

February 29, 2024

CERTIFIED MAIL

Mr. Ed Lelo
Economic Development Manager
The Village of Orland Park
14700 S. Ravinia Avenue
Orland Park, IL 60462

RE: Class 7C Application
66 Orland Square Drive, Orland Park, IL
PIN: 27-10-400-043-0000

Dear Mr. Lelo:

Attached hereto is a signed copy of JKD CRE LLC's (hereinafter referred to as "Applicant") 2024 Class 7C Eligibility Application for 66 Orland Square Drive (hereinafter referred to as "Subject Property") and supporting documentation.

At your request, this letter provides a description of the Subject Property, details regarding its historic and persistent vacancy, its planned future use, and an analysis of the tax impact of granting the Class 7C incentive on the vacant Subject Property. The Applicant is seeking the Incentive pursuant to the abandonment of the Subject Property and the fulfillment of all other criteria associated with the Class 7C Ordinance.

Description of the Subject Property:

The subject property was originally purchased in 2014 (PIN 27-10-400-018-0000). The parcel contained approximately 83,944 square feet of undeveloped commercial space and an additional 77,383 square feet of space formerly occupied by Carson Furniture Gallery. The Cook County Assessor's Office divided the parcel into two separate PINs in 2016 (PIN 27-10-400-044-0000 received the 7C incentive). The subject property was designated PIN 27-10-400-043-0000. The Subject Property was subsequently sold to JKD CRE LLC in 2023.

The enclosed site plan (Exhibit A of the Application) describes the retail space and vacant space. Assuming the Incentive is granted, Applicant intends to transform the Vacant Space into a climate controlled self storage facility.

Abandoned Property:

The Vacant Space has been 100% vacant for approximately five years (see the affidavit marked Exhibit B of the Application). In spite of substantial efforts to market the Subject Property, no attempts generated revenue or tenants for the space. Attached to the application is a broker's listing, which includes vacant interior photos. Based on the foregoing, the Vacant Space is chronically incapable of generating revenue without incentives reducing its tax burden and should be treated as abandoned. Based on the foregoing, the Incentive Property fulfills the Incentive's Abandonment requirement.

Historic Tax Analysis:

Pursuant to the Incentive, an applicant must demonstrate that a property's taxes, assessments or equalized assessed values were either stagnant or decreased over the last six years. As Exhibit C to the application indicating the appeal history at the Cook County Assessor's Office and Board of Review, indicates the Property's assessed value has been reduced based on vacancy since tax year 2018. Accordingly, the Subject Property meets the ordinance's requirement as the Subject Property has not been assessed at full value since tax year 2017.

Economic Impact:

Without the Incentive, this development will not be economically viable. The Subject Property's current taxes must either be borne by the applicant who must lease the space for higher/non-competitive rates or by tenants, as pass-throughs, which are equally unattractive. If the incentive is granted, the site will employ 40 construction workers and 12 full time employees likely to frequent nearby businesses which will provide significant additional tax dollars to the village.

Qualification for Incentive:

As set forth above, the applicant has met all criteria for the Incentive. In particular: the Vacant Space has been totally vacant for nearly six years; that the property has not been assessed at full market value (i.e. the assessment has been reduced each year to reflect vacant property); and the development project will create jobs which will provide additional tax dollars to the village. Accordingly, all of the requirements for the Incentive have been met. Applicant respectfully requests the Village of Orland Park pass a resolution in support of the 7C Incentive.

Sincerely,

SAUL EWING LLP

A handwritten signature in black ink, appearing to read 'Erik J. VanderWeyden', with a stylized flourish at the end.

Erik J. VanderWeyden

Identification of Person Having an Interest in the Property

Attach a complete list of all owners, developers, occupants and other interested parties (*including all beneficial owners of a land trust*) identified by names and addresses, and the nature and extent of their interest.

Property Use

General Description of Proposed Property Usage: Climate Controlled Self Storage

Attach a detail description of the precise nature and extent of the intended use of the subject property, specifying in the case of the multiple uses the relative percentages of each use.

Attach copies of materials, which explain the occupant's business, including corporate letterhead, brochures, advertising material, leases, photographs, etc.

Employment Opportunities

How many **construction jobs** will be created as a result of this development? 40

How many permanent full-time and part-time employees do you **currently** employ in Cook County?

Full-time: 10 Part-time: 60

How many **new permanent full-time jobs** will be created by this proposed development? 6

How many **new permanent part-time jobs** will be created by this proposed development? 6

Nature of Development

Indicate nature of proposed development by checking the appropriate space:

- ☐ New Construction (**Read and Complete Section A**)
- ☒ Substantial Rehabilitation (**Read and Complete Section A**)
Incentive only applied to the market value attributable to the rehabilitation
- ☐ Occupation of Abandoned Property
(**Read and Complete Section B**)

SECTION A (NEW CONSTRUCTION/SUBSTANTIAL REHABILITATION)

If the proposed development consists of *New Construction* or *Substantial Rehabilitation*, provide the following information:

Estimated date of construction commencement (excluding demolition if any): February 28, 2024

Estimated date of construction completion: July 31, 2024

Total redevelopment cost, excluding land: \$ 1,500,000

Attach copies of the following:

___ Construction Documentation:

- ☒ Architectural Plans
- ☐ Description of Improvement to be demolished or reoccupied
- ☐ Development Schedule
- ☐ Permits

___ Financial Documentation

- ☐ Income Tax Statements (last three years)
- ☐ Recent Appraisal (for Substantial Rehabilitation projects)
- ☐ Agreements with any taxing district for sharing profits

___ Identification of Persons Having an Interest in the Property

SECTION B (VACANT/ABANDONED PROPERTY)

Application must be made to Assessor prior to reoccupation

If the proposed development consists of the re-occupancy of *abandoned property* (property must be *twelve months or more vacant*), provide the following information:

1. Vacancy Information:

- a. How long has the property been vacant?
Five Years.
- b. When and by whom was the subject property last occupied and used?
Carson Prairie Scott Furniture

2. Attach copies of the following documents:

- _____ Sworn statements from persons having personal knowledge attesting to the fact and duration of vacancy and abandonment
- _____ Records (*such as statements of utility companies*), indicating that the property has been vacant and unused and the duration of such vacancy
- _____ Records indicating that the property was marketed for 6 continuous months
- _____ Income Tax Statements (*last three years*)

3. If a sale has taken place:

Estimated date of reoccupation: _____

Date of purchase: July 25, 2023

Name of purchaser: JKD CRE LLC

Name of seller: RSS BANK2017-BNK9 - DE GPG, LLC

Relationship of purchaser to seller: None

Attach copies of the following documents:

- (a) sale contract
- (b) recorded deed
- (c) assignment of beneficial interest
- (d) real estate transfer declaration

LOCAL APPROVAL

A certified copy of a resolution or ordinance from the municipality in which the real estate is located (or the County Board, if the real estate is located in an unincorporated area) should accompany this Application. The ordinance or resolution must expressly state that the municipality supports and consents to this Class 7C Application and that it finds Class 7C necessary for development to occur on the subject property. If a resolution is unavailable at the time the application is filed, a letter from the municipality or the County Board, as the case may be, stating that a resolution or ordinance supporting the incentive has been requested may be filed with this application instead. If, at a later date, the municipality or the County Board denies the applicant's request for a resolution or ordinance, the applicant will be deemed ineligible for the Class 7C incentive, whether or not construction has begun. In all circumstances, the resolution must be submitted by the time the applicant files an "Incentive Appeal" requesting the Class Change be applied to the property.

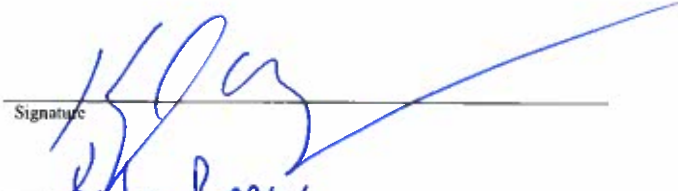
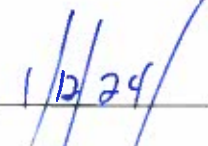
In addition, a copy of the application must be submitted to the Cook County Bureau of Economic Development (BED) for their approval (for additional information contact BED at 312-603-1000).

FINALIZING THE INCENTIVE PROCESS

In order to finalize the class change you will need to file an **Incentive Appeal** with supporting documentation (including **Proof of Occupancy**) in the year that the property has been substantially occupied. It is advised that you access our website (www.cookcountyassessor.com) to determine the allowable filing dates for such action.

When filing an appeal requesting an Incentive Class Change a **\$100.00 filing fee** (made out to the **Cook County Assessor**) must be included. The property cannot receive Class 7C designation until you file an Incentive Appeal, AND this office grants reclassification for the parcel(s).

I, the undersigned, certify that I have read this Application and that the statements set forth in this Application and in the attachments hereto are true and correct, except as those matters stated to be on information and belief and as to such matters the undersigned certifies that he/she believes the same to be true.

Signature 	Date 
Print Name Mike Rapic	Title Member

**Note: If title to the property is held in trust or by a corporation or a partnership, this Class 7C Eligibility Application must be signed by a beneficiary, officer or general partner.*

REVOCATION OR CANCELLATION AGREEMENT

In return for receiving the Class 7c incentive classification for the subject property, the undersigned owner(s) hereby stipulates and agrees that in the event of a voluntary cancellation of the Incentive or upon revocation, that the undersigned shall be personally liable for and shall reimburse to the County Collector an amount equal to the difference, if any, in the amount of taxes that would have been collected had the subject property been assessed without the Class 7c classification and the amount of taxes actually billed and collected upon the subject property for the tax year in which the incentive was revoked or cancelled during which the property was being assessed with the Class 7c classification. Failure of the undersigned to make such a reimbursement to the County Collector shall not constitute a lien upon the subject property but shall constitute an in personam liability, which may be enforced against the owners. Further, the undersigned certifies that he/she has read this Application and that the statements set forth in this Application and in the attachments hereto are true and correct, except as to those matters stated to be on information and belief and as to such matters the undersigned certifies that he/she believes the same to be true.

I, the undersigned, hereby agree to be bound by the terms of the revocation or cancellation agreement.

Signature

Date

Print Name

Title

**Note: If title to the property is held in trust or by a corporation or a partnership, this Class 7c Eligibility Application must be signed by the beneficiary, officer and/or general partner.*

Revised 4/1/22

FINAL PLAT of First Addition to 66 Orland Square Drive

PROPERTY DESCRIPTION

PARCEL 1A

A TRACT OF LAND IN THE SOUTH 1/2 OF SECTION 10, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING ON THE NORTH AND SOUTH CENTERLINE OF SAID SECTION 10, A DISTANCE OF 501.78 FEET NORTH 0 DEGREES 01 MINUTES WEST OF THE SOUTH 1/4 CORNER OF SAID SECTION 10; THENCE SOUTH 70 DEGREES 48 MINUTES WEST 9.05 FEET TO A POINT ON CURVE; THENCE NORTHERLY ON A CURVE CONVEX TO THE EAST HAVING A RADIUS OF 505.17 FEET, AN ARC DISTANCE OF 223.26 FEET AND A CHORD BEARING OF NORTH 12 DEGREES 38 MINUTES 42 SECONDS EAST TO A POINT OF COMPOUND CURVE; THENCE NORTHERLY ON A CURVE CONVEX TO THE EAST HAVING A RADIUS OF 1330.73 FEET, AN ARC DISTANCE 75.34 FEET AND A CHORD BEARING OF NORTH 01 DEGREES 38 MINUTES 18 SECONDS EAST TO A POINT OF A CONCRETE WALL CENTERLINE EXTENDED EAST AND WEST; THENCE SOUTH 89 DEGREES 59 MINUTES 18 SECONDS EAST ALONG SAID CONCRETE WALL CENTERLINE EXTENDED EAST AND WEST 539.86 FEET; THENCE SOUTH 02 DEGREES 10 MINUTES 40 SECONDS WEST 185.49 FEET; THENCE DUE WEST 275.00 FEET; THENCE SOUTH 70 DEGREES 48 MINUTES WEST 313.00 FEET TO THE POINT OF BEGINNING IN COOK COUNTY, ILLINOIS.

PARCEL 1B

A TRACT OF LAND IN THE SOUTH 1/2 OF SECTION 10, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING ON THE NORTH AND SOUTH CENTERLINE OF SAID SECTION 10, A DISTANCE OF 501.78 FEET NORTH 0 DEGREES 01 MINUTES WEST OF THE SOUTH 1/4 CORNER OF SAID SECTION 10; THENCE SOUTH 70 DEGREES 48 MINUTES WEST 9.05 FEET TO A POINT ON CURVE; THENCE NORTHERLY ON A CURVE CONVEX TO THE EAST HAVING A RADIUS OF 505.17 FEET, AN ARC DISTANCE OF 223.26 FEET AND A CHORD BEARING OF NORTH 12 DEGREES 38 MINUTES 42 SECONDS EAST TO A POINT OF COMPOUND CURVE; THENCE NORTHERLY ON A CURVE CONVEX TO THE EAST HAVING A RADIUS OF 1330.73 FEET, AN ARC DISTANCE 75.34 FEET AND A CHORD BEARING OF NORTH 01 DEGREES 38 MINUTES 18 SECONDS EAST TO A POINT OF A CONCRETE WALL CENTERLINE EXTENDED EAST AND WEST; THENCE SOUTH 89 DEGREES 59 MINUTES 18 SECONDS EAST ALONG SAID CONCRETE WALL CENTERLINE EXTENDED EAST AND WEST 539.86 FEET; THENCE SOUTH 02 DEGREES 10 MINUTES 40 SECONDS WEST 185.49 FEET TO A POINT OF A CONCRETE WALL CENTERLINE EXTENDED EAST AND WEST; THENCE NORTH 89 DEGREES 59 MINUTES 18 SECONDS WEST ALONG SAID CONCRETE WALL CENTERLINE EXTENDED EAST AND WEST 539.86 FEET TO THE POINT OF BEGINNING IN COOK COUNTY, ILLINOIS.

PARCEL 2

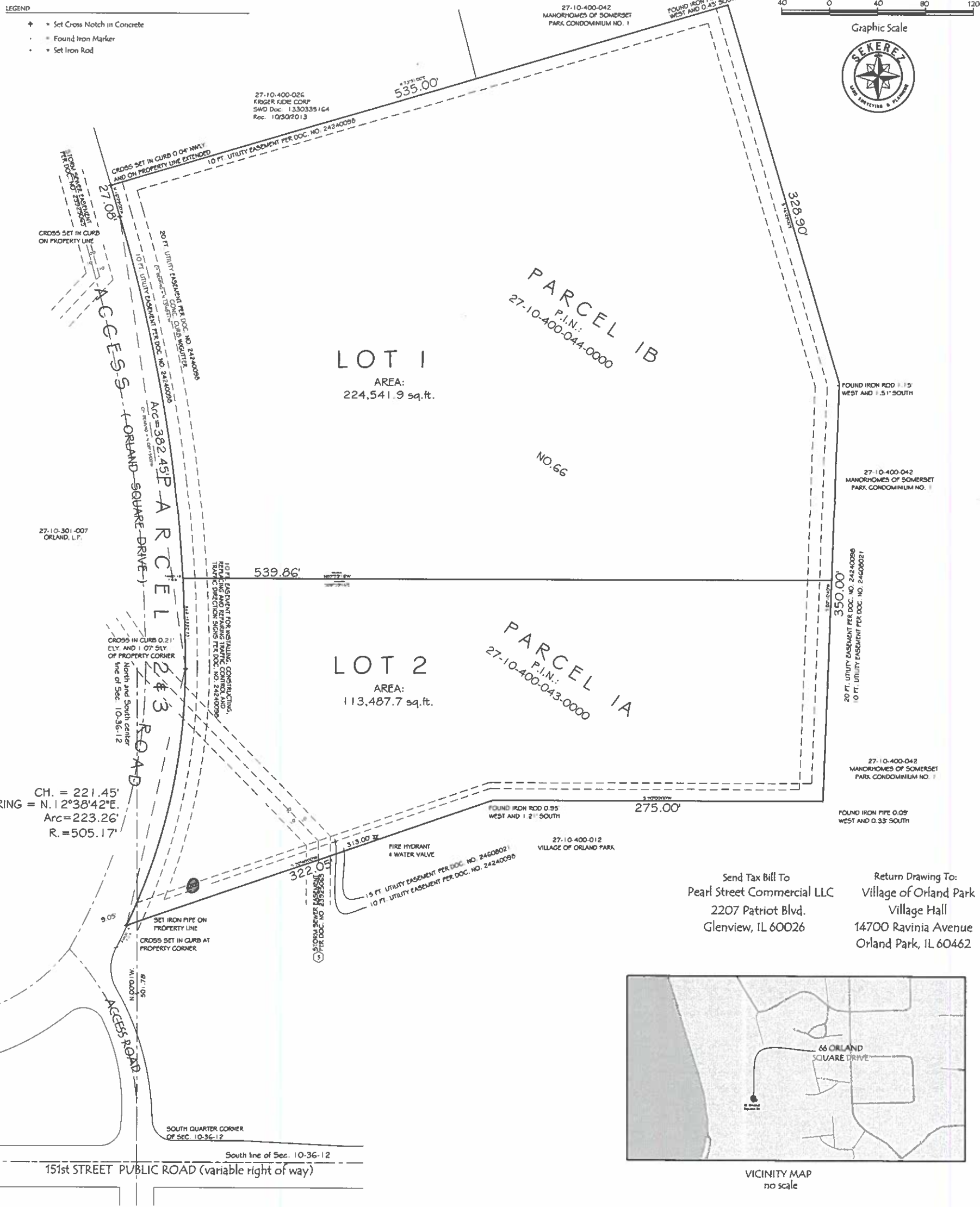
A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS TO PARCEL 1A AND PARCEL 1B ABOVE, ACROSS AND UPON THE ORLAND SQUARE RING ROAD AS ESTABLISHED BY ARTICLE X, PARAGRAPH H, SUBPARAGRAPH (B) (1) OF THAT CERTAIN EASEMENT AND OPERATING AGREEMENT DATED MAY 15, 1976 AND RECORDED AUGUST 10, 1976 AS DOCUMENT 23591873 AND AS GRANTED IN DEED DATED DECEMBER 14, 1977 AND RECORDED DECEMBER 16, 1977 AS DOCUMENT 24240098, IN COOK COUNTY, ILLINOIS.

LEGEND

- Set Cross Notch in Concrete
- Found Iron Marker
- Set Iron Rod

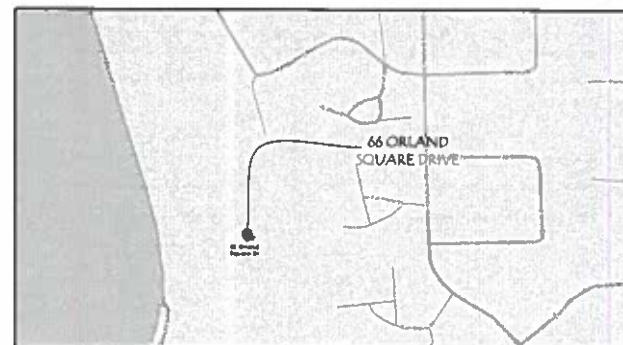
SCALE: 1 inch = 40 feet

Graphic Scale



Send Tax Bill To
Pearl Street Commercial LLC
2207 Patriot Blvd.
Glenview, IL 60026

Return Drawing To:
Village of Orland Park
Village Hall
14700 Ravinia Avenue
Orland Park, IL 60462



VICINITY MAP
no scale

SHEET
1
OF
2

Pearl Street Commercial LLC
2207 Patriot Blvd.
Glenview, IL 60026

FINAL PLAT
66 ORLAND SQUARE DRIVE
ORLAND PARK, ILLINOIS

ZARKO SEKEREZ & ASSOCIATES, Inc.

SURVEYING & LAND PLANNING
118 WEST CLARK STREET
CROWN POINT, INDIANA 46307
Phone: 312-726-1313
Fax: 312-236-9508
Web: www.sekerez.com

DRAWN BY: PS

CHECKED BY: RJ

DATE: February 7, 2023

JOB No. 11449

FINAL PLAT of First Addition to 66 Orland Square Drive

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE LAND DESCRIBED IN THE ATTACHED PLAT AND HAS CAUSED THE SAME TO BE ANNEXED AS SHOWN BY THE PLAT FOR USES AND PURPOSES AS INDICATED THEREIN, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. FURTHERMORE, PURSUANT TO SECTION 1-005 OF THE PLAT ACT, THIS DOCUMENT SHALL SERVE AS THE SCHOOL DISTRICT STATEMENT AND TO THE BEST OF THE OWNER'S KNOWLEDGE, THE TRACT OF LAND LEGALLY DESCRIBED HEREON LIES WITHIN THE FOLLOWING SCHOOL DISTRICTS:

ELEMENTARY DISTRICT _____ HIGH SCHOOL DISTRICT _____
DATED AT ORLAND PARK, ILLINOIS, THIS _____ DAY OF _____, A.D. 20__

OWNER _____

NOTARY PUBLIC CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

I, _____, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ WHO IS (ARE) PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS(ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (SHE) (THEY) SIGNED AND DELIVERED THE SAID INSTRUMENTS AT HIS (HER) (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS _____ DAY OF _____, A.D. 20__

NOTARY PUBLIC _____ COMMISSION EXPIRES _____

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
COUNTY OF COOK)

I, _____, VILLAGE FINANCE DIRECTOR OF THE VILLAGE OF ORLAND PARK, DO HEREBY CERTIFY THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DELINQUENT INSTALLMENTS THEREOF THAT HAVE BE APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT ORLAND PARK, COOK COUNTY, ILLINOIS, THIS _____ DAY OF _____, A.D. 20__

FINANCE DIRECTOR _____

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

I, _____, A COUNTY CLERK OF COOK COUNTY, ILLINOIS, DO HEREBY CERTIFY THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT CHICAGO, COOK COUNTY, ILLINOIS

THIS _____ DAY OF _____, A.D. 20__

COUNTY CLERK _____

COUNTY RECORDER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

THIS PLAT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE COOK COUNTY, ILLINOIS ON THE _____ DAY OF _____, A.D. 20__ AS DOCUMENT NUMBER _____

COUNTY RECORDER _____

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

APPROVED BY THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF ORLAND PARK, COOK COUNTY, ILLINOIS THIS _____ DAY OF _____, A.D. 20__

PRESIDENT _____

VILLAGE CLERK _____

BLANKET PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF ORLAND PARK, ILLINOIS AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF ORLAND PARK, INCLUDING, BUT NOT LIMITED TO: COMED COMPANY AND THEIR SUCCESSORS AND ASSIGNS, OVER ALL OF THE PROPERTY (EXCEPT AREAS TO BE IMPROVED WITH) SIGNAGE AND BUILDINGS PURSUANT TO A PLAN APPROVED BY THE VILLAGE) ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, COMMUNITY ANTENNA TELEVISION SYSTEMS AND INCLUDING STORM AND/OR SANITARY SEWERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, OVER, UPON, UNDER AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH RIGHT OF ACCESS ACROSS THE GRANTOR'S PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

THIS RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENTS THAT INTERFERE WITH THE OPERATION OF THE SAID SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED BOTH FOR SEWERS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF ORLAND PARK.

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF ORLAND PARK AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBDIVIDED HEREBY, OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS AND THE PERFORMANCE OF OTHER GOVERNMENTAL SERVICES, INCLUDING WATER, STORM AND SANITARY SEWER SERVICE AND MAINTENANCE.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

ALL EASEMENTS INDICATED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS ON THE PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF ORLAND PARK AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF ORLAND PARK, INCLUDING, BUT NOT LIMITED TO: COMED COMPANY AND THEIR SUCCESSORS AND ASSIGNS, FOR PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITIES, TRANSMISSION AND DISTRIBUTION SYSTEMS INCLUDING STORM AND/OR SANITARY SEWERS, WATER MAINS, VALVE VAULTS AND HYDRANTS TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE OF ORLAND PARK, OVER, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH THE RIGHT OF ACCESS ACROSS PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THIS RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS AND OTHER UTILITIES. NO PERMANENT BUILDINGS, TREES OR OTHER STRUCTURES SHALL INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED FOR BOTH SEWER AND/OR WATER MAINS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF ORLAND PARK.

THE PLACEMENT OF ANY LANDSCAPING NOT IN KEEPING WITH THE APPROVED LANDSCAPE PLAN OR GRADING PLAN FOR A GIVEN PROPERTY OR ANY ACCESSORY BUILDING OR STRUCTURE, SWIMMING POOL, FENCE OR OTHER IMPROVEMENT WHICH IN ANY WAY COULD CAUSE AN IMPEDIMENT TO THE OVERLAND FLOW OF STORM WATER WITHIN SAID DRAINAGE EASEMENT IS HEREBY PROHIBITED.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED AND GRANTED OVER AND UNDER THE PLATTED AREAS HEREON NOTED AS "PUBLIC UTILITY & DRAINAGE EASEMENT" TO AT&T, COMMUNICATIONS COMPANY, INCORPORATED, THE VILLAGE OF ORLAND PARK, TOGETHER WITH THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, LAY, CONSTRUCT, REPAIR, OPERATE AND MAINTAIN CONDUITS, CABLES, WIRES, SEWERS, PIPES, SURFACE AND SUBSURFACE DRAINAGE, AND WATER MAINS, UNDERGROUND, WITH ALL NECESSARY MANHOLES, WATER VALVES AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THE SAID REAL ESTATE WITH TELEPHONE COMMUNICATIONS, ELECTRICITY, SEWER, GAS, WATER SERVICE, DRAINAGE, AND OTHER MUNICIPAL SERVICES. ALSO THERE IS HEREBY GRANTED THE RIGHT TO ENTER UPON THE SAID REAL ESTATE AT ALL TIMES TO INSTALL, LAY, CONSTRUCT, REPAIR, OPERATE AND MAINTAIN WITHIN THE SAID REAL ESTATE SAID CONDUITS, CABLES, WIRES, MANHOLES, WATER VALVES, PIPES, SURFACE AND SUBSURFACE DRAINAGE, AND OTHER EQUIPMENT. THE RIGHT OF INGRESS AND EGRESS IS HEREBY GRANTED OVER, UPON AND THROUGH THE SAID REAL ESTATE OF EMERGENCY VEHICLES OF ANY AND ALL TYPES FOR ANY PURPOSE WHATSOEVER. NO PERMANENT BUILDING SHALL HEREAFTER BE PLACED ON THE SAID EASEMENT, AS DETERMINED, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND SUCH OTHER PURPOSES THAT THEN AND LATER DO NOT UNREASONABLY INTERFERE WITH THE USES OR THE RIGHTS HEREIN GRANTED.

NO OVERHEAD UTILITY FACILITIES ARE PERMITTED IN THESE HEREBY CREATED EASEMENTS.

SURVEYOR

I, RUSSEL WAID DILLON, hereby certify that I have prepared the plat shown hereon and that it is correct; the iron rod monuments will be placed in the ground as indicated hereon, in accordance with the Subdivision Regulations of the Des Plaines City Code; that the property is within the corporate limits of the City of Des Plaines, which has adopted an official comprehensive plan; that the property is not within a Special Flood Hazard Area, as identified by the Federal Emergency Management Agency on the most recent Flood Insurance Rate Map Panel 702 of 852, Community Panel No. 17031C.

Surveyor _____

STATE OF ILLINOIS)
COUNTY OF _____)

I, _____, a Notary Public in and for said County, in the State aforesaid, do hereby certify that _____ personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered said instrument as his free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and official seal this _____ day of _____, 20__

Notary Public _____

My Commission Expires _____

DRAINAGE CERTIFICATE

To the best of our knowledge and belief, the drainage of surface waters will not be changed by the construction of this subdivision or any part thereof, or if such surface water drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public areas, or drains which the owner has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to the adjoining property because of the construction of this subdivision.

OWNER _____ REGISTERED PROFESSIONAL ENGINEER _____

Name _____ Date _____
Name _____ Date _____
Firm _____
Date _____
(SEAL)

Send Tax Bill To
Pearl Street Commercial LLC
2207 Patriot Blvd.
Glenview, IL 60026

Return Drawing To:
Village of Orland Park
Village Hall
14700 Ravinia Avenue
Orland Park, IL 60462

SHEET
2
OF
2

Pearl Street Commercial LLC
2207 Patriot Blvd.
Glenview, IL 60026

FINAL PLAT
66 ORLAND SQUARE DRIVE
ORLAND PARK, ILLINOIS

ZARKO SEKEREZ & ASSOCIATES, Inc.
SURVEYING & LAND PLANNING
116 WEST CLARK STREET
CROWN POINT, INDIANA 46007
Phone: 312-726-1313
Fax: 312-238-9508
Web: www.sekerez.com

DRAWN BY: PS
CHECKED BY: RI
DATE: February 7, 2023
JOB No: 11449

CUBE SMART SELF-STORAGE

ORLAND PARK, IL

66 ORLAND SQUARE DRIVE

GENERAL NOTES

- The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. Neither the engineer nor his personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contingency basis at the site.
- The contractor, by agreeing to perform the work, agrees to indemnify and hold harmless the owner, the engineer, the city, and all agents and assigns of those parties, from all suits and claims arising out of the performance of said work, and further agrees to defend or otherwise pay all legal fees arising out of the defense of said parties.
- In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for coordination of the design with the utility records of all existing and proposed utilities in the project area. The contractor shall apply performance to not be limited to include review of the adequacy of the contractor's safety measures, in, or near the construction site. The contractor is responsible for maintaining adequate signs, barricades, lighting, traffic control devices and measures, and all other measures that are necessary to protect the safety of the site at all times.
- Maintain access for vehicular and pedestrian traffic, as required for other construction activities. Use traffic control devices to include temporary striping, barriers, barricades, warning signs, and warning lights shall be in accordance with current MUTCD and IDOT standards.
- All phases of the site work for the project shall meet or exceed industry standards and requirements set forth by the owner's Description of Work, Village of Orland Park, the State of Illinois, and the plan set.
- The Village of Orland Park has notified at least two (2) working days prior to the commencement or resumption of any work.
- The contractor shall coordinate all permit and inspection requirements with responsible local, state, and federal agencies. The contractor shall include the costs of this coordination and all inspection fees in the bid price.
- All work performed by the contractor shall come with a warranty applied defects in workmanship and materials. The warranty period shall run concurrent with the required warranty periods the owner must provide to each local government agency, as a condition of the permit.
- The contractor will be held solely responsible for and shall take precautions necessary to avoid property damage to adjacent properties during the construction of this project.
- All structures, inlets, pipes, sewers, roads and public easements must be kept clean and free of dirt and debris at all times.
- Any field lines encountered during construction shall be recorded showing their location, and depth by the contractor, and either reconnected and rerouted or connected to the storm sewer system. The owner shall be notified immediately upon encountering any line.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify the location and elevation of existing pipes inlets, curb or pavement where matching into existing work. The contractor shall field verify horizontal control by referencing property corners to known property lines. Notify the engineer of discrepancies in either vertical or horizontal control prior to proceeding.
- All elevations are on NAVD 88 datum.
- Paving areas designated as A.D.A. and all sidewalks shall be compliant with state and local A.D.A. requirements.
- Traffic warning plates per IDOT specifications shall be placed at all locations where sidewalks that it to be replaced intersects public roads and at locations indicated in the plan set.
- The contractor shall verify the location of all utilities in the field prior to construction. The location existing sewer, water main, storm sewer, General Telephone, Commonwealth Edison, Northern Illinois Gas and cable television, if any. The J.U.L.I.E. number is 1-800-962-0123.
- Property corners shall be carefully protected until they have been referenced by a Professional Land Surveyor.
- The contractor shall keep careful measurements and records of all construction and shall furnish the Engineer, the Owner and the City with record drawings in a digital format compatible with AutoCAD Release 14 upon completion of the work.
- Any excess dirt or materials shall be placed by the contractor on-site at the owner's direction or as indicated on the plans.
- Notify the owner and Village of Orland Park of any existing wells. Obtain permit from the Illinois Bureau of Minerals and the State Water Survey. Cap and abandon wells in accordance with local, state, and federal regulations.
- Final grade shall in all areas not specifically reserved for storm water management shall drain freely. No ponding shall occur. Tolerances to be observed will be measured to the nearest 0.04 of a foot for paved surfaces and 0.10 of a foot for unpaved areas.

DEVELOPMENT AREA
Total Development Area = 17.036 sf (0.39 ac)
Development area that is naturalized landscape = 9,461 sf
Net development area = 7,575 sf

VICINITY MAP



OWNER:

Pearl Orland Storage, LLC
STEVE SCHWARTZ
5514 Linden Avenue, Suite 200
Libe, IL 60532-2806
847-367-7200

ENGINEER:

ARC DESIGN
RESOURCES INC.
530 328TH AVENUE
LIBE PARK, IL 61111
VOICE: (815) 644-4300
FAX: (815) 644-4303
www.arcdesign.com
Illinois Design Firm License No. 184-001334

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C00	COVER
C01	GENERAL NOTES
C02	REMOVALS PLAN
C03	OVERALL LAYOUT PLAN
C04	CONSTRUCTION MANAGEMENT PLAN
C05	LAYOUT PLAN
C06	GRADING & EROSION CONTROL
C07	GRADING PLAN - SIDEWALKS
C08	DETAILS
C09	DETAILS
L01	LANDSCAPE PLAN (NORTH)
L02	LANDSCAPE PLAN (SOUTH)

APPROVAL

VILLAGE OF ORLAND PARK

DATE

PENDING

UTILITY OFFICIALS

PUBLIC WORKS DEPARTMENT:

VILLAGE OF ORLAND PARK
14700 RAVENNA AVE
ORLAND PARK, IL 60462
(708) 405-6100

PUBLIC WORKS INSPECTION:

VILLAGE OF ORLAND PARK
14700 RAVENNA AVE
ORLAND PARK, IL 60462
(708) 405-6100

SEWER DISTRICT:

VILLAGE OF ORLAND PARK
14700 RAVENNA AVE
ORLAND PARK, IL 60462
(708) 405-6100

WATER DEPARTMENT:

VILLAGE OF ORLAND PARK
14700 RAVENNA AVE
ORLAND PARK, IL 60462
(708) 405-6100

TELEPHONE:

ORGANIZATION
ADDRESS
CONTACT NAME
CONTACT TITLE
PHONE NUMBER

CABLE TELEVISION:

ORGANIZATION
ADDRESS
CONTACT NAME
CONTACT TITLE
PHONE NUMBER

ELECTRIC:

COMED
(800) 334-7161

GAS:

NICOR GAS
(888) 642-6748

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RESOURCES INC.
5301 328TH AVENUE
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FAX: (815) 644-4303
www.arcdesign.com
Illinois Design Firm License No. 184-001334

PROJECT NAME
CUBE SMART
SELF-STORAGE
OWNER NAME
66 ORLAND SQUARE
DRIVE
ORLAND PARK, IL
PH: 877-10-400-400-000
Pearl Orland Storage, LLC
5514 Linden Avenue, Suite 200
Libe, IL 60532-2806
847-367-7200

CONSULTANTS

REVISIONS

NO.	DATE	DESCRIPTION
1.	07/02/22	1. DESIGN REVIEW
2.	07/22/22	2. DESIGN REVIEW
3.	07/22/22	3. DESIGN REVIEW
4.	07/22/22	4. DESIGN REVIEW
5.	07/22/22	5. DESIGN REVIEW
6.	07/22/22	6. DESIGN REVIEW
7.	07/22/22	7. DESIGN REVIEW
8.	07/22/22	8. DESIGN REVIEW
9.	07/22/22	9. DESIGN REVIEW
10.	07/22/22	10. DESIGN REVIEW
11.	07/22/22	11. DESIGN REVIEW
12.	07/22/22	12. DESIGN REVIEW
13.	07/22/22	13. DESIGN REVIEW
14.	07/22/22	14. DESIGN REVIEW
15.	07/22/22	15. DESIGN REVIEW
16.	07/22/22	16. DESIGN REVIEW
17.	07/22/22	17. DESIGN REVIEW
18.	07/22/22	18. DESIGN REVIEW
19.	07/22/22	19. DESIGN REVIEW
20.	07/22/22	20. DESIGN REVIEW
21.	07/22/22	21. DESIGN REVIEW

SHEET TITLE
COVER

PROJECT NUMBER
20027
SHEET NUMBER
C00

EARTHWORK NOTES

1. Unstable materials:
- A. The contractor shall notify the general contractor immediately. The project superintendent, prior to the underlying being completed, shall approve any material to be used in the project. Unstable materials shall be removed and replaced with compacted granular materials and compacted in accordance to required specifications. The cost of this work shall be an extra to the contract, with the cost being adjusted by change order.
- B. If the contractor is furnishing any of the materials, a representative sample of such materials shall be furnished to the general contractor's approved laboratory for testing.
- C. These materials shall be placed as homogeneously as possible to facilitate accurate compaction and moisture testing.
2. Definition for materials:
- A. Topsoil shall be defined as material having an organic content by weight of 5% or as determined by the project owner's engineer.
- B. Topsoil shall be 18 inches and loamy (loam, sandy loam, silty loam, silty clay loam, or clay loam).
- C. 1. Clay content shall generally be less than 35% by weight.
2. Topsoil shall be relatively free from large roots, weeds, brush, or stumps larger than 25 mm (1 inch). At least 90% shall pass the 2.0 mm (No. 10) sieve.
- D. Topsoil shall be relatively free from large roots, weeds, brush, or stumps larger than 25 mm (1 inch). At least 90% shall pass the 2.0 mm (No. 10) sieve.
- E. Topsoil shall be between 5.0 and 8.0. Topsoil organic content shall not be less than 1.5% by weight. Topsoil shall contain no substances that is substantially injurious to plants or animals.
- F. Testing on-site material within moisture content range "a" defined as material of such a quality that the specified compaction can be met without any additional work other than "watering" with a roller. Scarification and drying of the material will not need to be done prior to compaction.
- G. Testing on-site material within moisture content range "b" defined as material of such a quality that the specified compaction can be met without any additional work other than "watering" with a roller. Scarification and drying of the material will not need to be done prior to compaction.
- H. Testing on-site material within moisture content range "c" defined as material of such a quality that the specified compaction can be met without any additional work other than "watering" with a roller. Scarification and drying of the material will not need to be done prior to compaction.
- I. Testing on-site material within moisture content range "d" defined as material of such a quality that the specified compaction can be met without any additional work other than "watering" with a roller. Scarification and drying of the material will not need to be done prior to compaction.
- J. Testing on-site material within moisture content range "e" defined as material of such a quality that the specified compaction can be met without any additional work other than "watering" with a roller. Scarification and drying of the material will not need to be done prior to compaction.
- K. Testing on-site material within moisture content range "f" defined as material of such a quality that the specified compaction can be met without any additional work other than "watering" with a roller. Scarification and drying of the material will not need to be done prior to compaction.
- L. Testing on-site material within moisture content range "g" defined as material of such a quality that the specified compaction can be met without any additional work other than "watering" with a roller. Scarification and drying of the material will not need to be done prior to compaction.
- M. Testing on-site material within moisture content range "h" defined as material of such a quality that the specified compaction can be met without any additional work other than "watering" with a roller. Scarification and drying of the material will not need to be done prior to compaction.
- N. Testing on-site material within moisture content range "i" defined as material of such a quality that the specified compaction can be met without any additional work other than "watering" with a roller. Scarification and drying of the material will not need to be done prior to compaction.
- O. Testing on-site material within moisture content range "j" defined as material of such a quality that the specified compaction can be met without any additional work other than "watering" with a roller. Scarification and drying of the material will not need to be done prior to compaction.
- P. Testing on-site material within moisture content range "k" defined as material of such a quality that the specified compaction can be met without any additional work other than "watering" with a roller. Scarification and drying of the material will not need to be done prior to compaction.
3. Standards for cut areas:
- A. The contractor shall notify the general contractor immediately. The project superintendent, prior to the underlying being completed, shall approve any material to be used in the project. Unstable materials shall be removed and replaced with compacted granular materials and compacted in accordance to required specifications. The cost of this work shall be an extra to the contract, with the cost being adjusted by change order.
- B. If the contractor is furnishing any of the materials, a representative sample of such materials shall be furnished to the general contractor's approved laboratory for testing.
- C. These materials shall be placed as homogeneously as possible to facilitate accurate compaction and moisture testing.
4. Standards for fill areas:
- A. The contractor shall notify the general contractor immediately. The project superintendent, prior to the underlying being completed, shall approve any material to be used in the project. Unstable materials shall be removed and replaced with compacted granular materials and compacted in accordance to required specifications. The cost of this work shall be an extra to the contract, with the cost being adjusted by change order.
- B. If the contractor is furnishing any of the materials, a representative sample of such materials shall be furnished to the general contractor's approved laboratory for testing.
- C. These materials shall be placed as homogeneously as possible to facilitate accurate compaction and moisture testing.
5. Standards for fill areas:
- A. The contractor shall notify the general contractor immediately. The project superintendent, prior to the underlying being completed, shall approve any material to be used in the project. Unstable materials shall be removed and replaced with compacted granular materials and compacted in accordance to required specifications. The cost of this work shall be an extra to the contract, with the cost being adjusted by change order.
- B. If the contractor is furnishing any of the materials, a representative sample of such materials shall be furnished to the general contractor's approved laboratory for testing.
- C. These materials shall be placed as homogeneously as possible to facilitate accurate compaction and moisture testing.
6. Standards for fill areas:
- A. The contractor shall notify the general contractor immediately. The project superintendent, prior to the underlying being completed, shall approve any material to be used in the project. Unstable materials shall be removed and replaced with compacted granular materials and compacted in accordance to required specifications. The cost of this work shall be an extra to the contract, with the cost being adjusted by change order.
- B. If the contractor is furnishing any of the materials, a representative sample of such materials shall be furnished to the general contractor's approved laboratory for testing.
- C. These materials shall be placed as homogeneously as possible to facilitate accurate compaction and moisture testing.
7. Standards for fill areas:
- A. The contractor shall notify the general contractor immediately. The project superintendent, prior to the underlying being completed, shall approve any material to be used in the project. Unstable materials shall be removed and replaced with compacted granular materials and compacted in accordance to required specifications. The cost of this work shall be an extra to the contract, with the cost being adjusted by change order.
- B. If the contractor is furnishing any of the materials, a representative sample of such materials shall be furnished to the general contractor's approved laboratory for testing.
- C. These materials shall be placed as homogeneously as possible to facilitate accurate compaction and moisture testing.

GENERAL PAVING NOTES

1. All pavements shall be constructed in accordance with the following:
- A. Concrete pavements shall be constructed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction (Standard Specifications), latest edition, including all addenda and standard drawings.
- B. Subgrade and subbase shall be prepared in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction (Standard Specifications), latest edition, including all addenda and standard drawings.
- C. All proposed pavement areas shall be prepared to a minimum 95 per cent Standard Proctor density.
- D. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- E. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- F. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- G. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- H. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- I. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- J. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- K. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- L. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- M. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- N. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- O. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
- P. The subgrade and subbase shall be prepared to a minimum 95 per cent Standard Proctor density.
2. The contractor shall prepare the subgrade and subbase in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction (Standard Specifications), latest edition, including all addenda and standard drawings.
3. The contractor shall prepare the subgrade and subbase in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction (Standard Specifications), latest edition, including all addenda and standard drawings.
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8. The contractor shall prepare the subgrade and subbase in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction (Standard Specifications), latest edition, including all addenda and standard drawings.
9. The contractor shall prepare the subgrade and subbase in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction (Standard Specifications), latest edition, including all addenda and standard drawings.
10. The contractor shall prepare the subgrade and subbase in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction (Standard Specifications), latest edition, including all addenda and standard drawings.
11. The contractor shall prepare the subgrade and subbase in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction (Standard Specifications), latest edition, including all addenda and standard drawings.

PAVEMENT MARKING NOTES

1. Pavement markings shall be constructed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction (Standard Specifications), latest edition, including all addenda and standard drawings.

DEMOLITION NOTES

1. The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set.
2. The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set.
3. The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set.
4. The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set.
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9. The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set.
10. The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set.
11. The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set.



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ORLAND PARK, FL 31111
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FAX (918) 664-4200
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Mobile Design Firm License No. 18-001734

PROJECT NAME
OWNER'S NAME

CUBE SMART
SELF-STORAGE

66 ORLAND SQUARE
DRIVE
ORLAND PARK, IL

Paul Orland Storage, LLC
5511 24th Avenue, Suite 200
Orland Park, IL 60455
847-467-2200

CONCRETE NOTES

REVISIONS	DATE
1. ---	---
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---

ISSUED FOR

REVISIONS	DATE
1. ASBCT REVIEW	9/1/22
2. ASBCT REVIEW	6/2/22
3. ASBCT REVIEW	8/1/22
4. ASBCT REVIEW	8/29/22
5. ASBCT REVIEW	8/11/22
6. ASBCT REVIEW	8/20/22
7. ASBCT REVIEW	10/26/22
8. ASBCT REVIEW	10/19/22
9. ASBCT REVIEW	26/2/23
10. ---	---
11. ---	---
12. ---	---

SHEET TITLE
GENERAL NOTES

DRAWN	LMH
CHECKED	LMH
IN CHARGE	LMH

PROJECT NUMBER
SHEET NUMBER

20027
C01

	PROPERTY LINE		EXISTING WATER TO REMAIN
	LOT LINE		EXISTING SIGN TO REMAIN
	EXISTING RIGHT-OF-WAY		EXISTING GAS METER TO REMAIN
	EXISTING EASEMENT LINE		EXISTING ELECTRIC METER TO REMAIN
	EXISTING CURB AND GUTTER		EXISTING STORM SEWER TO REMAIN
	EXISTING CURB AND GUTTER TO BE REMOVED		EXISTING SANITARY SEWER TO REMAIN
	EXISTING WATER TO REMAIN		EXISTING LIGHT POLE TO REMAIN
	EXISTING FENCE TO REMAIN		EXISTING LIGHT POLE TO BE REMOVED/RELOCATED
	EXISTING FENCE TO BE REMOVED		EXISTING SHRUBS TO BE REMOVED
	EXISTING CONTOUR LINE		
	EXISTING PAVEMENT TO BE REMOVED		
	EXISTING CONCRETE TO BE REMOVED		
	EXISTING TULIP TO BE REMOVED		
	"TO BE REMOVED"		
	"SALVAGE"		
	TYPICAL FOR ALL SPECIAL ITEMS		
	BENCHMARK		
	MISC. REMOVALS FOR SIDEWALK		

[illegible]

LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED FENCE (CONCRETE/WOODEN)
- EXISTING FENCE
- EXISTING LIGHT POLE AND FIXTURE
- PROPOSED LIGHT POLE AND FIXTURE
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED BUILDING ADDITION
- PAINTED CROSS WALK

ZONING / SITE DATA TABLE

SITE ZONING - CURRENT	COM - MIXED USE COM DISTRICT
SITE ZONING - PROPOSED	COM - MIXED USE COM DISTRICT - SPECIAL USE
LOT AREA - (PER 27-10-400-03-000 ORD)	PROPOSED
LOT AREA	230 AC (10,000 SQ FT) 2.61 AC (113,448 SQ FT)
MINIMUM LOT WIDTH	80 FT 299 FT
MINIMUM CORNER AREA (ORDS 198)	75% 90,755 S.F. (79.98%)
* WHEN BEING ARE REQUIRED	

LANDSCAPE DATA	
SETBACKS	15,328 S.F. (11%)
FRONT	25' 160'
SIDE	15' 9' north, 28' south
REAR	30'
BUILDING	
SQUARE FOOTAGE	PROPOSED
BUILDING HEIGHT	83,712 S.F.
FLOOR AREA RATIO	35.5' (12 STORY) 0.7
PARKING	
TYPICAL PARKING DIMENSIONS	PROPOSED
ACCESSIBLE PARKING	9' X 18' (minimum)
TOTAL PARKING SPACES	3 SPACES 65 SPACES
MINIMUM ACCESS WIDTH	20' (40' FOR STALLS) 24'
BICYCLE PARKING	
LOADING	4
REQUIRED DIMENSIONS	12' X 23' 9' X 22'

LAYOUT NOTES

- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF THE BENCHMARKS. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REVERSE ENGINEERING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTES: BENCHMARKS ARE SHOWN IN EITHER VERTICAL OR HORIZONTAL CONTROL. PLOTTED TO PROCEED WITH WORK.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- PAVING SHALL LOCATE THE BUILDING ARE MARKED TO THE OUTSIDE FACE OF THE BUILDING.
- SOON CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON LANEWAY TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- ALL ROAD ARE DIMENSIONED TO THE BACK OF CURB.
- ALL CURB AND GUTTER IS 84.13. CURB AND GUTTER SHALL BE COMPRESSED AND DETAIL.
- ALL CURB AND GUTTER IS 84.13. CURB AND GUTTER SHALL BE COMPRESSED AND DETAIL.
- SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND GUTTER MEET EXISTING PAVEMENT, CURB AND GUTTER. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- ELECTRICAL CONDUIT TO SITE LIGHTING AND (PERMANENT) SIGN SHOWN ON ARCHITECTURAL PLANS.
- FOR REQUIRED PAVEMENT REMOVAL, ADJACENT TO THE CURB AND GUTTER REMOVAL, WHEN RIGHT OF WAY, A FULL DEPTH PATCHOUT SHALL BE UTILIZED AND SHALL NOT BE CONSIDERED AS A PATCHOUT. PAVEMENT REMOVAL SHALL BE PERFORMED WITH CONCRETE OR ON REPAIR.

BENCHMARKS

DESCRIPTION	ELEVATION (NAD 83)
BENCHMARK 1	703.90
PLANE ON FIRE MOUNTAIN AT SOUTH LINE OF SUBJECT PARCEL.	
SET BY: RUSSEL WARD DILLON, P.E. 83153	
EXPIRES: NOVEMBER 30, 2022	

ISSUED FOR	DATE
1. AGENT REVIEW	3/2/22
2. AGENT REVIEW	3/2/22
3. AGENT REVIEW	3/2/22
4. AGENT REVIEW	3/2/22
5. AGENT REVIEW	3/2/22
6. AGENT REVIEW	3/2/22
7. AGENT REVIEW	3/2/22
8. AGENT REVIEW	3/2/22
9. AGENT REVIEW	3/2/22
10. AGENT REVIEW	3/2/22
11. AGENT REVIEW	3/2/22
12. AGENT REVIEW	3/2/22

REVISIONS	DATE
1. AGENT REVIEW	3/2/22
2. AGENT REVIEW	3/2/22
3. AGENT REVIEW	3/2/22
4. AGENT REVIEW	3/2/22
5. AGENT REVIEW	3/2/22
6. AGENT REVIEW	3/2/22
7. AGENT REVIEW	3/2/22
8. AGENT REVIEW	3/2/22
9. AGENT REVIEW	3/2/22
10. AGENT REVIEW	3/2/22
11. AGENT REVIEW	3/2/22
12. AGENT REVIEW	3/2/22

ARC DESIGN
RESOURCES INC.

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PROJECT NAME
OWNER NAME

CUBE SMART
SELF-STORAGE
66 ORLAND SQUARE
DRIVE
ORLAND PARK, IL
PM: 27-16-00-015-000
Project Owner: Storage, LLC
6514 Linden Avenue, Suite 200
Lisle, IL 60532-2006
947-987-7200

CONSULTANTS

ISSUED FOR

NO.	DATE
1. ASSET REVIEW	07/2022
2. ASSET REVIEW	08/2022
3. ASSET REVIEW	09/2022
4. ASSET REVIEW	10/2022
5. ASSET REVIEW	11/2022
6. ASSET REVIEW	12/2022
7. ASSET REVIEW	01/2023
8. ASSET REVIEW	02/2023
9. ASSET REVIEW	03/2023
10. ASSET REVIEW	04/2023
11. ASSET REVIEW	05/2023
12. ASSET REVIEW	06/2023

REVISIONS

NO.	DATE
1.	
2.	
3.	
4.	
5.	
6.	

SHEET TITLE

CONSTRUCTION
MANAGEMENT PLAN

DRAWN BY

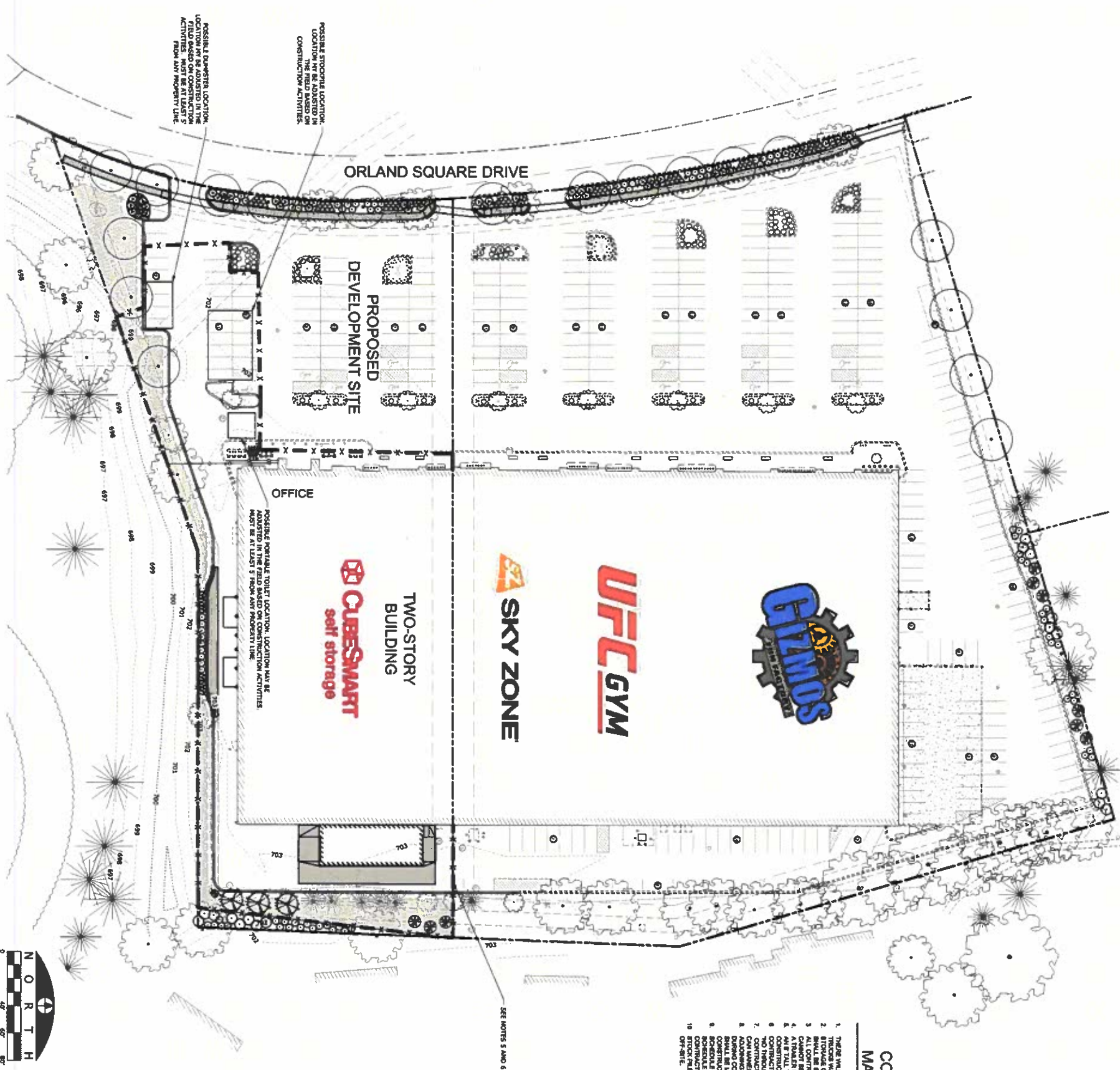
DATE

PROJECT NUMBER

20027

SHEET NUMBER

C04



CONSTRUCTION SITE
MANAGEMENT NOTES

1. THERE WILL BE NO STAGING OF ANY TYPE ON PUBLIC PROPERTY. THIS INCLUDES:
2. STAGING OF MATERIALS FOR THE PROPOSED BUILDING AND/OR OFFICE.
3. ALL CONSTRUCTION ON EARTH OVER VEHICLES SHALL BE PARKED ON-SITE AND
4. CANNOT BE LOCATED WITHIN THE ROW.
5. ALL MATERIALS SHALL BE STORED AS PART OF THE CONSTRUCTION
6. CONSTRUCTION AREA. IT DOES NOT NEED TO BE EXCAVATED THE PROPERTY.
7. TWO THROUGH TRAFFIC CONSTRUCTION AND DEMOLITION VEHICLES ONLY.
8. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
9. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
10. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
11. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
12. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
13. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
14. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
15. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
16. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
17. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
18. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
19. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE
20. CONSTRUCTION SHALL PROVIDE SCHEDULE TO ENSURE TRAFFIC ENTERING THE SITE

DESCRIPTION	ELEVATION (NAVD 83)
BENCHMARK 1 PLANE ON FIRE HYDRANT AT SOUTH LINE OF SUBJECT PARCEL.	703.80
SFT BY: RUSSEL WARD DELON PLS R0163 EXPIRES: NOVEMBER 20, 2022	

PROPERTY LINE

LOFT LINE

EXISTING RIGHT-OF-WAY

EXISTING EASEMENT LINE

EXISTING CURB AND GUTTER

PROPOSED CURB AND GUTTER

PROPOSED FENCE (CHAINLINK/ALUMINUM)

EXISTING FENCE

EXISTING LIGHT POLE AND FIXTURE

PROPOSED HEAVY DUTY ASPHALT PAVEMENT

PROPOSED BUILDING ADDITION

PAINTED CROSS WALK

CUBESMART
self storage



PROJECT NUMBER
20027
SHEET NUMBER
C05

GRAND TOTAL		DATE
1. ABBOT RENEW	17/02	
2. ABBOT RENEW	06/02	
3. ABBOT RENEW	17/02	
4. ABBOT RENEW	10/02	
5. ABBOT RENEW	11/02	
6. ABBOT RENEW	10/02	
7. ABBOT RENEW	10/02	
8. ABBOT RENEW	17/02	
9. ABBOT RENEW	20/02	
10. --		
11. --		
12. --		
TOTAL		DATE
1. --		
2. --		
3. --		
4. --		
5. --		
6. --		

PROJECT NAME
OWNER NAME

CUBE SMART
SELF-STORAGE
66 ORLAND SQUARE
DRIVE
ORLAND PARK, IL
PH: 708-404-5455

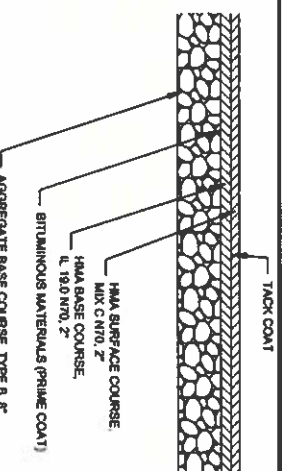
Pearl Office Storage, LLC
5514 Grand Avenue, Suite 200
Lisle, IL 60532-2905
847-687-7260

ARC
DESIGN
RESOURCES INC.

3501 JENNIFER AVE./SUITE 400
LONG BEACH, CA 90801
VOICE: (818) 484-1300
FAX: (818) 484-4303

Internet: www.arc-design.com

Michael Dwyer / Project Manager
10000 Lorraine Ave., 104-001-1304



ASPHALT PAVEMENT W/ NEW BASE

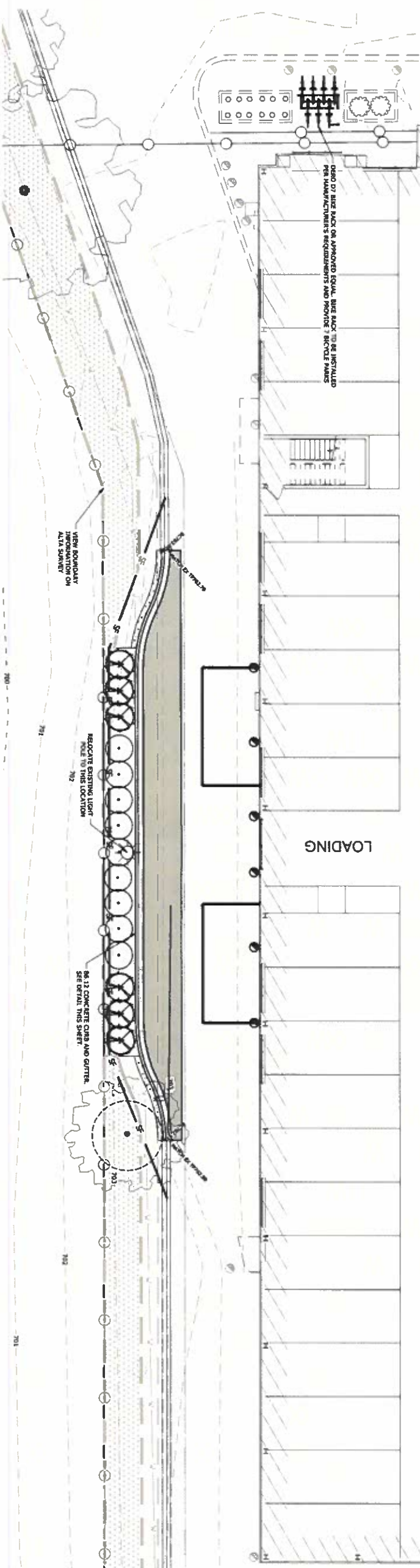


EROSION CONTROL SEQUENCE OF CONSTRUCTION

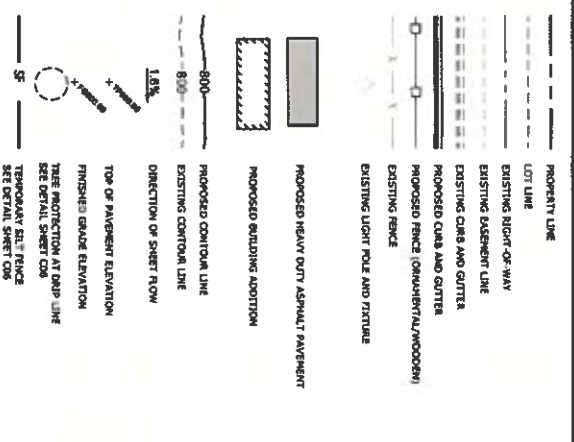
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DETAIL B

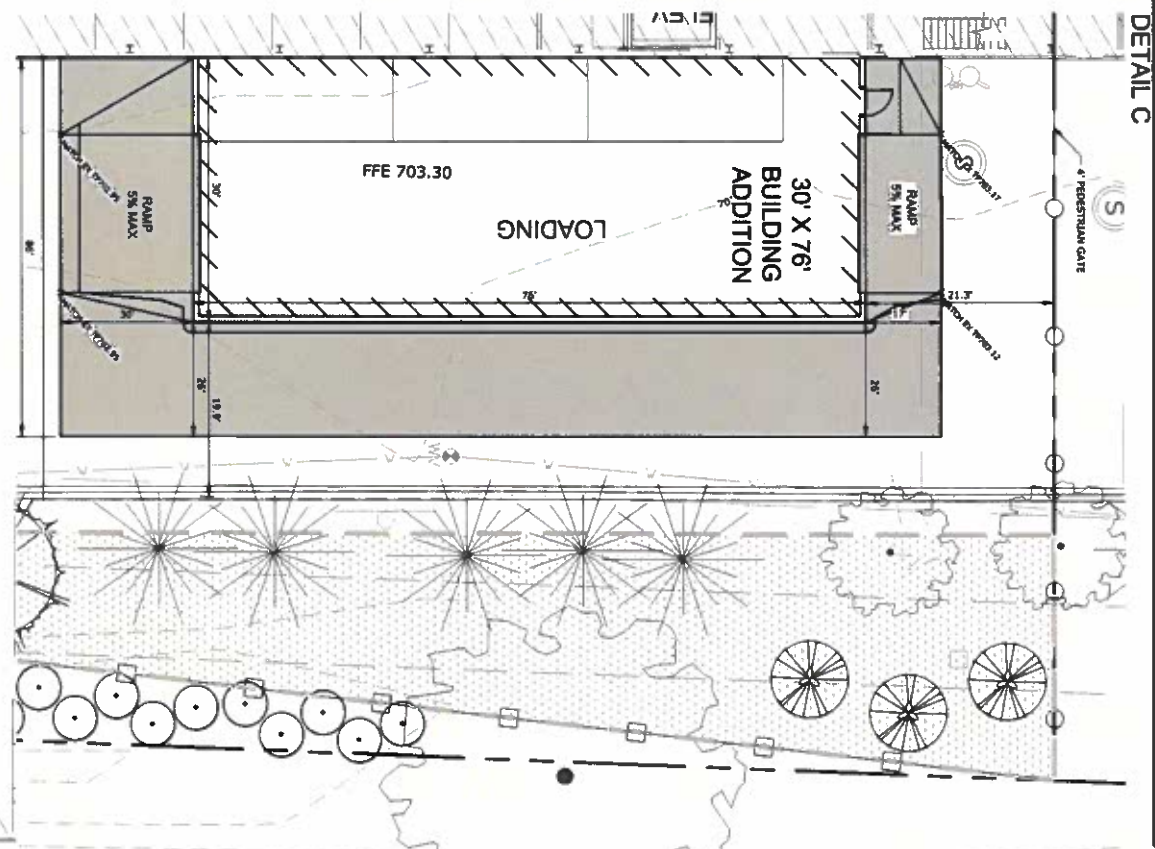


LEGEND



GRADING NOTES

- [illegible]



DETAIL C

ISSUED FROM		DATE
1.	4583471 REVIEW	17/02
2.	4583471 REVIEW	16/02
3.	4583471 REVIEW	16/02
4.	4583471 REVIEW	16/02/22
5.	4583471 REVIEW	16/02/22
6.	4583471 REVIEW	16/02/22
7.	4583471 REVIEW	16/02/22
8.	4583471 REVIEW	16/02/22
9.	4583471 REVIEW	16/02/22
10.		
11.		
12.		

RETURNED		DATE
1.		
2.		
3.		
4.		
5.		
6.		

SHEET TITLE	
GRADING & EROSION CONTROL	
DATE	09/24/04
BY	06/02/05
CHKD	LM
NO	NO

PRODUCT NUMBER
SHEET NUMBER

20027

C06

ARC
DESIGN
RESOURCES, INC.

1201 32ND AVENUE
LONG PARK, IL 61111
VOICE: (815) 441-5200
FAX: (815) 444-5205
www.arcdesign.com

Brown Design Firm (Litham, IL) (847) 207-1254

PROJECT NAME
OWNER'S NAME

**CUBE SMART
SELF-STORAGE**

**66 ORLAND SQUARE
DRIVE
ORLAND PARK, IL**

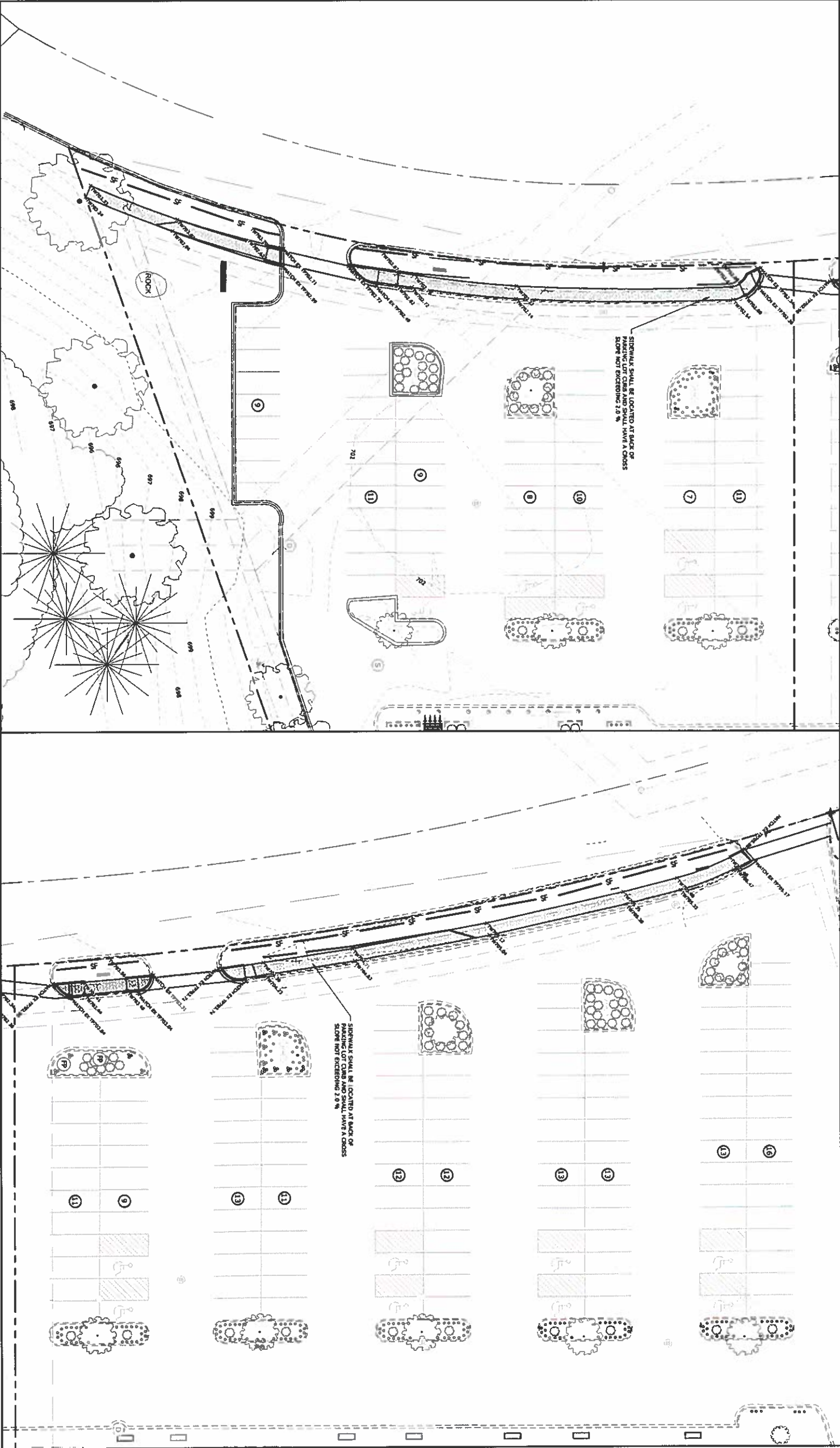
PH: 708-462-6430

Project: David Georgia, LLC
6511 Riverdale Avenue, Suite 200
Lisle, IL 60532-0806
647-467-7200

CONSULTANT

SOUTH LOT SIDEWALK GRADING

NORTH LOT SIDEWALK GRADING



PROJECT NAME

OWNERS NAME

CUBE SMART
SELF-STORAGE
66 ORLAND SQUARE
DRIVE
ORLAND PARK, IL
P.O. BOX 100-001-000
Paved Orland Storage, LLC
5514 Lincoln Avenue, Suite 200
Orland, IL 60452-2800
(815) 464-4300

CONSULTANTS

ISSUED FOR

DATE

1. ASPECT REVIEW	3-9-02
2. ASPECT REVIEW	6-02
3. ASPECT REVIEW	6-02
4. ASPECT REVIEW	6-02
5. ASPECT REVIEW	6-02
6. ASPECT REVIEW	6-02
7. ASPECT REVIEW	6-02
8. ASPECT REVIEW	6-02
9. ASPECT REVIEW	6-02
10. ASPECT REVIEW	6-02
11. ASPECT REVIEW	6-02
12. ASPECT REVIEW	6-02

REVISIONS

DATE

1.		
2.		
3.		
4.		
5.		
6.		

SHEET TITLE
GRADING PLAN -
SIDEWALKS

DRAWN
SP
CHECKED
LWD
DATE
RCS

PROJECT NUMBER
20027

SHEET NUMBER
C07

PROJECT NAME
OWNER'S NAME

CUBE SMART
SELF-STORAGE
86 ORLAND SQUARE
DRIVE
ORLAND PARK, IL
PRJ-27-10-000-043-000
PRJ-27-10-000-043-000
Payal Choudhary, LLC
6314 Lincoln Avenue, Suite 200
Liberty, IL 62552-2908
847-567-7200

CONSULTANTS

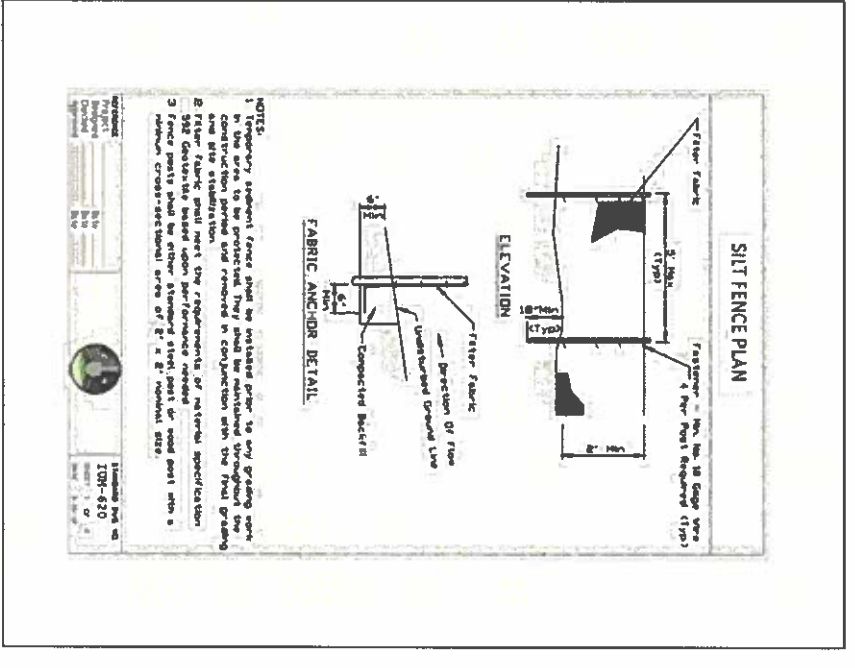
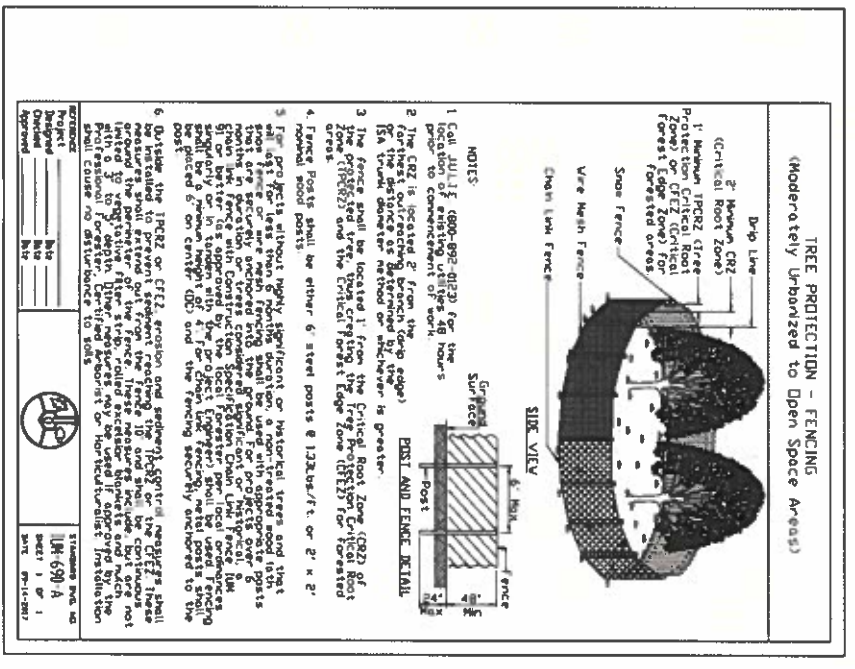
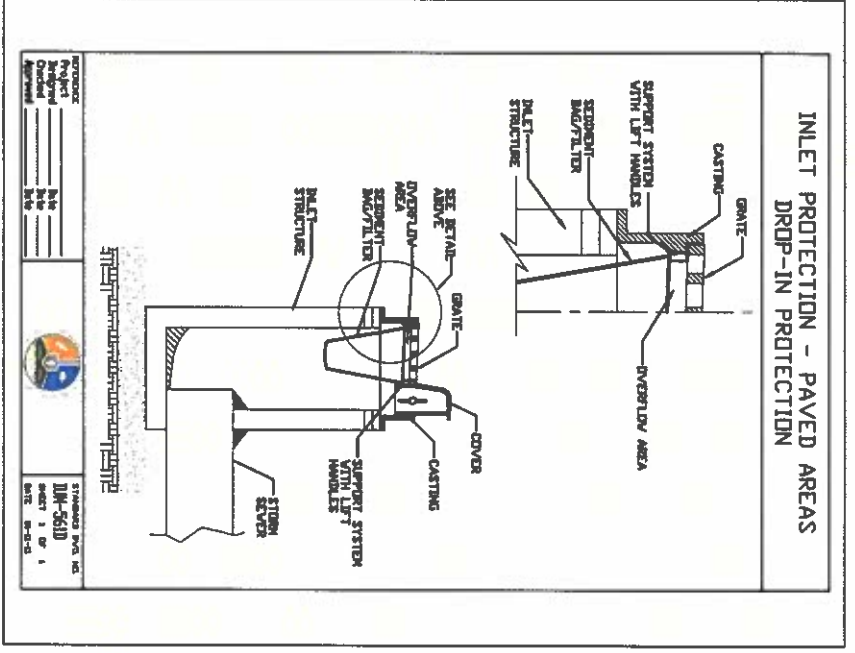
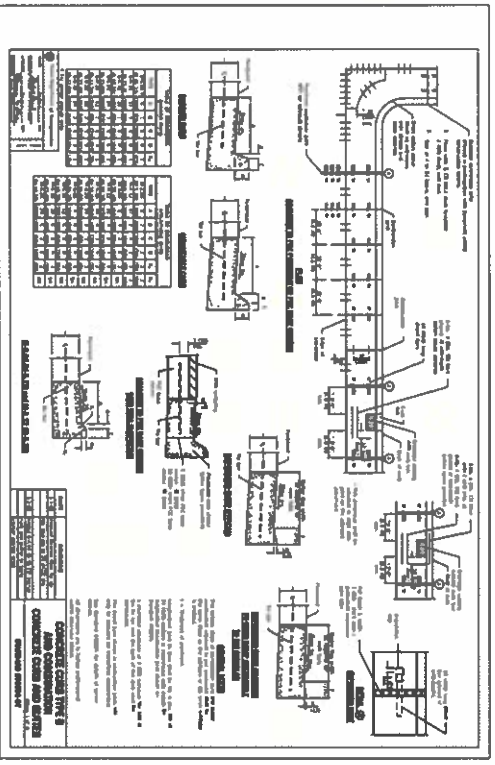
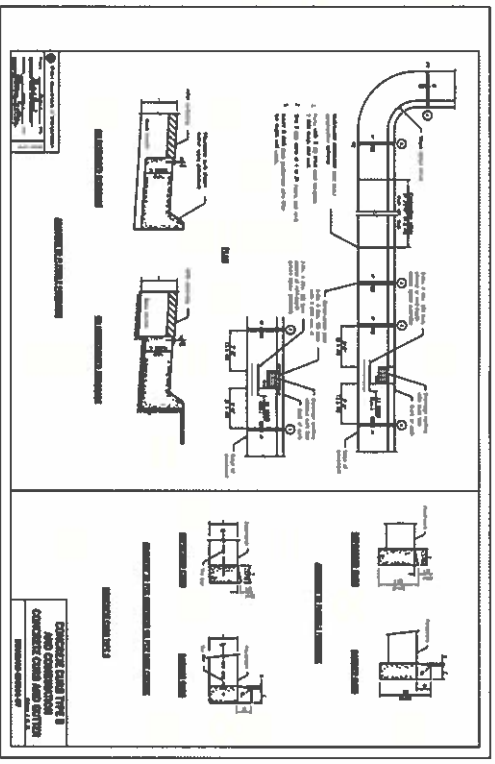
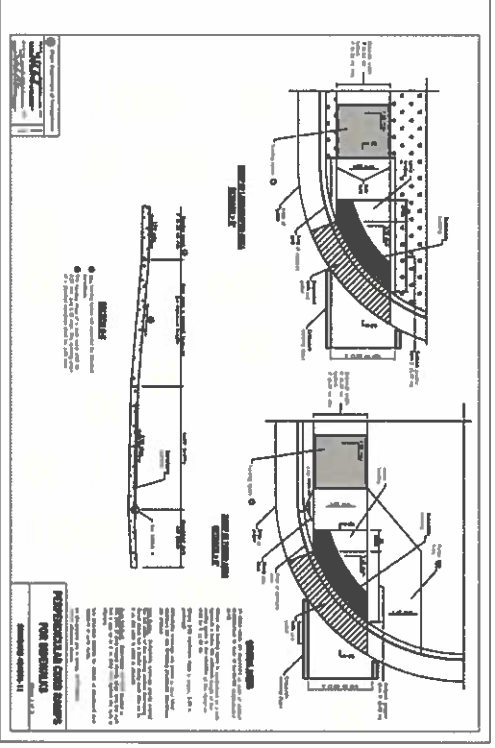
SUBMITTAL FOR

NO.	REVISION	DATE
1.	1.	10/22/2022
2.	2.	10/22/2022
3.	3.	10/22/2022
4.	4.	10/22/2022
5.	5.	10/22/2022
6.	6.	10/22/2022
7.	7.	10/22/2022
8.	8.	10/22/2022
9.	9.	10/22/2022
10.	10.	10/22/2022
11.	11.	10/22/2022
12.	12.	10/22/2022

SHEET TITLE
DETAILS

DRAWN BY
CHECKED BY
DATE

PROJECT NUMBER
SHEET NUMBER
20027
C08



REVISION	DATE
1. ASBCT REVIEW	5/8/22
2. ASBCT REVIEW	6/2/22
3. ASBCT REVIEW	6/2/22
4. ASBCT REVIEW	6/2/22
5. ASBCT REVIEW	6/2/22
6. ASBCT REVIEW	6/2/22
7. ASBCT REVIEW	6/2/22
8. ASBCT REVIEW	10/12/22
9. ASBCT REVIEW	20/2/23
10. --	--
11. --	--
12. --	--

REVISION	DATE
1. --	--
2. --	--
3. --	--
4. --	--
5. --	--
6. --	--

DESIGN	SR
CHECKED	LAB
INCH	NO.3

HPHA™ Specifications

HPHA™ Harrington Permanent Hydrant Adapter™
Harrington Permanent Hydrant Adapter™, A Metal Face Storz with Female Thread, secured to the male nozzle w/ (2) Set Screws, includes Storz Cap with Reflective Aircraft Cable



Harrington, Inc.
2630 West 21st St., Erie, PA 16506
800.553.0078

HPHA™ adapter thread onto existing nozzle.

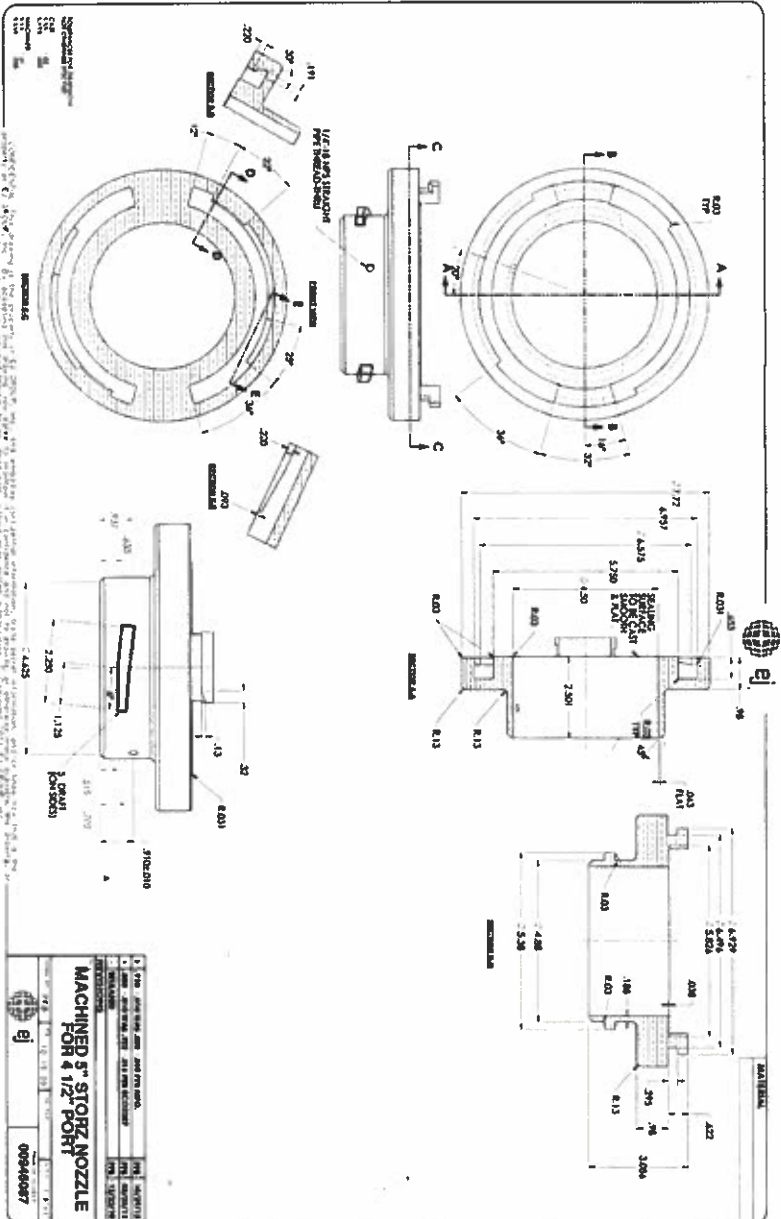
4" STORZ x Female	4" special thread	5" STORZ x Female
HPHA40-40-XXX/Cap	HPHA50-40-XXX/Cap	
HPHA40-40NH/Cap	HPHA50-40NH/Cap	
HPHA40-45NH/Cap	HPHA50-45NH/Cap	

Made in USA from forged 6061-T6 Aluminum. Hard Anodized to MIL-A-8625, Type 3, Dark Gray, and tested for "High-Torque".
* ANY "SPECIAL THREAD" SIZE IS AVAILABLE AND CUT DIRECTLY INTO THE FORGING TO PROVIDE THE LOWEST PROFILE AVAILABLE.
Note: 4" NH (NPT) = 5.010" ODM x 4.171", 4.5" NH (NPT) = 5.760" ODM x 4.171"
"ODM" = Outside Diameter of the Male Thread, "NPT" = Threads Per Inch

HPHA™ SPECIFICATION

The Permanent Hydrant Adapter threads onto the male nozzle and is secured permanently to the hydrant. A Storz square wrench is required for cap removal.
The Storz adapter shall have a hard anodized aluminum metal face seal and hard anodized aluminum Storz ramps and lugs. The adapter's finish shall be hardcoat anodized to MIL-A-8625, Type 3, dark gray. The adapter shall be made in USA from forged 6061-T6 aluminum and secured to the nozzle by (2) stainless steel set screws, inserted 180° apart. The female adapter shall contain a fiber rubber gasket which seals against the male hydrant nozzle.
The blind cap shall have hard anodized aluminum Storz ramps and lugs, made of forged 6061-T6 aluminum. The cap shall be equipped with a suction seal. The cap shall be connected to the adapter or the hydrant with a 0.125" very coarse stainless steel aircraft cable. The cable shall be reflective to assist in locating the hydrant at night. The high torque cap requires a Storz square wrench for removal. Once installed, the Permanent Hydrant Adapter with cap extends less than 5" from the hydrant nozzle.

SPECIFY: HARRINGTON "HPHA"



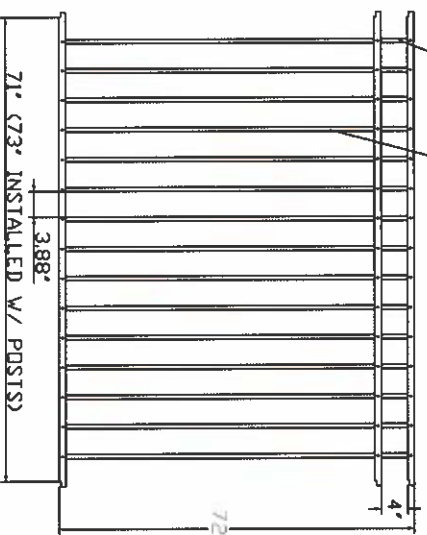
ITEM	DESCRIPTION	QTY	UNIT
1	HPHA40-40-XXX/Cap	1	EA
2	HPHA40-40NH/Cap	1	EA
3	HPHA40-45NH/Cap	1	EA

MACHINED 5" STORZ NOZZLE
FOR 4 1/2" PORT
00046087

6'H X 6'W INFINITY ALUMINUM FENCE PANEL TRADITIONAL GRADE - STYLE #2 POOL

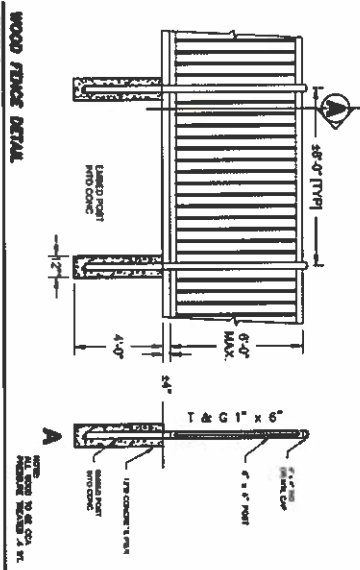


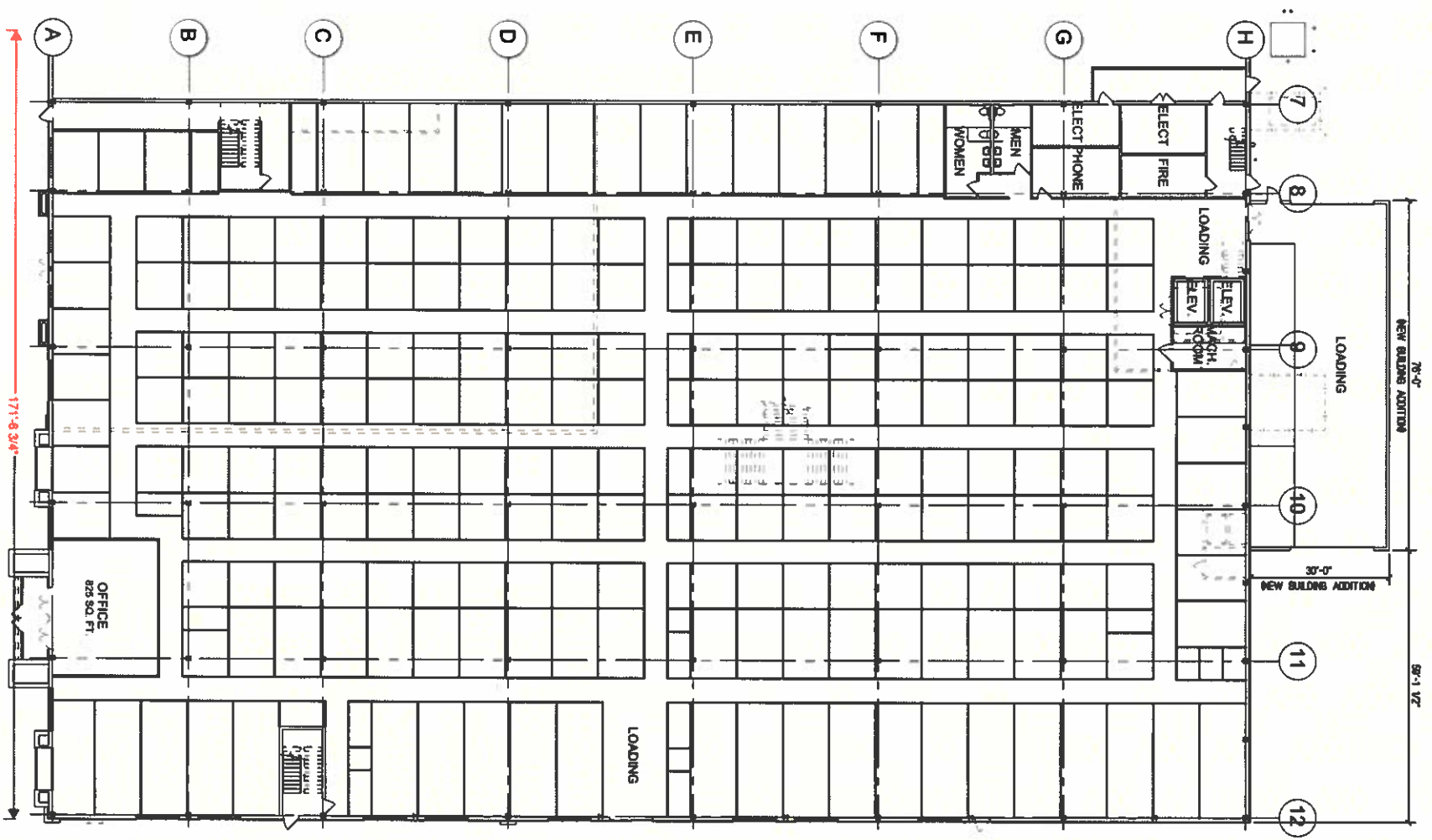
www.ironfence.com
(800) 241-2729



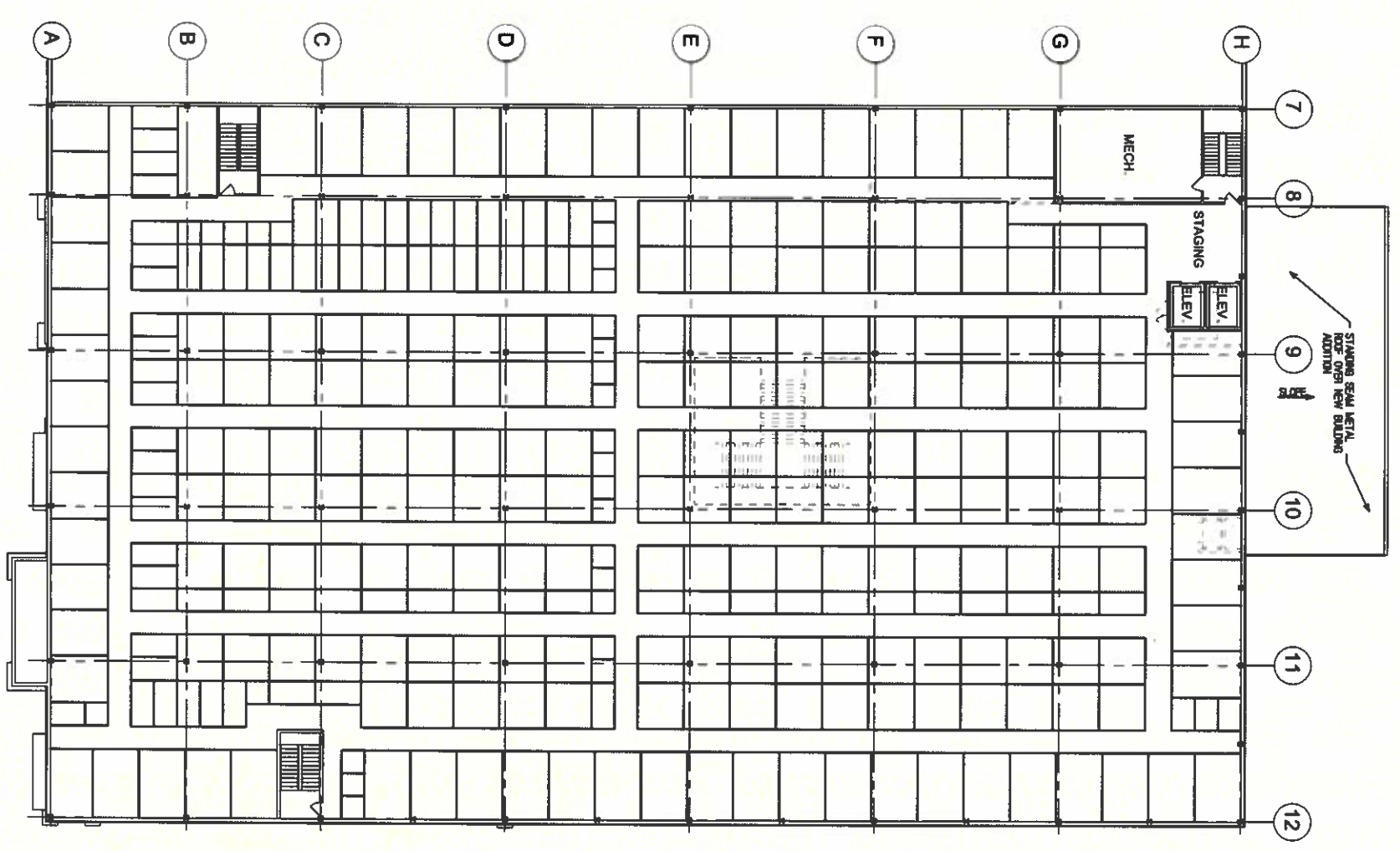
NO.	MATERIAL	QTY
1	1" x 1/8" x 10.00'	15
2	3/4" x 3/4" x 10.00'	3

WOOD FENCE DETAIL



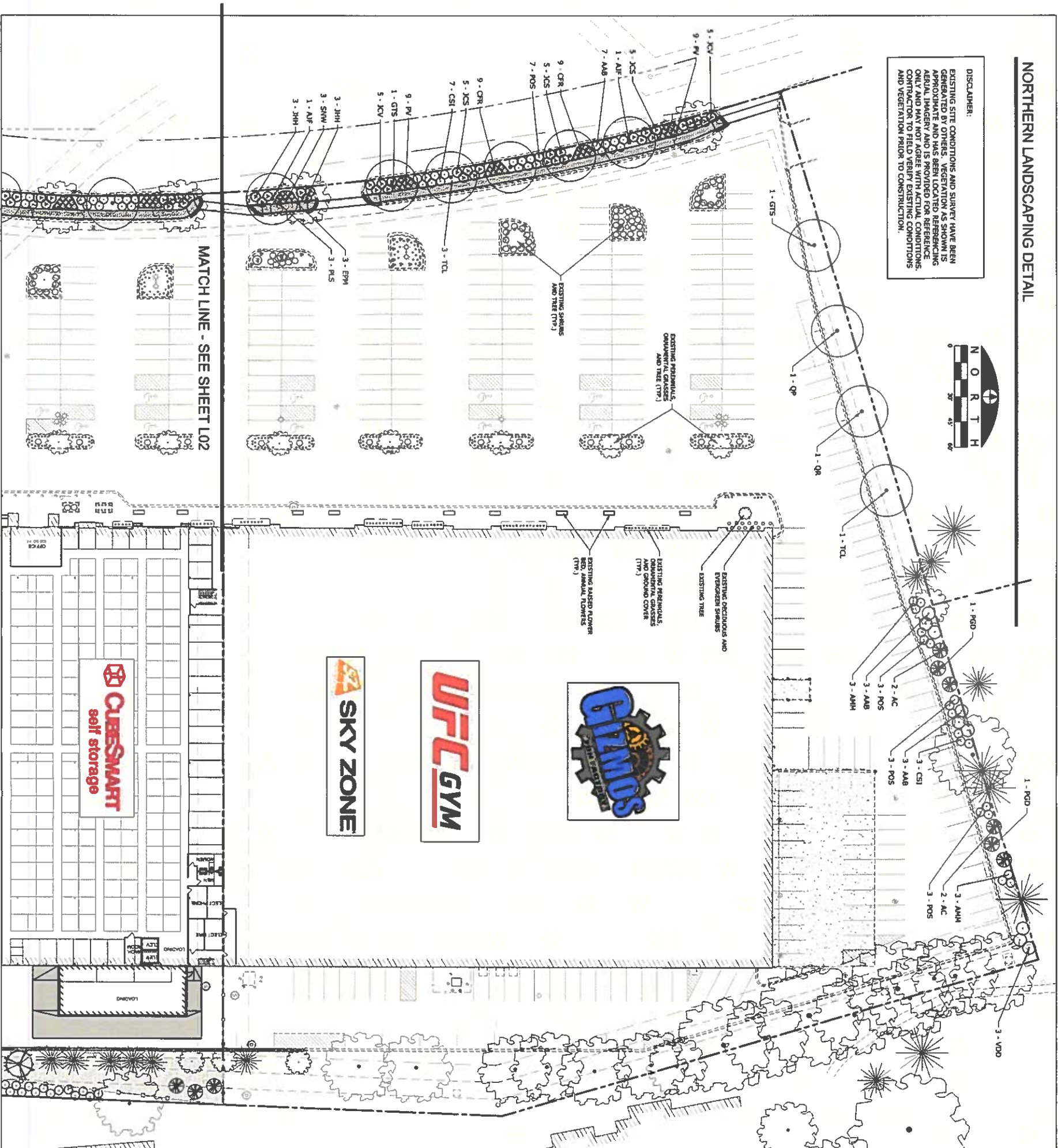


Main Floor Plan
 SCALE: 1/16" = 1'-0"
 171'-8 3/4"



Upper Floor Plan
 SCALE: 1/16" = 1'-0"

EXISTING SITE CONDITIONS, AND SURVEY HAVE BEEN GENERATED BY OTHERS. VEGETATION AS SHOWN IS APPROXIMATE AND HAS BEEN LOCATED REFERENCING AERIAL IMAGERY AND IS PROVIDED FOR REFERENCE ONLY AND MAY NOT AGREE WITH ACTUAL CONDITIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND VEGETATION PRIOR TO CONSTRUCTION.

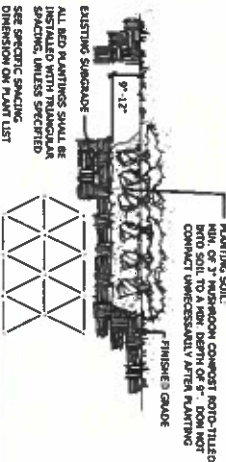
[illegible]

KEY	QTY	Product name COMBINATION NAME	SIZE	REMARKS
AC	4	Large CONCORD FR	7'	EVERGREEN TREE
AF	2	Key 1 Imperial "Imperial" FIREBIRD RED NAME	3'	LARGE ORCUTIOUS TREEM
GTS	2	Galaxy "Galaxy" "Star" SUNLINE HONEYCLOUT	3'	LARGE ORCUTIOUS TREEM
KOD	2	Red Jaguar "Jaguar" BLACK HILLS TRUCK	7'	EVERGREEN TREE
OP	1	Orange "Orange" FR OAK	2'	LARGE ORCUTIOUS TREEM
OR	1	Orange "Orange" RED OAK	2'	LARGE ORCUTIOUS TREEM
TCL	4	Little Leaf "Little Leaf" LITTLE LEAF LINDEN	3'	LARGE ORCUTIOUS TREEM
AA6	13	Angels "Angels" "Angels" BRILLIANT RED CONCORD	3' 6AL	30' BAL ALTERNATE
AMH	6	Angels "Angels" "Angels" INDIGUS BEAUTY CONCORD	3' 6AL	30' BAL ALTERNATE
KCS	13	Angels "Angels" "Angels" OAK GREEN JAMES	3' 6AL	EVERGREEN
KCV	10	Angels "Angels" "Angels" GREEN SAUCER JAMES	3' 6AL	EVERGREEN
JMH	6	Angels "Angels" "Angels" HONES JAMES	3' 6AL	EVERGREEN
CSI	10	Angels "Angels" "Angels" ISANT INDIGUS CONCORD	3' 6AL	30' BAL ALTERNATE
POS	16	Angels "Angels" "Angels" SUNSHINE WINE PROCONCORD	3' 6AL	30' BAL ALTERNATE
VDO	3	Angels "Angels" "Angels" ALL THE QUALITIES VINDUM	3' 6AL	30' BAL ALTERNATE
CFR	18	Angels "Angels" "Angels" FLAMES RED OAK	3' 6AL	3' 6AL
PV	18	Angels "Angels" "Angels" BLUE SWITCH OAK	3' 6AL	3' 6AL
BPH	3	Angels "Angels" "Angels" PLANE CONCORD	1' 6AL	3' 6AL
PLS	3	Angels "Angels" "Angels" LITTLE SPINE HILLS OAK	1' 6AL	2' 6AL
SHW	3	Angels "Angels" "Angels" WINDING PLANE SALVA	1' 6AL	2' 6AL

KEY	QTY	Product name COMBINATION NAME	SIZE	REMARKS
AC	4	Large CONCORD FR	7'	EVERGREEN TREE
AF	2	Key 1 Imperial "Imperial" FIREBIRD RED NAME	3'	LARGE ORCUTIOUS TREEM
GTS	2	Galaxy "Galaxy" "Star" SUNLINE HONEYCLOUT	3'	LARGE ORCUTIOUS TREEM
KOD	2	Red Jaguar "Jaguar" BLACK HILLS TRUCK	7'	EVERGREEN TREE
OP	1	Orange "Orange" FR OAK	2'	LARGE ORCUTIOUS TREEM
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CSI	10	Angels "Angels" "Angels" ISANT INDIGUS CONCORD	3' 6AL	30' BAL ALTERNATE
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PLS	3	Angels "Angels" "Angels" LITTLE SPINE HILLS OAK	1' 6AL	2' 6AL
SHW	3	Angels "Angels" "Angels" WINDING PLANE SALVA	1' 6AL	2' 6AL

[illegible]

(GROUNDCOVER, PERENNIALS & ANNUALS)



MIN. OF 3" MUSHROOM COMPOST ROTO-TILLED INTO SOIL TO A MIN. DEPTH OF 6". DON NOT CONTACT UNNECESSARILY AFTER PLANTING

ISSUED FOR		DATE
1. AGENCY REVIEW		5/22/02
2. AGENCY REVIEW		6/20/02
3. AGENCY REVIEW		6/7/02
4. AGENCY REVIEW		6/28/02
5. AGENCY REVIEW		6/10/02
6. AGENCY REVIEW		6/26/02
7. AGENCY REVIEW		6/20/02
8. AGENCY REVIEW		6/17/02
9. AGENCY REVIEW		6/26/02
10. --		
11. --		
12. --		

REVISIONS

ITEM	DATE
1. --	
2. --	
3. --	
4. --	
5. --	
6. --	

ISSUED FOR		DATE
1. AGENCY REVIEW		5/22/02
2. AGENCY REVIEW		6/20/02
3. AGENCY REVIEW		6/7/02
4. AGENCY REVIEW		6/28/02
5. AGENCY REVIEW		6/10/02
6. AGENCY REVIEW		6/26/02
7. AGENCY REVIEW		6/20/02
8. AGENCY REVIEW		6/17/02
9. AGENCY REVIEW		6/26/02
10. --		
11. --		
12. --		

REVISIONS

ITEM	DATE
1. --	
2. --	
3. --	
4. --	
5. --	
6. --	

**CUBE SMART
SELF-STORAGE**

**66 ORLAND SQUARE
DRIVE**

ORLAND PARK, IL

PH: 800.741.1271 • 708.400.4400
FAX: 708.400.0400

Pasco Drive Storage, LLC
6514 Linden Avenue, Suite 200
Lisle, IL 60532-2905
617-467-1200

CONCRETE TANKS

**CUBE SMART
SELF-STORAGE**

**66 ORLAND SQUARE
DRIVE
ORLAND PARK, IL**

PH: NORTH LTD.: 77-96-960-440-800
800/411 LDT.: 77-96-960-440-800

Pearl Outlet Storage, LLC
6514 Lindbergh Avenue, Suite 200
Lisle, IL 60532-2005
647-967-7200

ARC
DESIGN
RESOURCES INC.

8201 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.jrdesigns.com
Blanco Design Firm (Luzerne No. 144-001334)

Graphic Design Firm (Internet No. 1-800-1304)

[illegible]

MATT ADAS
IL LIC. #157.001717
PH. #815-484-4300 XT. 236

EXISTING SITE CONDITIONS AND SURVEY HAVE BEEN GENERATED BY OTHERS. VEGETATION AS SHOWN IS APPROXIMATE AND HAS BEEN LOCATED REFERENCE AERIAL IMAGERY AND IS PROVIDED FOR REFERENCE ONLY AND MAY NOT AGREE WITH ACTUAL CONDITIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, AND VEGETATION PRIOR TO CONSTRUCTION.

EASTERN LANDSCAPING DETAIL

FENCE MATERIAL CHANGES FROM 6" ORNAMENTAL TO 8" WOODEN FENCE

Diagram illustrating the distribution of pores in different types of plant tissues:

- EXISTING TREES**: Shows a cross-section of a tree trunk with a central pith and a large outer cortex. Pores are concentrated in the pith rays.
- MIXED PERENNIALS / CONWOYENTAL GRASSES**: Shows a cross-section of a stem with a central pith and a large outer cortex. Pores are concentrated in the pith rays.
- EVERGREEN / DECIDUOUS SHRUBS**: Shows a cross-section of a stem with a central pith and a large outer cortex. Pores are concentrated in the pith rays.
- DECIDUOUS SHADE TREE**: Shows a cross-section of a stem with a central pith and a large outer cortex. Pores are concentrated in the pith rays.
- PERWOODED TREES**: Shows a cross-section of a stem with a central pith and a large outer cortex. Pores are concentrated in the pith rays.

PROPOSED TREE CONSTRUCTING AND
ANY AREAS DISTRIBUTED BY CONSTRUCTING
AREAS IS LESS THAN 100 CM

KEY	QTY	BRAND NAME COMMODITY NAME	SIZE	REMARKS
AC	3	MASTRO COMPOUND RM	7"	EYEGLASS TUBE
AP	2	MASTRO REPAIRING "MASTRO" REPAIRING RM NAME	3"	LARGE DECIDUOUS TREE
GTS	2	GEORGE SANTALUM "SANTALUM" SANTALUM RM NAME	3"	LARGE DECIDUOUS TREE
TEL	1	TEL LITTLE LITTLE LITTLE LITTLE LITTLE LITTLE	3"	LARGE DECIDUOUS TREE
POD	1	POD POD POD POD POD POD POD POD POD	7"	EYEGLASS TUBE
OP	1	OP OP OP OP OP OP OP OP OP OP OP	7"	LARGE DECIDUOUS TREE
OR	2	OR OR OR OR OR OR OR OR OR OR OR	7"	LARGE DECIDUOUS TREE

KEY	QTY	BRAND NAME COMMODITY NAME	SIZE	REMARKS
AC	3	ALCOHOL CONCOCTION RM	7"	EVENGREEN TREE
AP	2	Apple 1 Imperial 1 Lighter REEMAN RED NAME	3"	LARGE DECIDUOUS TREE
GIS	2	Geoplat 1 Imperial 1 Lighter SANTAL HONTOUCOUST	3"	LARGE DECIDUOUS TREE
FL	1	TRM cordula LITTLE LEAF LORON	3"	LARGE DECIDUOUS TREE
POO	1	Poa puaa 1 Imperial BLACK HILLS SERVICE	7"	EVENGREEN TREE
OP	1	Opuntia palmeri PIM OAK	2"	LARGE DECIDUOUS TREE
OR	2	Opuntia rubra RED OAK	2"	LARGE DECIDUOUS TREE
TOT	3	Thlas occidentalis 1 Imperial TICORY NISSON ABBOTTYNE	6"	UNWEIGHT EVERGREEN
AAB	6	Angia arborea 1 Imperial BANTULAT RED CHERRYBAY	5 GAL	30' B&B ALTERNATE
AMM	6	Angia imbricaria 1 Imperial INDIGOUS BEAUTY CHERRYBAY	5 GAL	30' B&B ALTERNATE
JCS	6	Asargia clematis 1 Imperial SEA GREEN JAMBER	5 GAL	EVENGREEN
KCV	11	Asargia clematis 1 Imperial GREEN SANGHAT JAMBER	5 GAL	EVENGREEN
JMH	6	Asargia horizontalis 1 Imperial HOMES JAMBER	5 GAL	EVENGREEN
CSI	11	Cornus sericea 1 Imperial LEAVY INDIGOUS DOWWOOD	5 GAL	30' B&B ALTERNATE
MOS	6	Myoporum laetifolium 1 Imperial SHAWNS WOOD PROBABLY	5 GAL	30' B&B ALTERNATE
SMS	14	Sorbus bairdii 1 Imperial COLORADO SYDRA	5 GAL	24' B&B ALTERNATE
TYT	6	Tilia cordata 1 Imperial TAYLTON JAMBER TEV	24"	EVENGREEN
VDO	3	Viburnum dentatum 1 Imperial ALL THAT GATTIES VIBURNUM	5 GAL	30' B&B ALTERNATE
CPR	13	Campanula medium 1 Imperial FEATHER RED GRASS	3 GAL	30' O.C. SHADING
PHK	6	Phlox paniculata 1 Imperial HARRY BETHANS GAVITY	1 GAL	20' O.C. SHADING
PIV	18	Pyrus ussuriensis 1 Imperial BLUE SWITCH GRASS	3 GAL	30' O.C. SHADING
PHG	4	Rubus idaeus 1 Imperial BLACK-BIRD BUSH	1 GAL	20' O.C. SHADING

LANDSCAPE DATA (SOUTH LOT)	
DEVELOPMENT AREA	
LANDSCAPE AREA	
REQUIREMENT	PROVIDED
55' ± 6' ISLANDS (L/10 STALLS) W/ 1 TREE @ 142 S.F. ISLAND	20,188 S.F. (18%)
8 ISLANDS (0.193 S.F.) W/ 1 TREE @ 142 S.F. ISLAND	20,188 S.F. (18%)

[illegible]

RESOURCES INC.
15201 ZEPHYRUS BLVD.
LONGVIEW PARK • SUITE 11111
LONGVIEW, UT 84111-4300
FAX: (815) 464-4305
www.resources.com

PROJECT NAME
CUBESmart
OWNER'S NAME
SELF-STORAGE
66 ORLAND SQUARE DRIVE
ORLAND PARK, IL
TEL 773-600-04300

Project Owner's Storage, LLC
5614 N. Indiana Avenue, Suite 200
Oak Park, IL 60302-2003
941-987-7200

DRAWING	SR
CHECKED	UND
FILE	RCS
PROJECT NUMBER	
SHEET NUMBER	
20027	
L02	

STATE OF ILLINOIS)
) SS.
COUNTY OF COOK)

AFFIDAVIT

I, Justin Tauber, being duly sworn under oath, do hereby depose and state as follows:

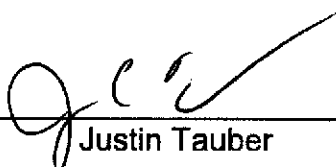
1. That I am a member of JKD CRE LLC, owner of the following-described property:

66 Orland Square Drive
Orland Park, Illinois
Township: Orland
Permanent Index Number: 27-10-400-043-0000

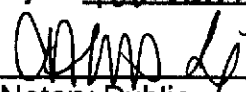
2. That in my capacity, I have personal knowledge of the property and all matters pertaining thereto and am authorized to make this affidavit.

3. That the subject property has been entirely vacant since 2018.

Further affiant sayeth not.


Justin Tauber

Subscribed and sworn to before me,
this 26 day of February, 2024.



Notary Public



BOARD OF REVIEW DECISION SEARCH

Property Information

Address: 66 ORLAND SQUARE DR, ORLAND PARK
PIN: 27-10-400-043-0000

Current Year 2023

COMPLAINT	TYPE	CLASS	ASSESSOR TOTAL
2816597.001	A - ADD	5-17	\$1,300,106

Appeal History

2023 Decision Information

Complaint:	2816597.001
Appellant:	JKD CRE LLC
Attorney:	FIELD, JAMES A. (FIELD & GOLDBERG, LLC)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2023	2816597	\$346,095	\$954,011	\$1,300,106	\$346,095	\$389,120	\$735,215
2022	2811000	\$346,095	\$355,780	\$701,875	\$346,095	\$261,998	\$608,093
2021	2813056	\$346,095	\$410,516	\$756,611	\$346,095	\$174,666	\$520,761
2020	2817104	\$346,095	\$547,356	\$893,451	\$346,095	\$196,005	\$542,100
2019		\$209,099	\$108,922	\$318,021	\$209,099	\$108,922	\$318,021

Reason

empty

2022 Decision Information

Complaint: 2811000.001

Appellant: RSS BANK2017-BNK9-DE G

Attorney: FIELD, JAMES A. (FIELD & GOLDBERG, LLC)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2022	2811000	\$346,095	\$355,780	\$701,875	\$346,095	\$261,998	\$608,093
2021	2813056	\$346,095	\$410,516	\$756,611	\$346,095	\$174,666	\$520,761
2020	2817104	\$346,095	\$547,356	\$893,451	\$346,095	\$196,005	\$542,100
2019		\$209,099	\$108,922	\$318,021	\$209,099	\$108,922	\$318,021
2018		\$209,099	\$289,194	\$498,293	\$209,099	\$289,194	\$498,293

Change Reason

The Decrease is the result of: Vacancy, demolition, fire, natural disaster, exemption, or a Certificate of Correction.

2021 Decision Information

Complaint: 2813056.001

Appellant: RSS BANK2017-BNK9-DE G

Attorney: FIELD, JAMES A. (FIELD & GOLDBERG, LLC)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2021	2813056	\$346,095	\$410,516	\$756,611	\$346,095	\$174,666	\$520,761
2020	2817104	\$346,095	\$547,356	\$893,451	\$346,095	\$196,005	\$542,100

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2019		\$209,099	\$108,922	\$318,021	\$209,099	\$108,922	\$318,021
2018		\$209,099	\$289,194	\$498,293	\$209,099	\$289,194	\$498,293
2017	2817201	\$209,099	\$598,460	\$807,559	\$209,099	\$544,623	\$753,722

Change Reason

The Decrease is the result of: Vacancy, demolition, fire, natural disaster, exemption, or a Certificate of Correction.

2020 Decision Information

Complaint: 2817104.001

Appellant: MATT TARSHIS, COURT AP

Attorney: FIELD, JAMES A. (FIELD & GOLDBERG, LLC)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2020	2817104	\$346,095	\$547,356	\$893,451	\$346,095	\$196,005	\$542,100
2019		\$209,099	\$108,922	\$318,021	\$209,099	\$108,922	\$318,021
2018		\$209,099	\$289,194	\$498,293	\$209,099	\$289,194	\$498,293
2017	2817201	\$209,099	\$598,460	\$807,559	\$209,099	\$544,623	\$753,722
2016	2812018	\$194,678	\$514,474	\$709,152	\$194,678	\$514,474	\$709,152

Change Reason

The Decrease is the result of: Vacancy, demolition, fire, natural disaster, exemption, or a Certificate of Correction.

2017 Decision Information

Complaint: 2817201.001

Appellant: MCRIL, LLC

Attorney: GRIFFIN, EUGENE P (EUGENE L. GRIFFIN & AS)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2017	2817201	\$209,099	\$598,460	\$807,559	\$209,099	\$544,623	\$753,722
2016	2812018	\$194,678	\$514,474	\$709,152	\$194,678	\$514,474	\$709,152
2015							
2014							
2013							

FINAL DECISION: DECREASE

2016 Decision Information

Complaint: 2812018.001

Appellant: 66 ORLAND SQUARE, LLC

Attorney: FIELD, JAMES A. (FIELD & GOLDBERG, LLC)

YEAR	COMPL#	ASSESSOR			BOARD OF REVIEW		
		LAND	IMPRV.	TOTAL	LAND	IMPRV.	TOTAL
2016	2812018	\$194,678	\$514,474	\$709,152	\$194,678	\$514,474	\$709,152
2015							
2014							
2013							
2012							

FINAL DECISION: NO CHANGE

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Property Details

27-10-400-043-0000

66 ORLAND SQUARE DR • ORLAND PARK, IL • Orland

Tax Details

PROPERTY CLASSIFICATION	517
SQUARE FOOTAGE (LAND)	115,365
NEIGHBORHOOD	36
TAXCODE	28011
NEXT SCHEDULED REASSESSMENT	2023

Assessed Valuation

2020 Assessor Certified values include adjustments, where applicable, for COVID-19 effects on property.

	2023 Board of Review Certified	2022 Board of Review Certified
TOTAL ESTIMATED MARKET VALUE	\$2,940,860	\$2,432,376
TOTAL ASSESSED VALUE	\$735,215	\$608,094
LAND ASSESSED VALUE	\$346,095	\$346,095
BUILDING ASSESSED VALUE	\$389,120	\$261,999

* "Property Location" is not a legal/postal mailing address. Its sole purpose is to help our Office locate the property. Therefore, you should not utilize the property location for any purpose, however, you may update the Property Location with your Legal/Postal Mailing Address should you choose to do so. Updating the address will not change the Property Location to a Legal/Postal Mailing Address.

** Information may be available by submitting an FOIA Request

Exemption Status

Exemption History

Characteristics

DESCRIPTION	One story store
AGE	**
BUILDING SQUARE FOOTAGE	**
ASSESSMENT PHASE	Assessor Valuation

¹ Excluded from building square footage, except apartment

² Excluded from building square footage

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** Information may be available by submitting an FOIA Request

Appeal History

Year	Previous Board Certified	Assessor Post-Appeal Valuation	Assessor Valuation	Appeal Number	Attorney/Tax Representative	Applicant	Status	Result
2023	\$1,729,793 (2022)	\$1,300,106	\$1,729,793	837719	JAMES A. FIELD	RSS BANK2017-BNK9 – DE GPG, LLC	Appeal Review Complete	Assessed Value Adjusted - Income, Market or Cost
2022	\$893,452 (2021)	\$701,877	\$893,452	535453	JAMES A. FIELD		Appeal Review Complete	Assessed Value Adjusted - Partial Occupancy
2021	\$893,452 (2020)	\$756,612	\$893,452	323788	JAMES A. FIELD		Appeal Review Complete	Assessed Value Adjusted - This is due to income, market or cost analysis supporting the assessment.
2019	\$498,293 (2018)	\$318,021	\$753,721	171164	JAMES A. FIELD	Mitch Goltz	Appeal Review Complete	Assessed Value Adjusted - This is the result of the total vacancy of your property.
2018	\$753,722 (2017)	\$498,293	\$753,722	140869	JAMES A. FIELD	Mitch Goltz	Appeal Review Complete	Assessed Value Adjusted - This is the result of the partial occupancy of your property.

Year	Previous Board Certified	Assessor Post-Appeal Valuation	Assessor Valuation	Appeal Number	Attorney/Tax Representative	Applicant	Status	Result
2017	\$709,152 (2016)	\$807,559	\$880,221	136449	EUGENE P GRIFFIN	Mitch Goltz	Appeal Review Complete	Assessed Value Adjusted - This is the result of an income, market or cost analysis.

1

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