

PROJECT SITE

S. 80th Avenue

W. 159th Street

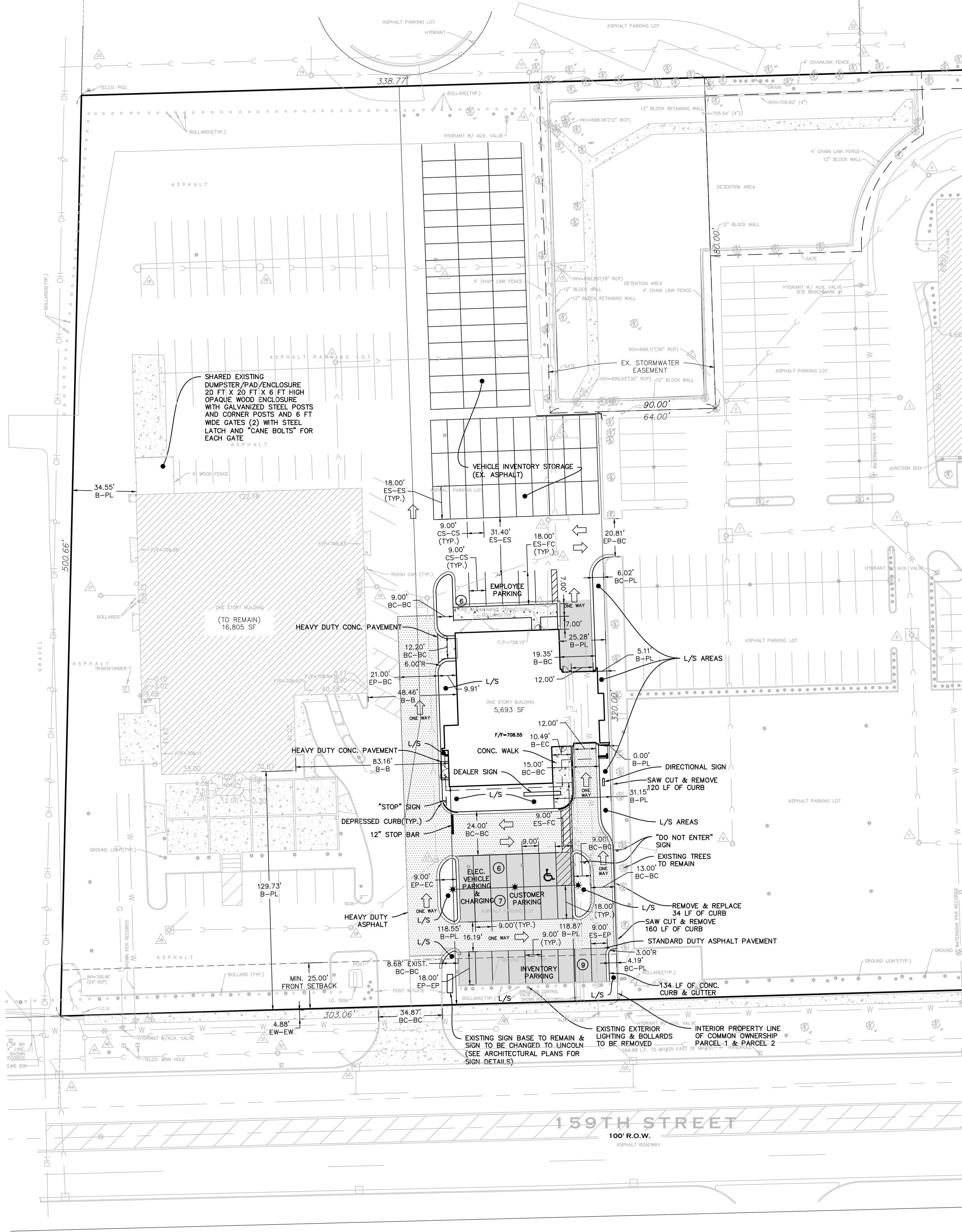
84th Avenue

VICINITY MAP

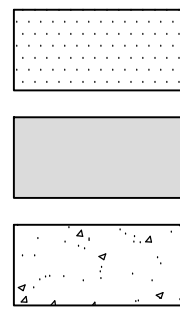
(NOT TO SCALE)

Site Data Box - Joe Rizza Lincoln				Combined Lincoln + Acura
Zoning District	Required	Current	Proposed	Proposed
Existing Use	-	Motor Vehicle Sales and Motor Vehicle Services	Motor Vehicle Sales and Motor Vehicle Services	Motor Vehicle Sales and Motor Vehicle Services
Lincoln Building Size (sq. ft.)	-	3,600	5,693	22,389
Requirements	Required	Current	Proposed	Proposed
Attributable Gross Area (sq. ft.)	10,000	63,876	63,876	155,976
Net Area (sq. ft.)	N/A	50,537	50,537	142,637
Floor Area Ratio (1 story)	1.00	0.06	0.09	0.14
Detention Pond Area (sq. ft.)	N/A	13,338.08	13,338.08	13,338.08
Lot Coverage	75% (80% w/ BMP's)	88%	83%	86%
Green Space (sq. ft.)	25% Min	7,668	10,783	22,366
Height (ft)	50	26	26	Varies see table
Standard Parking Stalls	1 space/300 sq.ft.	6	19	32
Accessible Parking Stalls	1 B.F. space/ 25 spaces	1	1	4
Inventory Parking Stalls	None	93 +/-	87	219
Bicycle Parking Stalls	3	0	0	0
Setbacks				
159 th Street (South) ft.	25	131.3 ft.	118.6 ft.	-
Interior Side (East) ft.	15	25.3 ft.	0.57 ft.	-
Interior Side (West) ft.	15	+/- 211 ft.	209.6 ft.	-
Rear (North) ft.	30	298 ft.	298 ft.	-
Parking Lot Setback				
North Lot Line	15	31 ft	31 ft	-
East Lot Line	10	0	0	-
West Lot Line	10	177.8 ft.	177.8 ft.	-
South Lot Line	30	9.97 ft.	9.97 ft.	-

Site Data Box - Joe Rizza Acura			
Zoning District	Required	Current	Proposed
Existing Use	N/A	Motor Vehicle Sales and Motor Vehicle Services	Motor Vehicle Sales and Motor Vehicle Services
Acura Building Size (sq. ft.)	N/A	16,696 sq.ft.	16,696
Requirements	Required	Current	Proposed
Gross Area (sq. ft.)	N/A	92,099.78	92,099.78
Net Area (sq. ft.)	N/A	92,099.78	92,099.78
Floor Area Ratio (1 story)	1.00	0.18	0.18
Detention Pond Area	N/A	0	0
Lot Coverage	75% (80% w/ BMP's)	87%	87%
Green Space	25% min	11,583	11,583
Height (ft)	50	24	24
Standard Parking Stalls	1 space/300 sq.ft.	13	13
Accessible Parking Stalls	1 B.F. space/ 25 spaces	3	3
Vehicle Inventory Stalls	None	132 +/-	132
Bicycle Parking Stalls	3	0	0
Setbacks			
159 th Street (South) feet	25	129.7	129.7
Interior Side (East) feet	15	129.9	129.9
Interior Side (West) feet	15	217.8	217.8
Rear (North) feet	30		
Parking Lot Setback			
North Lot Line (ft.)	15	31.2	31.2
East Lot Line (ft.)	10	0	0
West Lot Line (ft.)	10	0	0
South Lot Line (ft.)	30	10.9	10.9



LEGEND



L/S

PL

ES

CS

B

BC

EC

R

EP

PROPOSED

STORM SEWER

SANITARY SEWER

WATER MAIN

GAS LINE

ELECTRIC LINE

TELEPHONE LINE

OVERHEAD WIRES

EXISTING

STORM SEWER

SANITARY SEWER

WATER MAIN

GAS LINE

ELECTRIC LINE

TELEPHONE LINE

OVERHEAD WIRES

NOTES:

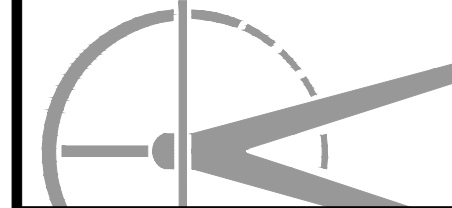
- PORTIONS OF EXISTING BUILDING TO BE REMOVED AND MODIFIED. PLEASE SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. ABOVE BUILDING OUTLINE IS PROPOSED.
- EXISTING ASPHALT TO BE REMOVED AND REPLACED WHERE NEW L/S OR NEW CONCRETE AND ASPHALT IS PROPOSED.
- PIN #27-14-402-022-0000

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DATE	DESCRIPTION
02-15-2019	ISSUED FOR REVIEW
04-09-2020	REVISED PER ARCHITECT
08-12-2020	REVISED PER VILLAGE
10-06-2020	REVISED PER VILLAGE OF ORLAND PARK
01-06-2021	REVISED PER VILLAGE OF ORLAND PARK 11-25-20
02-19-2021	REVISED PER VILLAGE OF ORLAND PARK 02-03-21

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RIZZA LINCOLN
8130 W. 159TH ST
ORLAND PARK, (ORLAND TWP.) ILLINOIS

PROJECT NO. M19008

DRAWN BY: YL

CHECKED BY: TDR

SHEET NO. 4 / 6

PRELIMINARY SITE PLAN