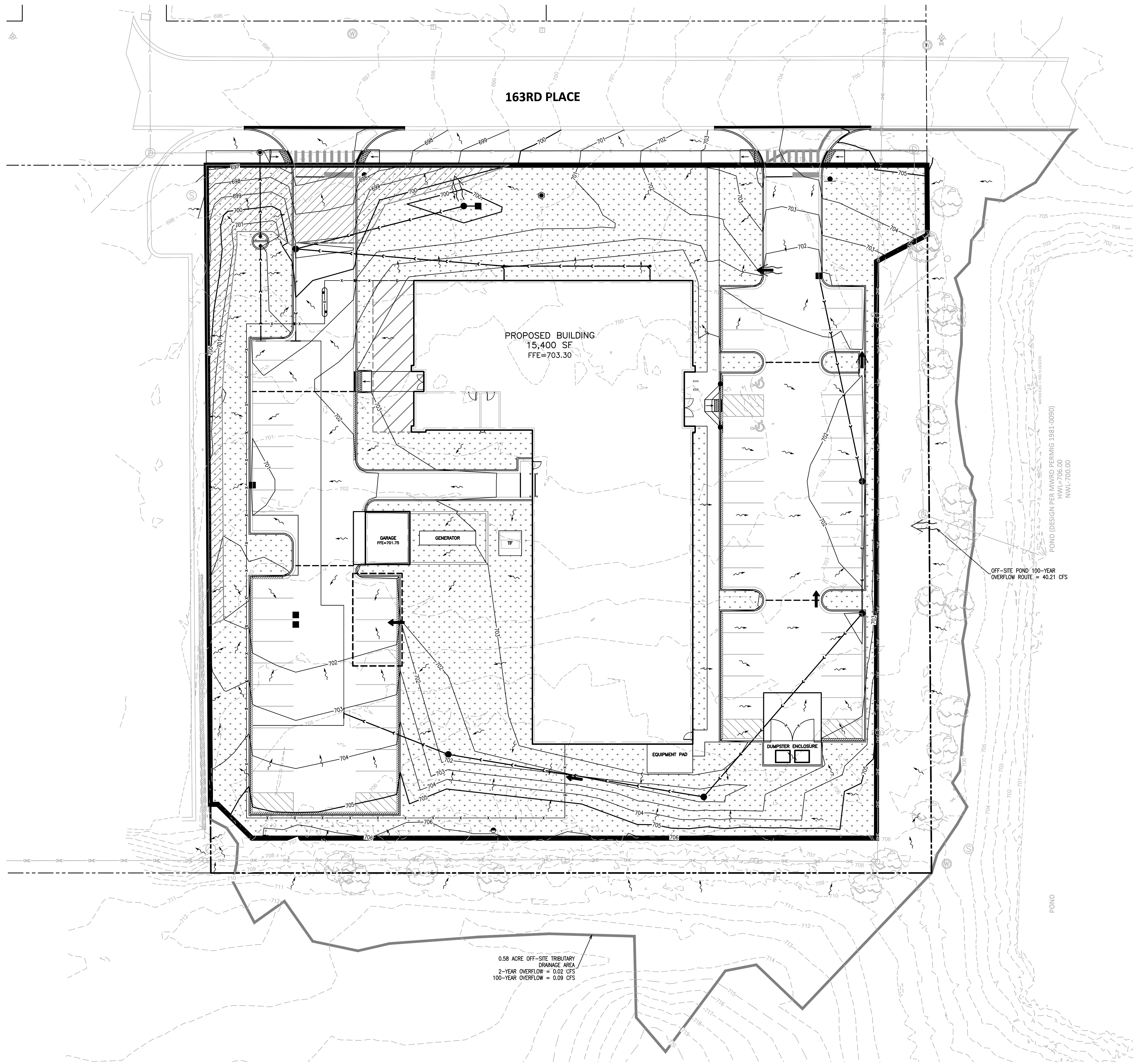
WEST ELEVATION

NTS



EAST ELEVATION

NTS



PROPOSED DRAINAGE EXHIBIT LEGEND:

- PROPERTY AREA
- DEVELOPMENT AREA
- OFF-SITE TRIBUTARY DRAINAGE AREA
- IMPERVIOUS AREA (CN=98)
- PERVIOUS AREA (CN=80)
- UNRESTRICTED AREA
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED DRAINAGE DIVIDE
- DRAINAGE DIRECTION
- OVERFLOW ROUTE
- OFF-SITE OVERFLOW ROUTE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER

STORMWATER MANAGEMENT SUMMARY TABLE:

PROJECT AREA	2.03 ACRES
DEVELOPMENT AREA	1.80 ACRES
PROPOSED IMPERVIOUS AREA (CN=98)	1.05 ACRES
PROPOSED PERVIOUS AREA (CN=80)	0.75 ACRES
UNRESTRICTED AREA (4.8%)	0.087 ACRES
COMPOSITE RUNOFF CURVE NUMBER	90.5
ADJUSTED RUNOFF CURVE NUMBER	85.5
2-YEAR VILLAGE ALLOWABLE RELEASE RATE (1.80 AC X 0.04 CFS/AC)	0.07 CFS
2-YEAR DESIGN RELEASE RATE	0.04 CFS
100-YEAR MWRD ALLOWABLE RELEASE RATE (1.80 AC X 0.30 CFS/AC)	0.54 CFS
100-YEAR VILLAGE ALLOWABLE RELEASE RATE (1.80 AC X 0.15 CFS/AC)	0.27 CFS
100-YEAR DESIGN RELEASE RATE	0.27 CFS
DETENTION VOLUME REQUIRED	0.83 ACRE-FEET
TOTAL DETENTION VOLUME PROVIDED	0.85 ACRE-FEET
EXISTING OFF-SITE DETENTION PROVIDED	0.31 ACRE-FEET
ADDITIONAL DETENTION PROVIDED (CONTECH CMP DETENTION SYSTEM)	0.54 ACRE-FEET
VOLUME CONTROL REQUIRED	0.09 ACRE-FEET
VOLUME CONTROL PROVIDED	0.09 ACRE-FEET
2-YEAR DESIGN RELEASE RATE (1" RESTRICTOR AT 692.35')	0.05 CFS
(ADJUSTED TO ACCOUNT FOR EXISTING OFF-SITE DETENTION)	
100-YEAR DESIGN RELEASE RATE (ADJUSTED TO ACCOUNT FOR EXISTING OFF-SITE DETENTION)	0.92 CFS
2-YEAR DESIGN RELEASE RATE (1" RESTRICTOR AT 692.35')	0.07 CFS
(ADJUSTED TO ACCOUNT FOR OFF-SITE TRIBUTARY DRAINAGE AREA)	
100-YEAR DESIGN RELEASE RATE (ADJUSTED TO ACCOUNT FOR OFF-SITE TRIBUTARY DRAINAGE AREA)	1.01 CFS
(4.75" RESTRICTOR AT 695.50')	

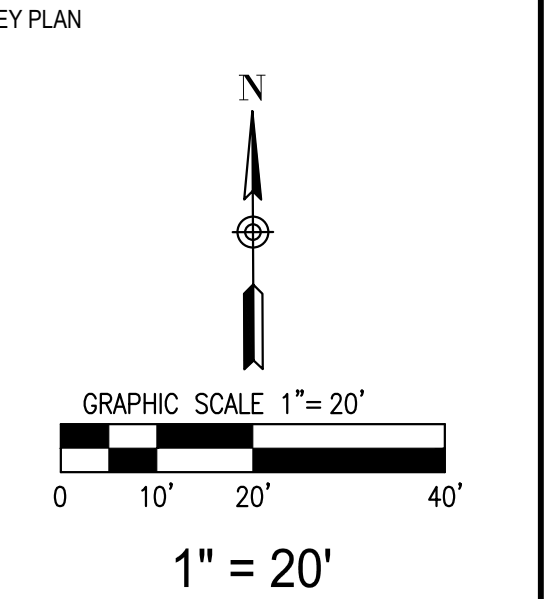
SEAL

NOT FOR CONSTRUCTION

ISSUE

ISSUED FOR REVIEW - 60%

REV	DATE	DESCRIPTION
2	12/01/23	ISSUED FOR REVIEW - 60%
1	10/18/23	ISSUED FOR REVIEW - 30%



PROJECT NO.	H064
DESIGNED BY	--
DRAWN BY	--
CHECKED BY	--
APPROVED BY	--
SHEET TITLE	

MWRD DRAINAGE PLAN

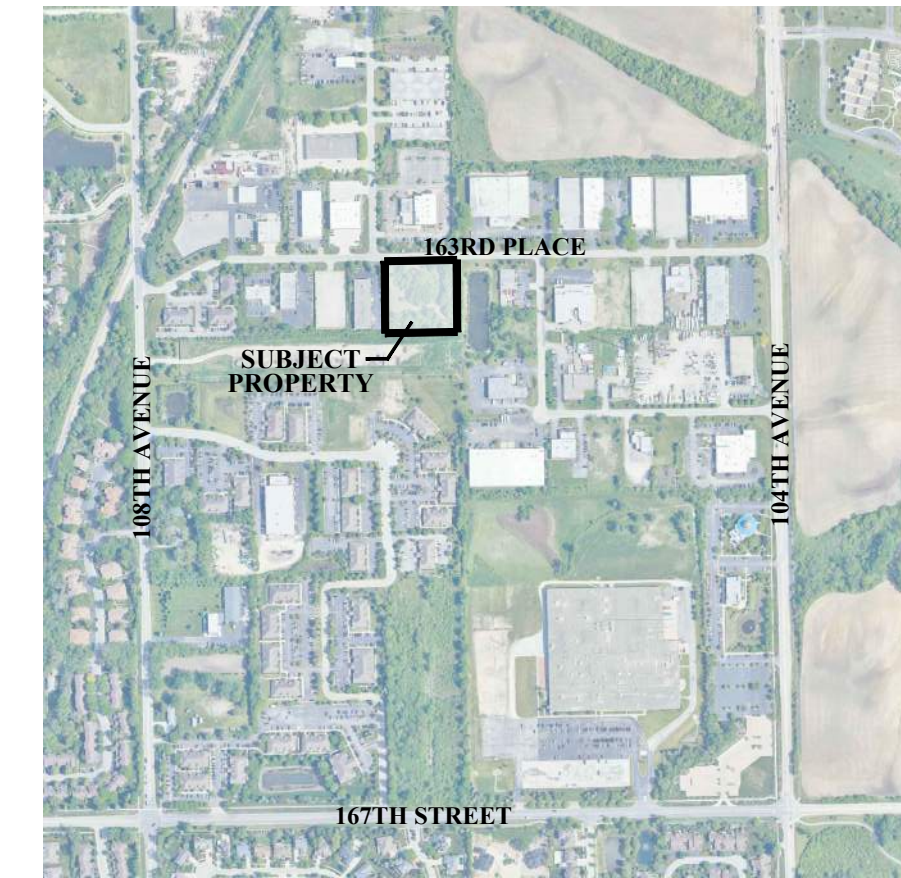
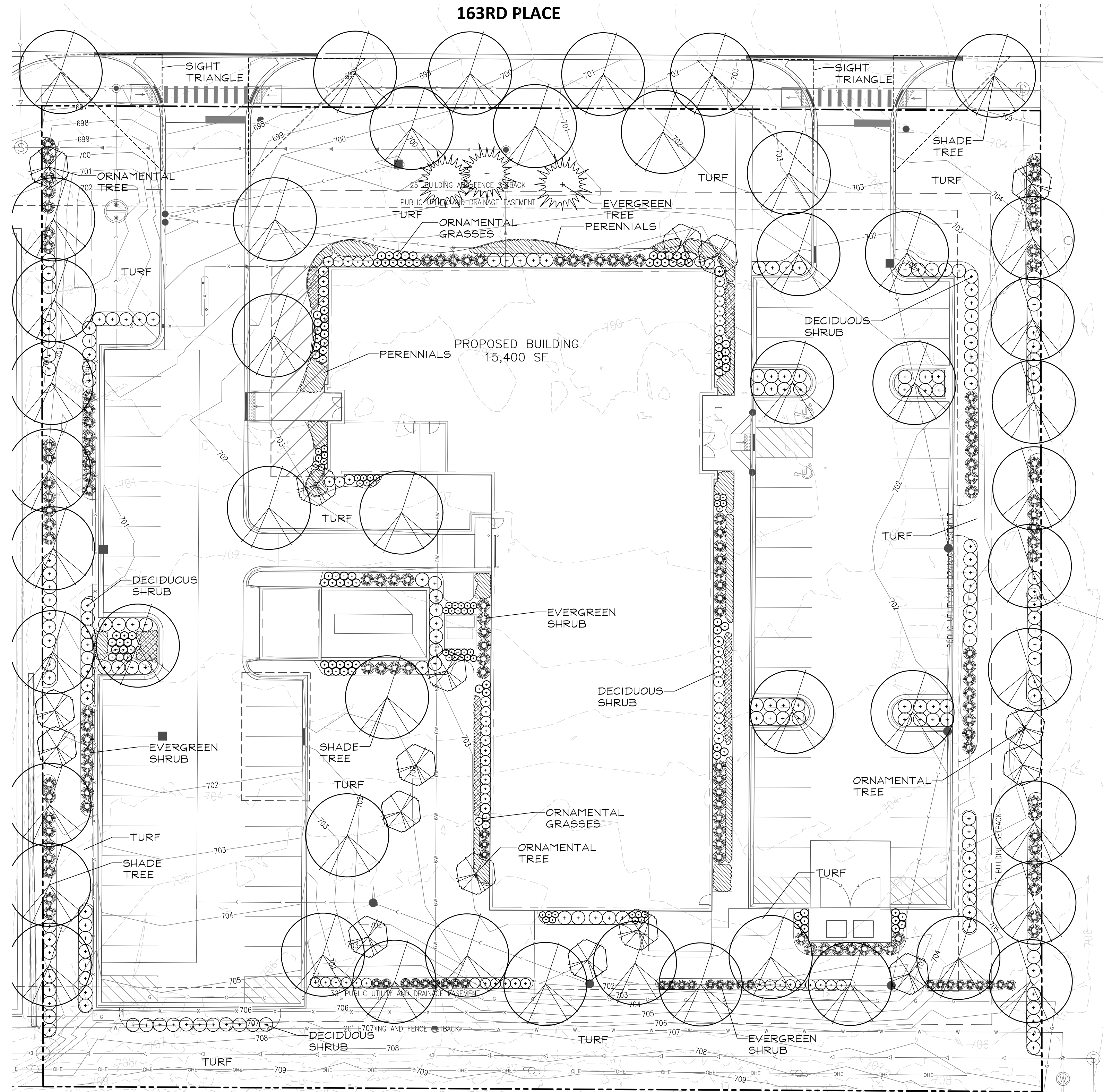
DATE:	12/01/23	SHEET NO.	C11
REV:	2		

DATA BOX

Total Site Area 88,939 s.f.
 Total Landscape Area 42,964 s.f. 48.3%
 Total Parking Island Landscaping 819 s.f. 4.00%

REQUIREMENTS TABLE

PARKWAY TREES - 163RD PLACE (240 L.F.)	
Required	1 tree/40' 6 Shade Trees
Provided	1 tree/40' 6 Shade Trees
CORRIDOR PLANTINGS - (240 L.F.)	
Required	1 Shade tree/100 L.F. 3 Shade Trees 1 Evergreen tree /100 L.F. 3 Evergreen Trees
Provided	1 Shade tree/100 L.F. 3 Shade Trees 1 Evergreen tree /100 L.F. 3 Evergreen Trees
EAST BUFFER YARD - (295 L.F.)	
Required	3 Shade Trees/100 L.F. 9 Shade Trees 1 Ornamental Tree/100 L.F. 3 Ornamental Trees 16 Shrubs/100 L.F. 48 Shrubs
Provided	3 Shade Trees/100 L.F. 8 Shade Trees 1 Ornamental Tree/100 L.F. 3 Ornamental Trees 16 Shrubs/100 L.F. 48 Shrubs
WEST BUFFER YARD - (295 L.F.)	
Required	3 Shade Trees/100 L.F. 8 Shade Trees 1 Ornamental Tree/100 L.F. 3 Ornamental Trees 16 Shrubs/100 L.F. 48 Shrubs
Provided	3 Shade Trees/100 L.F. 8 Shade Trees 1 Ornamental Tree/100 L.F. 3 Ornamental Trees 16 Shrubs/100 L.F. 48 Shrubs
SOUTH BUFFER YARD - (300 L.F.)	
Required	3 Shade Trees/100 L.F. 9 Shade Trees 1 Ornamental Tree/100 L.F. 3 Ornamental Trees 16 Shrubs/100 L.F. 48 Shrubs
Provided	3 Shade Trees/100 L.F. 9 Shade Trees 1 Ornamental Tree/100 L.F. 3 Ornamental Trees 16 Shrubs/100 L.F. 48 Shrubs
NORTH FOUNDATION PLANTINGS - (192 L.F.)	
Required	1 Ornamental Tree / 100' 2 Ornamental Trees 16 Shrubs or Grasses /100' 32 Shrubs and Grasses 100% Planted
Provided	1 Ornamental Tree / 100' 2 Ornamental Trees 16 Shrubs or Grasses / 100' 79 Shrubs and Grasses 100% Planted
SIDE & REAR FOUNDATION PLANTINGS - (379 L.F.)	
Required	1 Ornamental Tree / 100' 4 Ornamental Trees 16 Shrubs or Grasses /100' 64 Shrubs and Grasses 75% Planted (285 L.F.)
Provided	1 Ornamental Tree / 100' 4 Ornamental Trees 16 Shrubs or Grasses /100' 96 Shrubs and Grasses 75% Planted (290 L.F.)
PARKING ISLANDS	
Required	1 Shade tree/Parking Island 5 Shade Trees 60% Shrub or Perennial Coverage 38 Shrubs and 52 Perennials
Provided	1 Shade tree/Parking Island 5 Shade Trees 100% Shrub or Perennial Coverage 38 Shrubs and 52 Perennials
EAST PARKING SCREEN - (220 L.F.)	
Required	75% Screen at 3' Height 165 L.F.
Provided	75% Screen at 3' Height 212 L.F. (53 - 3' Shrubs)
WEST PARKING SCREEN - (276 L.F.)	
Required	75% Screen at 3' Height 207 L.F.
Provided	75% Screen at 3' Height 194 L.F. (47 - 3' Shrubs)
INTERIOR LANDSCAPING (88,939 s.f.)	
Required	1 Tree / 10,000 s.f. 9 Trees
Provided	1 Tree / 10,000 s.f. 9 Shade Trees 2 Ornamental Trees



LOCATION MAP
NOT TO SCALE

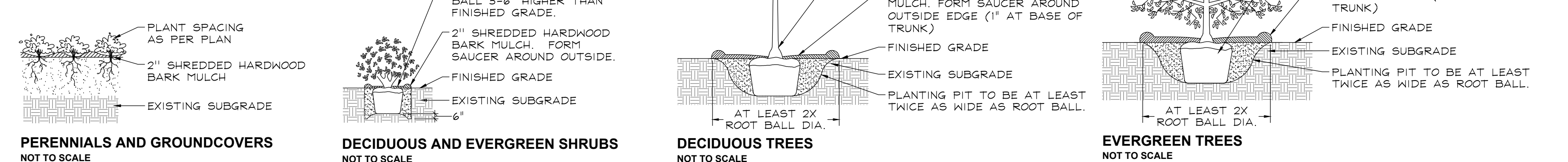
REPRESENTATIVE PLANT LIST

Key	Botanical/Common Name	Size	Remarks
SHADE TREES			
	Acer x freemanii 'Jeffers' Red'	2 1/2' Cal.	
	AUTUMN BLAZE MAPLE	2 1/2' Cal.	
	Celtis occidentalis	2 1/2' Cal.	
	COMMON HACKBERRY	2 1/2' Cal.	
	Gleditsia triacanthos var. inermis 'Skycole'	2 1/2' Cal.	
	SKYLINE HONEYLOCUST	2 1/2' Cal.	
	Quercus bicolor	2 1/2' Cal.	
	SWAMP WHITE OAK	2 1/2' Cal.	
	Tilia americana 'Redmond'	2 1/2' Cal.	
	REDMOND AMERICAN LINDEN	2 1/2' Cal.	
	Tilia cordata 'Greenspire'	2 1/2' Cal.	
	GREENSPIRE LITTLELEAF LINDEN	2 1/2' Cal.	
	Ulmus carpinifolia 'New Horizon'	2 1/2' Cal.	
	NEW HORIZON SMOOTHLEAF ELM	2 1/2' Cal.	
ORNAMENTAL TREES			
	Amelanchier x grandiflora	6' Ht.	Multi-Stem
	APPLE SERVICEBERRY		
	Betula nigra 'Cully'	6' Ht.	Multi-Stem
	HERITAGE RIVER BIRCH		
	Malus 'Prairifire'	6' Ht.	Multi-Stem
	PRAIRIFIRE CRABAPPLE		
	Syringa reticulata 'Ivory Silk'	6' Ht.	Multi-Stem
	IVORY SILK JAPANESE TREE LILAC		
EVERGREEN TREES			
	Abies concolor	8' Ht.	
	WHITE FIR		
	Picea glauca var. densata	8' Ht.	
	BLACK HILLS SPRUCE		
	Picea omorika	8' Ht.	
	SERBIAN SPRUCE		
	Pinus strobus	8' Ht.	
	EASTERN WHITE PINE		
DECIDUOUS SHRUBS			
	Cornus sericea 'Bailey'	36" Tall	5' O.C.
	BAILEY'S REDTWIG DOGWOOD		
	Hydrangea paniculata 'SMHPLOF'	24" Tall	3' O.C.
	LITTLE QUICK FIRE HYDRANGEA		
	Physocarpus opulifolius 'Seward'	30" Tall	4' O.C.
	SUMMER WINE NINEBARK		
	Rhus aromatica 'Gro-Low'	24" Wide	4' O.C.
	GRO-LOW SUMAC		
	Syringa meyeri 'Paladin'	24" Tall	4' O.C.
	DWARF KOREAN LILAC		
	Viburnum x juddii	36" Tall	4' O.C.
	JUDD VIBURNUM		
	Weigela florida 'Bramwell'	24" Tall	3' O.C.
	FINE WINE WEIGELA		
EVERGREEN SHRUBS			
	Juniperus chinensis 'Kallaya Compact'	24" Wide	4' O.C.
	KALLAYA COMPACT PFITZER JUNIPER		
	Juniperus chinensis 'Sea Green'	30" Wide	5' O.C.
	SEA GREEN JUNIPER		
	Taxus x media 'Densiflora'	24" Wide	4' O.C.
	DENSE YEW		
PERENNIALS AND ORNAMENTAL GRASSES			
	Allium 'Summer Beauty'	#1	18" O.C.
	SUMMER BEAUTY ONION		
	Calamagrostis x acutiflora 'Karl Foerster'	#1	30" O.C.
	FEATHER REED GRASS		
	Echinacea 'CBO Cone 2'	#1	18" O.C.
	PIKIE MEADOWBRITE CONEFLOWER		
	Hemerocallis 'Happy Returns'	#1	18" O.C.
	HAPPY RETURNS DAYLILY		
	Nepeta racemosa 'Walker's Low'	#1	18" O.C.
	WALKER'S LOW CATMINT		
	Sporobolus heterolepis	#1	24" O.C.
	PRAIRIE DROPSBED		

GENERAL LANDSCAPE NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect plant materials either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.

PLANTING DETAILS



Village of Orland Park Illinois

POLICE DEPARTMENT
FIRING RANGE AND EOC
FACILITY

16069 163rd St. Orland Park, IL 60467



SEAL

NOT FOR CONSTRUCTION

ISSUE
ISSUED FOR REVIEW - 30%

2	11/30/23	VILLAGE COMMENTS
1	10/18/23	ISSUED FOR REVIEW - 30%
REV	DATE	DESCRIPTION

KEY PLAN

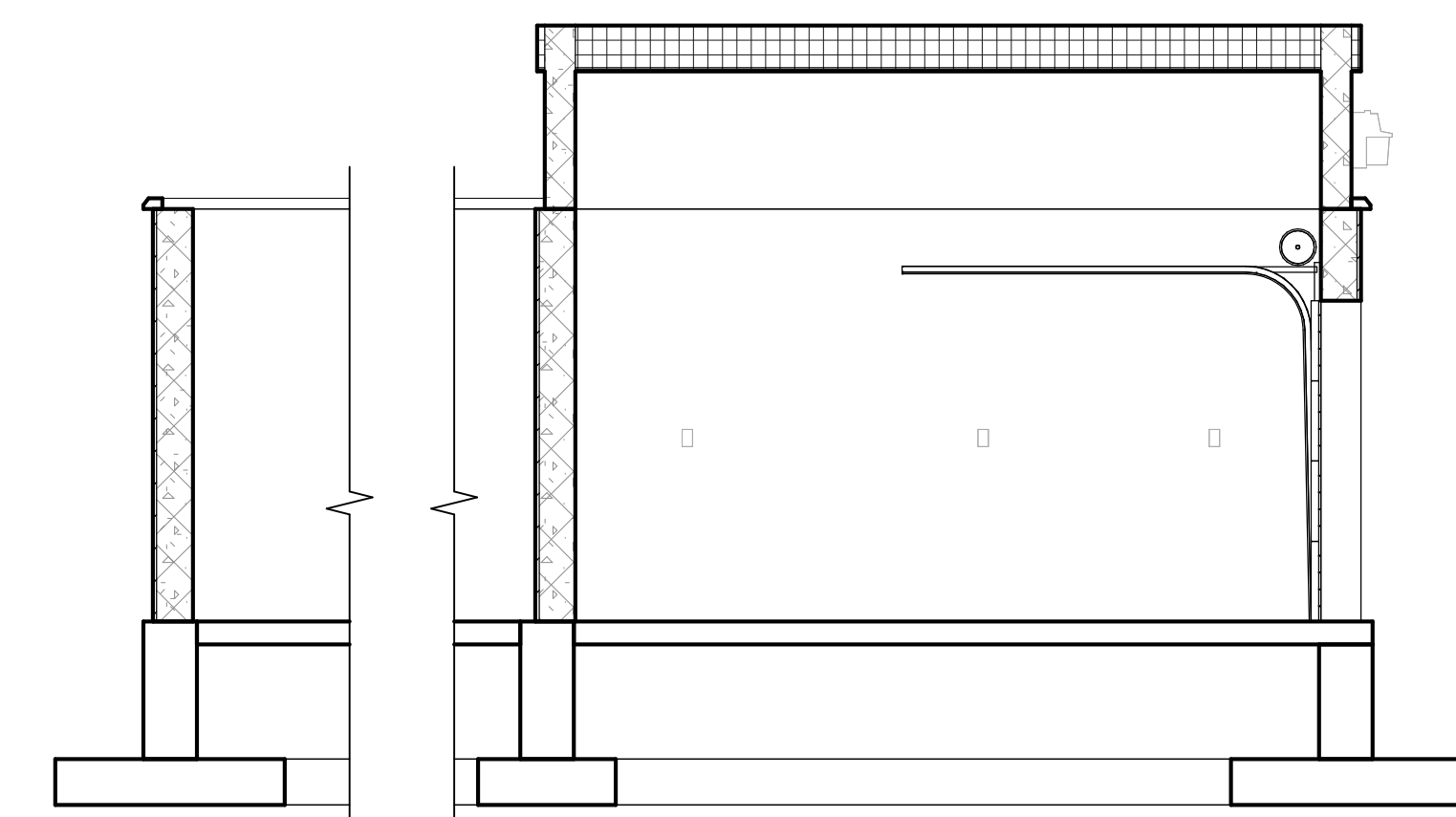
PROJECT NO.	JH23188
DESIGNED BY	...
DRAWN BY	MINW
CHECKED BY	...
APPROVED BY	NKF
SHEET TITLE	

PRELIMINARY LANDSCAPE PLAN

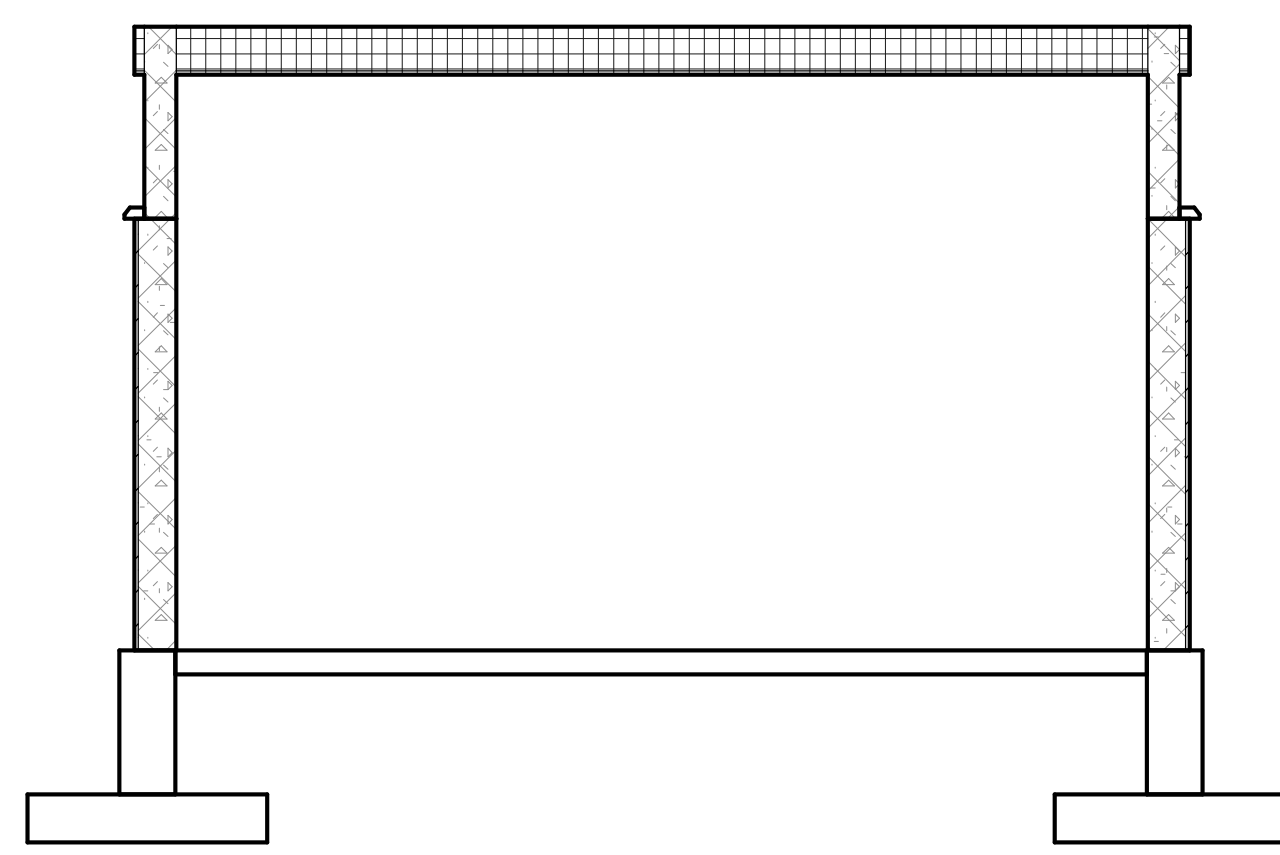
DATE: 10/18/23 SHEET NO:
REV: 2 **L101**

KEYNOTE LEGEND

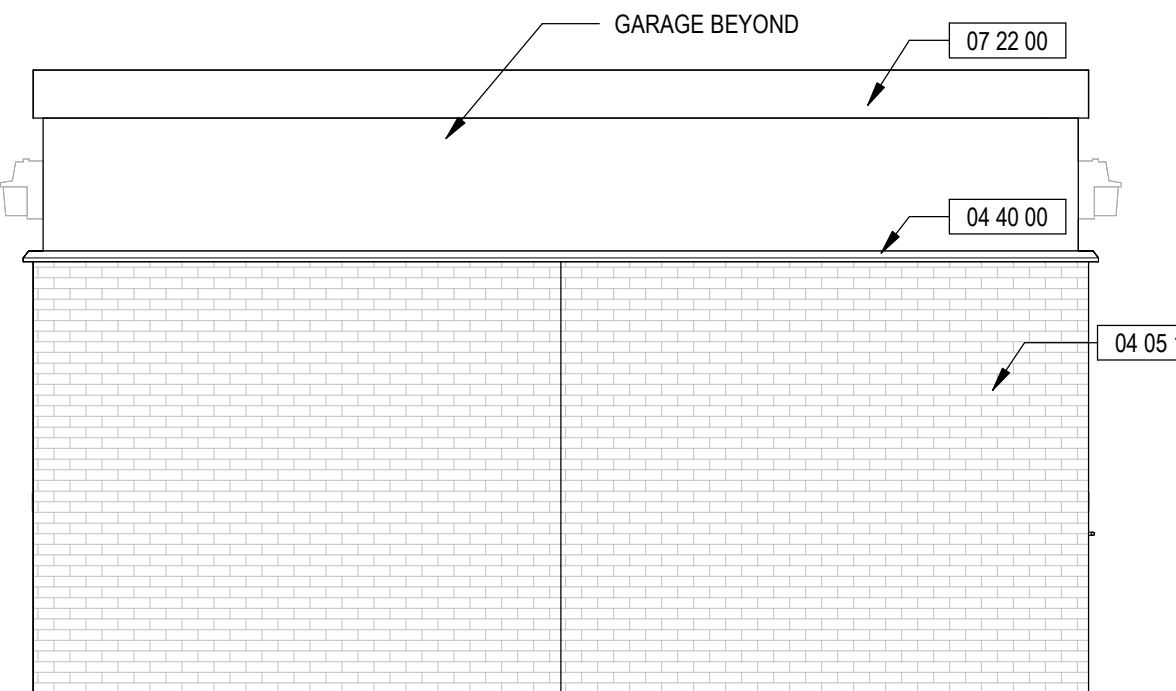
#	NOTE
03 15 00.B1	
03 31 00.J1	Concrete Slab - See Structural
03 31 00.K1	4'-0" x 4'-0" x 1'-0" Cast-in-Place Concrete Footing
03 41 00	Precast Structural Concrete
03 41 00.A1	12" x 12" Precast Concrete Rectangular Column
04 05 00	Common Work Results for Masonry
04 05 16	Masonry Grouting
04 21 00.A1	Standard Brick - 3/8" Joint
04 40 00	Stone Assemblies
05 30 00	Metal Decking
05 41 00.A4	3-1/2" Metal Stud
05 41 00.A8	6" Metal Stud
06 11 00.11	2x12
06 22 00	Millwork
07 21 00.B4	2" Rigid Insulation
07 22 00	Roof and Deck Insulation
07 50 00	Membrane Roofing
07 51 00	Built-Up Bituminous Roofing
07 62 00.H	
07 62 00.I5	
07 72 33	Roof Hatch
08 40 00	Entrances, Storefronts, and Curtain Walls
08 50 00	Windows
09 29 00.D1	5/8" Gypsum Wallboard
09 29 00.E1	3/4" Gypsum Wallboard
09 51 00	Acoustical Ceilings
10 51 00	Lockers
10 70 00	Exterior Specialties
12 36 00	Countertop
31 23 00.A2	Compacted Soil
32 10 00	Bases, Ballasts, and Paving



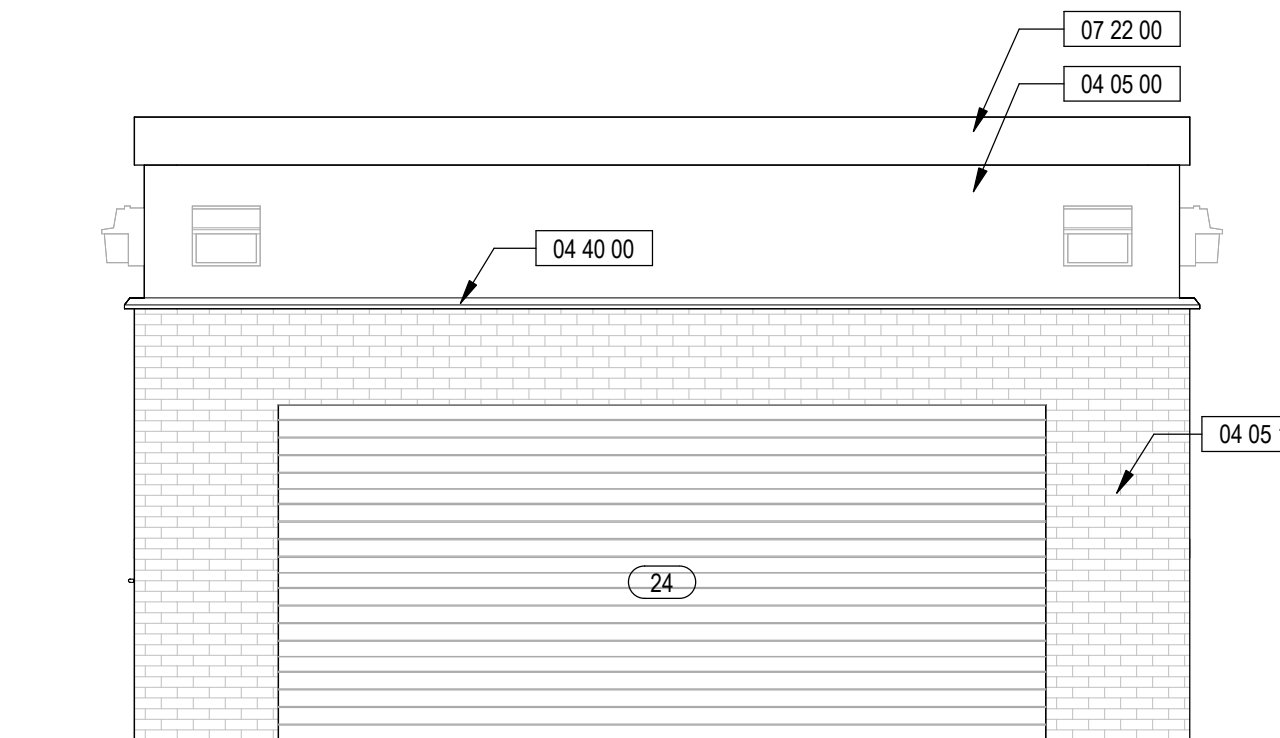
2 GARAGE SECTION 1
A054 1/4" = 1'-0"



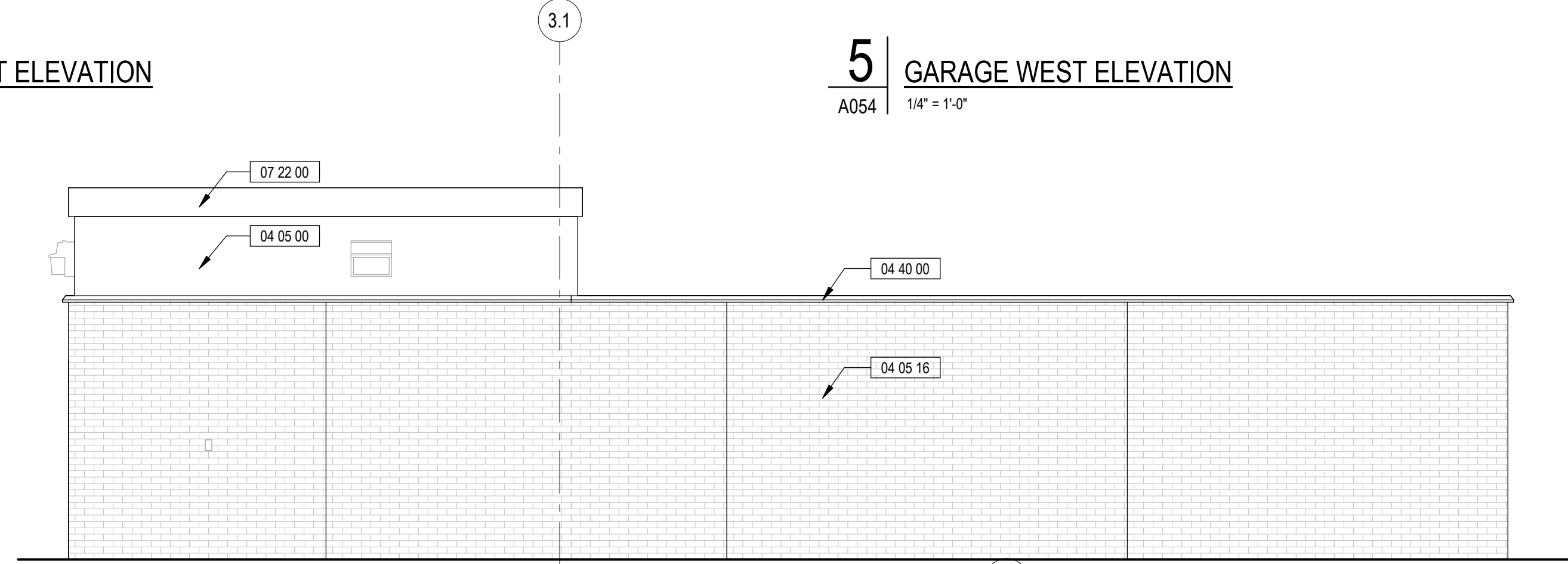
3 GARAGE SECTION 2
A054 1/4" = 1'-0"



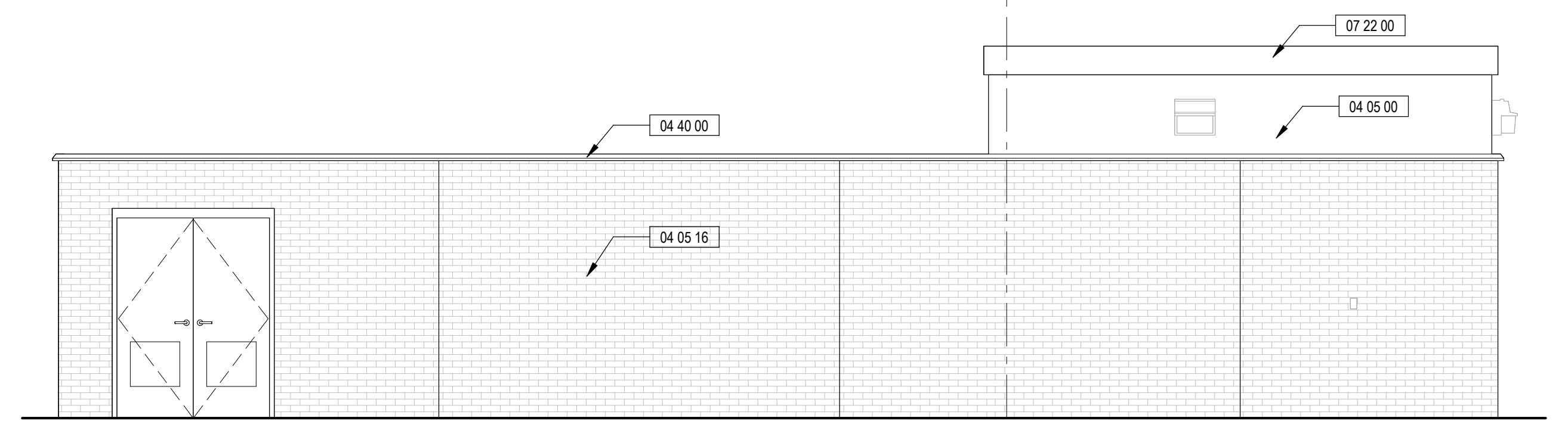
4 GARAGE EAST ELEVATION
A054 1/4" = 1'-0"



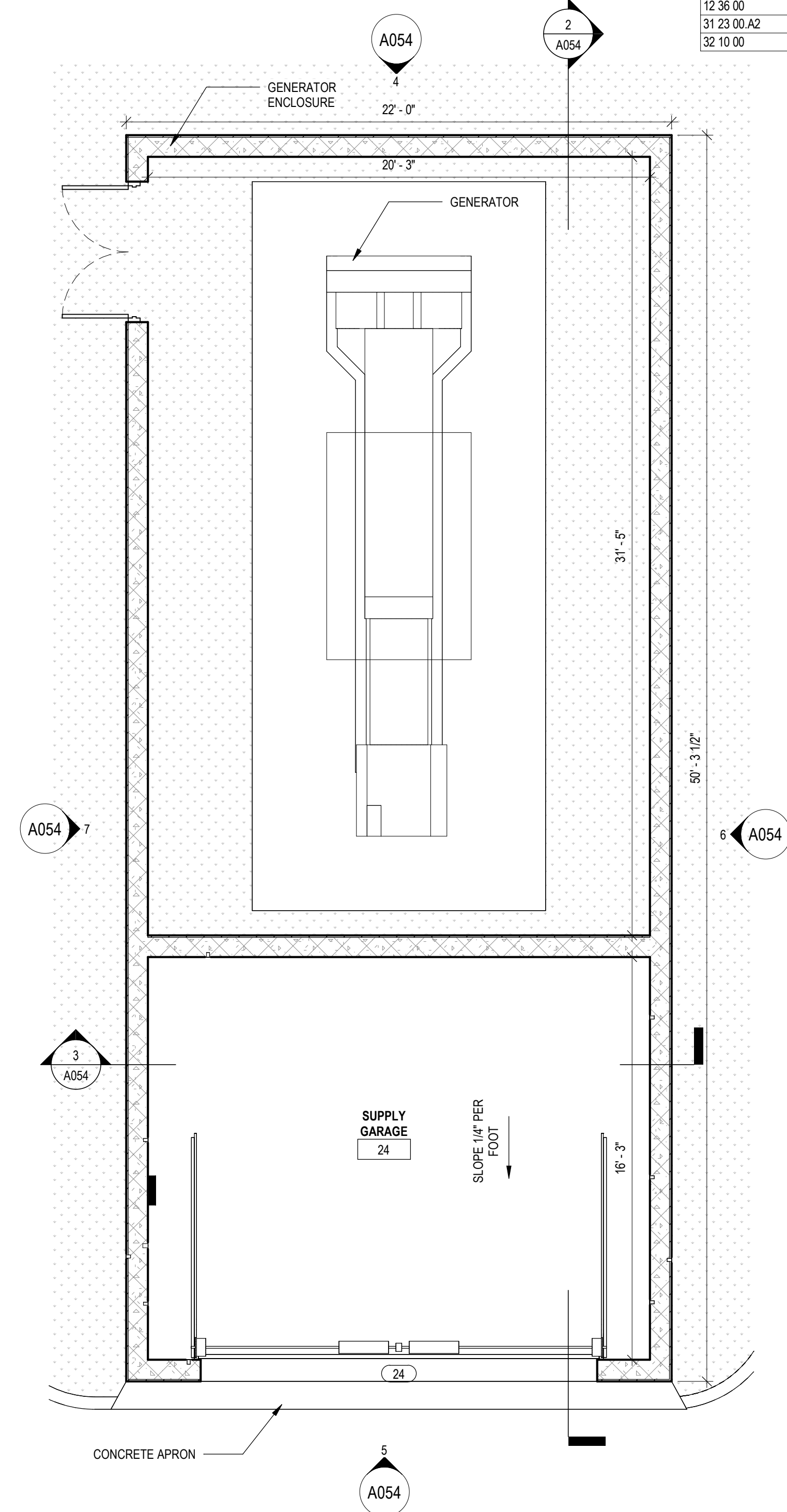
5 GARAGE WEST ELEVATION
A054 1/4" = 1'-0"



6 GARAGE SOUTH ELEVATION
A054 1/4" = 1'-0"



7 GARAGE NORTH ELEVATION
A054 1/4" = 1'-0"



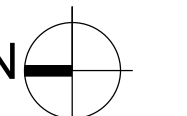
1 ENLARGED GARAGE PLAN
A054 1/4" = 1'-0"

SEAL

NOT FOR CONSTRUCTION

ISSUE
ISSUED FOR REVIEW - 60%

REV	DATE	DESCRIPTION
1	12/01/23	ISSUED FOR REVIEW - 60%



PROJECT NO.	2023-053
DESIGNED BY	RB
DRAWN BY	RB
CHECKED BY	IRP
APPROVED BY	--

GARAGE PLANS AND
DETAILS

DATE:	12/01/23	SHEET NO.	A054
REV:	1		

MAYOR

Keith Pekau

VILLAGE CLERK

Patrick R. O’Sullivan

14700 S. Ravinia Avenue
Orland Park, IL 60462
708.403.6100
orlandpark.org



**ORLAND
PARK**

DEVELOPMENT SERVICES

TRUSTEES

William R. Healy
Cynthia Nelson Katsenes
Michael R. Milani
Sean Kampas
Brian J. Riordan
Joni J. Radaszewski

Staff Report to the Plan Commission

Prepared: 12/14/23

TITLE & SUMMARY

Project: 2023-0508 – Police Department Firing Range and EOC Facility

Petitioner: Joel Van Essen, Director of Public Works

Purpose: The petitioner is seeking approval of a plat of consolidation, site plan, landscape plan, engineering plan, and building elevations.

Location: 10609 and 10629 163rd Place

P.I.N.: 27-20-409-007-0000 and 27-20-409-008-0000

Parcel Size: 2.02 acres

SUMMARY & BACKGROUND

The subject site is within the Manufacturing zoning district (MFG) and will remain unchanged in the proposed plan, as governmental uses are permitted in the MFG district. The site is currently vacant and has a gross area of 2.02 acres. The plan proposes to consolidate the two existing parcels into one single parcel and construct a new 15,400 square-foot building. The main entrance of the building is located on the east side of the site and can be accessed through the east parking lot. The west parking lot, at the side of the site, is a secured lot used for storage vehicles seized by the police department. Within the secured lot, there is garage access to the firing range, a supply garage, and a carport used for Emergency Services & Disaster Agency (ESDA) vehicles.

COMPREHENSIVE PLAN

The Police Department Firing Range and EOC Facility is proposed in the manufacturing and employment emphasis land use area in the Comprehensive Plan. The permitted activities span from light manufacturing and assembly to research and development. The proposed firing range and training facility are suitable with the surrounding context as there is an Orland Fire Protection District training facility located to the west of the site.

COMPREHENSIVE PLAN

Planning District	Centennial Planning District
Planning Land Use Designation	Manufacturing Employment Emphasis

ZONING DISTRICT

Existing	Manufacturing District
-----------------	------------------------

LAND USE

Existing	Vacant
Proposed	Government Use

ADJACENT PROPERTIES

	Zoning District	Land Use
North	MFG – Manufacturing	Manufacturing, (Multi-tenant)
East	OS – Open Space	Detention Basin
South	E-1 – Estate Residential	Village-Owned Outdoor Storage Facility
West	MFG – Manufacturing	Office, (Multi-tenant)

PROPOSED BUILDING SETBACKS

	Minimum Setback Permitted	Proposed Setback
Front	25'	50'
Side	15'	72'
Rear	20'	20'

SURROUNDING CONTEXT MAP



DETAILED PLANNING DISCUSSION

The petitioner is seeking approval of a plat of consolidation, a site plan, landscape plan, engineering plan, and building elevations in order to construct a new 15,400 square-foot building used by the Orland Park Police Department as a firing range, emergency operations center (EOC), and a police training facility.

SITE PLAN

Parking and Loading

As outlined in Section 6-306 of the Land Development Code (LDC) Off-Street Parking and Loading, parking requirements are contingent upon the intended purpose of each use. The Firing Range and EOC Facility is required to provide 31 parking spaces. The vehicle seizure lot parking count does not count towards the parking requirement of the site, as the facility is not serving the vehicle owners in the gated lot. There are 24 parking spaces in the vehicle seizure lot and 4 parking spaces in the carport. A double-parking lot island has been implemented in the seizure lot to accommodate the appropriate amount of parking lot landscape islands necessary for the site.

OFF-STREET PARKING COUNT

Proposed	34
Required	31 (+/- 20%)

Trash Enclosure

Dumpsters and trash handling areas must be screened from view from public streets and any abutting properties by opaque walls. The trash enclosure is located at the south end of the main parking lot. The specifications of the trash enclosure include 6' masonry walls that match the main building, meeting the requirements of Section 6-302.D.

Fence and Security Gate

Staff initially requested a drive aisle on the south end of the building to connect both parking lots, but later rescinded the comment due to the secured nature of the site. The gated parking area is designated for storing vehicles confiscated by the Police Department. Tow trucks will enter and leave the premises through the gate on the west side of the building. Access to the secure lot is only permitted with police officer credentials through a card reader. The gate access has 13' wide drive aisles and a center median where credentials are shown to enter or exit. The Orland Park Police Department has confirmed the provisions provided are adequate for the site's intended use.

Carport

The site plan contains a carport located in the vehicle seizure lot south of the supply garage. The carport is designed to store Emergency Services & Disaster Agency (ESDA) vehicles. The carport will contain masonry pillars that will match the main building and supply garage.

BUILDING ELEVATIONS

PD Firing Range and EOC Facility

The proposed building exterior consists of a combination of brick face, precast concrete and an acid-wash panel finish, complemented by metal coping and fascias. With a total height of 22'-6", the main entrance features windows and a parapet wall. A screening wall at the top of the building stands at standing at 27'-4" which matches with the chosen finishing materials. Non-commercial uses do not have a window/transparency requirement. The overall design meets the standards outlined in LDC Section 6-308.

Supply Garage and Generator Enclosure

The supply garage is located on the west side of the building, situated south of the firing range garage access. It shares the same exterior materials as the main building. Additionally, there is a generator positioned between the supply garage and the main building enclosed by a perimeter wall with double door access.

ENGINEERING PLAN

Stormwater Management Plan

The site features an underground detention system on the west side underneath the vehicle seizure lot. Preliminary Engineering has been recommended for approval for this project.

Landscape Plan

Currently, 1 parking lot landscape island tree is missing from the double-island on site and will need to be added during final landscape approvals. This has been made a condition of approval for the landscape plan; otherwise, preliminary landscaping has been approved by staff for this petition.

STAFF RECOMMENDED ACTION

Regarding Case Number 2023-0508, also known as Police Department Firing Range and EOC Facility, Staff recommends to accept and make findings of fact as discussed at this Plan Commission meeting and within the Staff Report dated December 14, 2023;

And

Staff recommends that the Plan Commission approve a site plan, landscape plan, engineering plan, and building elevations prepared by Valdes Architecture and Engineering, revised December 1, 2023, subject to the following conditions:

1. The development will be in substantial conformance with the Preliminary Site Plan and the Building Elevations for Athletics Maintenance Facility dated December 1, 2023.
2. Meet all building code requirements and final engineering requirements including required permits from outside agencies.
3. All ground-based and roof-mounted mechanical equipment must be fully screened from view and shall meet the requirements listed in 6-308.J.
4. Include 1 additional parking lot landscape island tree within the site to meet minimum code requirements.
5. Submit a sign permit application to the Development Services Department for separate review. Signs are subject to additional review and approval via the sign permitting process and additional restrictions may apply.

And

Staff recommends that the Plan Commission approve the preliminary plat of consolidation for Lots 26 and 27 in Beemsterboer Industrial Park, Phase 3, prepared by Valdes Architecture and Engineering on March 15, 2023.

Recommended Motion

Regarding Case Number 2023-0508, also known as Police Department Firing Range and EOC Facility, I move to approve the Staff Recommended Action as presented in the Staff Report to the Plan Commission for this case.



Memorandum

To: Plan Commission
From: Tiffany Cooper, Executive Assistant
Date: December 19, 2023
Subject: New Petitions & Appearance Reviews

Below, please find a summary of recently petitioned projects and appearance reviews. Petitioned projects are currently under review by staff and may or may not be on a future Plan Commission agenda. These projects have been petitioned to the Village but may not have obtained all the approvals required to begin work. Projects sometimes are terminated without moving forward for a variety of reasons. Appearance Reviews and Certificates of Appropriateness are reviewed and approved administratively. The below list does not include cell tower or solar panel projects. Please contact me with any questions regarding the below projects.

Appearance Review Petitions

Joe Rizza Acura – 8100 159th Street – Car Charging Stations

Lowe's – 15601 S. LaGrange Road – Solar Panels

Community Honda – 8340 W. 159th Street – Temporary Trailer

Bank of America – 15862 S. LaGrange Road – Exterior Lighting Refresh

Zeigler BMW of Orland Park – 11030 W. 159th Street – Building Exterior Modifications

Development Petitions

S&F Partners – 14340 108th Avenue – Re-zoning

Certificate of Appropriateness Petition

Board Approved Petitions