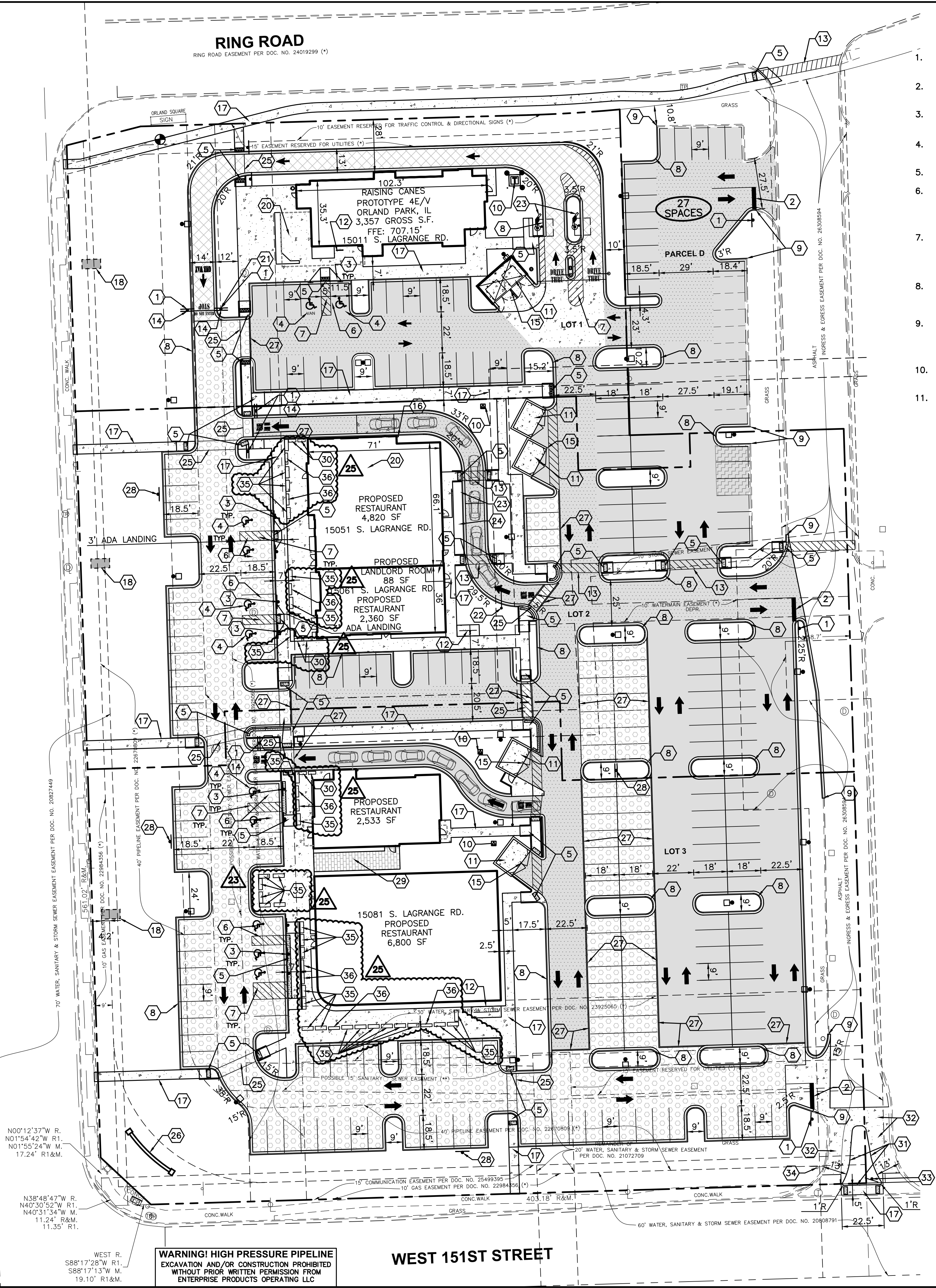


SOUTH LAGRANGE ROAD (U.S. ROUTE 45)



WARNING! HIGH PRESSURE PIPELINE
EXCAVATION AND/OR CONSTRUCTION PROHIBITED
WITHOUT PRIOR WRITTEN PERMISSION FROM
ENTERPRISE PRODUCTS OPERATING LLC

WEST 151ST STREET

SITE NOTES

- ALL DIMENSIONS, RADII AND COORDINATES ARE TO BACK OF CURB WHERE APPLICABLE. ALL RADII SHALL BE 4' UNLESS INDICATED OTHERWISE.
- ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS INDICATED OTHERWISE.
- ALL CURB & GUTTER SHALL BE STANDARD PITCH B6.12, UNLESS NOTED OTHERWISE (SEE DETAILS).
- ADA DETECTABLE WARNINGS/TRUNCATED DOMES TO BE PROVIDED AT SIDEWALKS ON EITHER SIDE OF EACH DRIVEWAY CROSSING.
- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- WHERE NEW PAVEMENT IS TO BE PLACED OVER CURBED ISLANDS THAT HAVE BEEN REMOVED, CONTRACTOR TO PROVIDE AGGREGATE BASE & BINDER COURSE MATCHING THE EXISTING PAVEMENT SECTIONS PRIOR TO PLACEMENT OF SURFACE COURSE.
- CONTRACTOR TO PERFORM PAVEMENT RESTORATION FOR ALL BUILDING FOOTINGS AND UTILITY INSTALLATIONS. CONTRACTOR TO PROVIDE 8" AGGREGATE BASE, 3" BINDER COURSE, AND 1.5" SURFACE COURSE OR MATCH THE EXISTING PAVEMENT SECTION, WHICHEVER IS GREATER.
- AREAS OF PAVEMENT RESTORATION SHALL BE PROOF ROLLED TO DETERMINE IF FULL DEPTH RESTORATION IS REQUIRED OR IF ONLY THE BITUMINOUS MATERIAL IS TO BE REPLACED.
- DEDICATED LOADING AREAS HAVE NOT BEEN IDENTIFIED ON THE SITE. THE LOADING FOR EACH OF THE TENANTS WILL OCCUR IN THE ADJACENT DRIVE LANE TO THEIR SERVICE DOORS. THE TIMING OF DELIVERIES WILL BE SCHEDULED TO MINIMIZE ANY CONFLICTS WITH CUSTOMER TRAFFIC.
- THE LOCATION OF PROPOSED MONUMENT SIGNS IS SUBJECT OF THE APPROVAL OF A SIGN PERMIT.
- ALL ADA ACCESSIBLE RAMPS TO HAVE DEPRESSED CURBS REFER TO GRADING DETAILS FOR ADDITIONAL INFORMATION.

SITE KEY NOTES

- | NO. | DESCRIPTION |
|-----|---|
| 1 | "STOP" SIGN, R1-1 |
| 2 | 24" WIDE STOP BAR, TRAFFIC WHITE PAINT |
| 3 | ACCESSIBLE PARKING SIGN |
| 4 | ACCESSIBLE PARKING SYMBOL |
| 5 | ACCESSIBLE RAMP WITH DETECTABLE WARNING |
| 6 | ACCESSIBLE PARKING SPACES & THEIR ACCESS AISLES SHALL BE 2% MAX. SLOPE IN ALL DIRECTIONS |
| 7 | PAINT 4" WIDE STRIPES @ 2'-0" O.C. @ 45° ANGLE, TRAFFIC YELLOW PAINT |
| 8 | CURB AND GUTTER |
| 9 | BEGIN/END PROPOSED CURB AND GUTTER. SAWCUT EXISTING CURB TO PROVIDE CLEAN CONSTRUCTION JOINT. |
| 10 | CONCRETE TRANSFORMER PAD |
| 11 | DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS) |
| 12 | BICYCLE RACK |
| 13 | CROSSWALK, PAINT 12~4" WIDE STRIPES AT 2' O.C. CENTERED ON ENTRY, TRAFFIC WHITE PAINT |
| 14 | "DO NOT ENTER" SIGN |
| 15 | "NO PARKING" SIGN |
| 16 | CONCRETE BOLLARDS |
| 17 | CONCRETE WALK |
| 18 | MONUMENT SIGNS (SEE ARCHITECTURAL PLANS) |
| 19 | CROSSWALK PAVERS |
| 20 | OUTDOOR SEATING AREA |
| 21 | LEFT TURN ONLY SIGN |
| 22 | CLEARANCE BAR |
| 23 | ORDER BOARD |
| 24 | MENU BOARD |
| 25 | DECORATIVE CROSSWALK PAVERS |
| 26 | PROPOSED ENTRY FEATURE (SEE ARCHITECTURAL PLANS) |
| 27 | 6-INCH WIDE CONCRETE RIBBON SEPARATING THE PERMEABLE PAVERS FROM THE ASPHALT PAVEMENT |
| 28 | PERMEABLE PAVER SIGN (SEE DETAILS SHEET C604) |
| 29 | BRICK PAVER SIDEWALK |
| 30 | CORTEN STEEL BOX BX_C 481824 PLANTER. SEE SHEET C501 FOR DETAIL |
| 31 | RECONSTRUCT CONCRETE BARRIER MEDIAN, 6" TALL |
| 32 | RESURFACE EXISTING CONCRETE PAVEMENT |
| 33 | RELOCATE "DO NOT ENTER" & "NO LEFT TURN" SIGN |
| 34 | KEEP EXISTING "STOP" & "NO LEFT TURN" SIGN. ADD "RIGHT TURN ONLY" SIGNAGE. |
| 35 | CORTEN STEEL BOX BX_C 722436 PLANTER. SEE SHEET C501 FOR DETAIL |
| 36 | CORTEN STEEL BOX BX_C 721824 PLANTER. SEE SHEET C501 FOR DETAIL |

SITE LEGEND

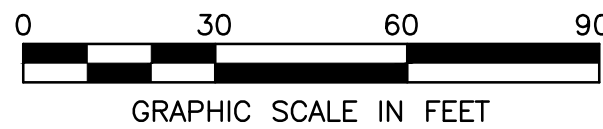
- | | |
|--|--|
| | INDICATES LIGHT DUTY PAVEMENT--SEE DETAILS FOR PAVEMENT COMPOSITION |
| | INDICATES HEAVY DUTY PAVEMENT--SEE DETAILS FOR PAVEMENT COMPOSITION |
| | INDICATES NEW CONCRETE PAVEMENT/SIDEWALK--SEE DETAILS FOR PAVEMENT COMPOSITION |
| | INDICATES BRICK PAVERS PAVEMENT (SEE SHEET C300 FOR BMP AREAS) |
| | STAMPED COLORED CONCRETE |
| | LIGHT POLES |
| | EXISTING CURB AND GUTTER |
| | PROPOSED STANDARD CURB AND GUTTER |
| | PROPOSED REVERSE PITCHED CURB AND GUTTER |
| | PROPERTY BOUNDARY |
| | SHARED PARKING WITH PARCEL D (3 SPACES) |
| | MONUMENT SIGN |

BENCHMARK (a):

THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORN) NETWORK. IRON PIPE IN CONCRETE FOUND - SEE DRAWING FOR LOCATION.

ELEVATION = 706.60'

THE EXISTING CONDITIONS SHOWN ARE BASED UPON A SURVEY PREPARED BY WOOLPERT AND DATED 05/31/19.



PROJECT No:	DATE	REVISION
079572	02/16/21	REVISED PER VILLAGE REVIEW
10/02/19	01/22/21	REVISED PER CLIENT COORDINATION
JC	01/06/21	VILLAGE FINAL ENGINEERING SUBMITTAL
MG	01/04/21	REVISED 151ST ENTRANCE MEDIAN
JG	12/18/20	REVISED 151ST ENTRANCE MEDIAN
CKD	11/16/20	ADDED MEDIAN

1815 South Meyers Road
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Oakbrook Terrace, IL 60181
630.424.9080
FAX: 630.495.3731

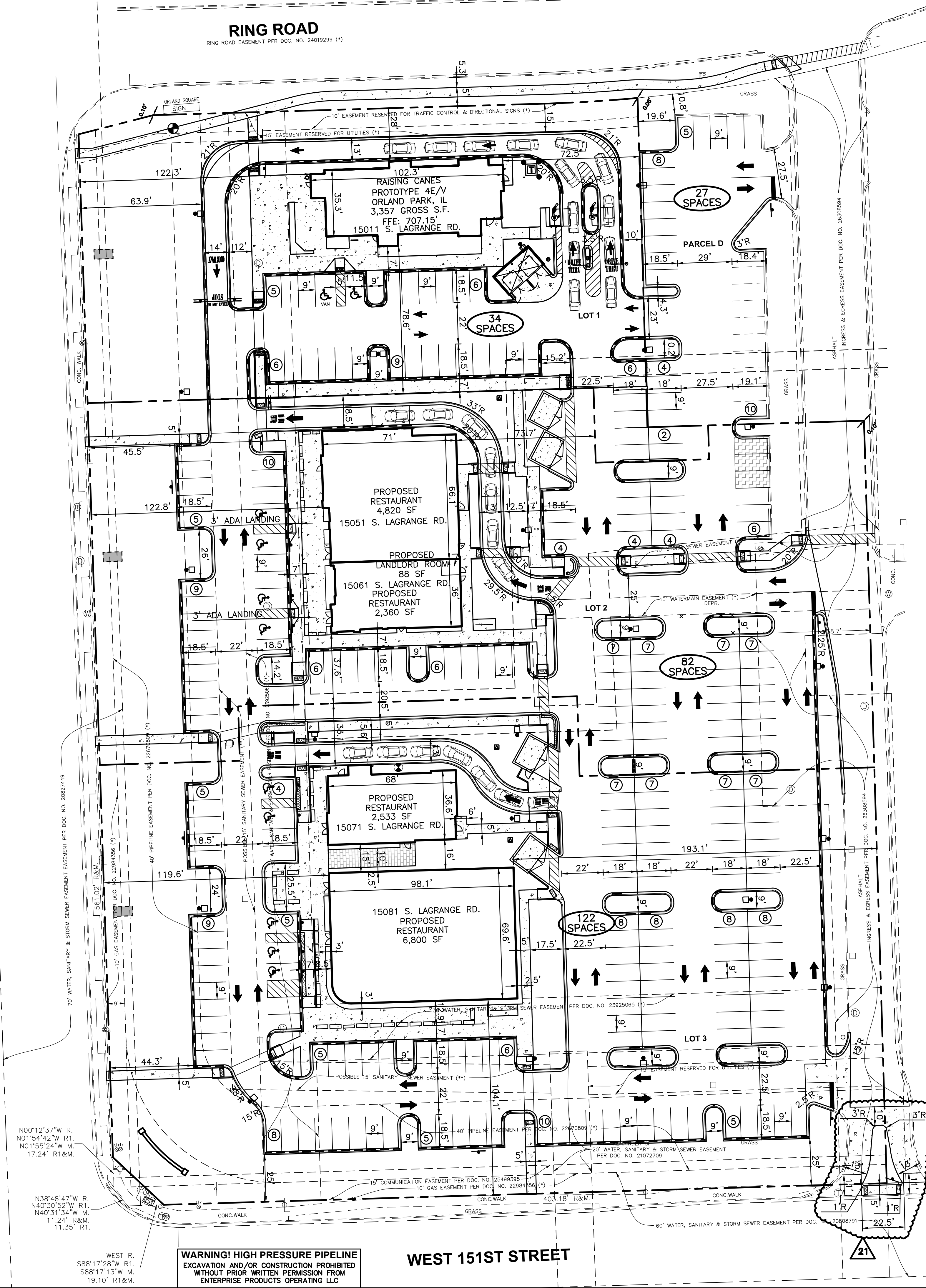
SITE IMPROVEMENT PLANS
LAGRANGE SQUARE
45 ORLAND SQUARE DRIVE
ORLAND PARK, COOK COUNTY, IL 60462

SITE PLAN

SHEET NO.

C200

SOUTH LAGRANGE ROAD (U.S. ROUTE 45)



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ENTERPRISE PRODUCTS OPERATING LLC

WEST 151ST STREET

COMBINED SITE DATA

SITE DATA:		
ZONING	COR	
LOT AREA	4.99	ACRES
	217,547	SQ. FT.
TOTAL LANDSCAPE AREA	65,793	SQ. FT.
BMP AREA COUNTING AS PERVIOUS (40% OF TOTAL BMP AREA)	4,395	SQ. FT.
BMP AREA COUNTING AS IMPERVIOUS (60% OF TOTAL BMP AREA)	6,592	SQ. FT.
TOTAL PERVIOUS AREA	70,188	SQ. FT.
TOTAL IMPERVIOUS AREA	147,359	SQ. FT.
PERVIOUS LOT COVERAGE	32.26%	
IMPERVIOUS LOT COVERAGE	67.74%	
BUILDING DATA:		
TOTAL BUILDING AREA	19,958	SQ. FT.
F.A.R.	0.092	
PARKING DATA:		
	REQUIRED	PROPOSED
LOT 1	34	34
LOT 2	73	82
LOT 3	93	122
TOTAL	200	238

LOT 1 SITE DATA

SITE DATA: 15011 SOUTH LAGRANGE ROAD		
ZONING	COR	
LOT AREA	1.07	ACRES
	46,623	SQ. FT.
LANDSCAPE AREA	17,872	SQ. FT.
GREEN SPACE LOT COVERAGE	38.3%	
PERMEABLE PAVEMENT STORAGE AREA	0	SQ. FT.
PERVIOUS LOT COVERAGE	78.3%	
IMPERVIOUS LOT COVERAGE	61.7%	
BUILDING DATA:		
RESTAURANT BUILDING AREA	3,357	SQ. FT.
F.A.R.	0.076	
PARKING DATA:		
PARKING SPACES REQUIRED	3,357 SF (10/1000 SF) =	34
PARKING SPACES PROVIDED	34	
BICYCLE SPACES REQUIRED	4	
BICYCLE SPACES PROVIDED	5	
STACKING REQUIRED	7	
STACKING PROVIDED	13	
BUILDING SETBACK DATA:		
LAGRANGE ROAD REQUIRED	25'	
LAGRANGE ROAD PROVIDED	122.3'	
RING ROAD (PRIVATE) REQUIRED	10'	
RING ROAD (PRIVATE) PROVIDED	28'	
SIDE REQUIRED	15'	
SIDE PROVIDED	78.6'	
REAR REQUIRED	30'	
REAR PROVIDED	72.5'	

LOT 3 SITE DATA

SITE DATA: 15071 & 15081 SOUTH LAGRANGE ROAD		
ZONING	COR	
LOT AREA	2.274	ACRES
	99,064	SQ. FT.
LANDSCAPE AREA	30,632	SQ. FT.
GREEN SPACE LOT COVERAGE	30.9%	
BMP AREA COUNTING AS PERVIOUS (40% OF TOTAL BMP AREA)	2,610	SQ. FT.
BMP AREA COUNTING AS IMPERVIOUS (60% OF TOTAL BMP AREA)	3,914	SQ. FT.
PERVIOUS LOT COVERAGE	33.6%	
IMPERVIOUS LOT COVERAGE	66.4%	
BUILDING DATA:		
RESTAURANT BUILDING AREA	9,333	SQ. FT.
F.A.R.	0.094	
PARKING DATA:		
PARKING SPACES REQUIRED	9,333 SF (10/1000 SF) =	93
PARKING SPACES PROVIDED	122	
BICYCLE SPACES REQUIRED	11	
BICYCLE SPACES PROVIDED	11	
BUILDING SETBACK DATA:		
LAGRANGE ROAD REQUIRED	25'	
LAGRANGE ROAD PROVIDED	119.6'	
151st STREET REQUIRED	25'	
151st STREET PROVIDED	104.1'	
SIDE REQUIRED	15'	
SIDE PROVIDED	33.1'	
REAR REQUIRED	30'	
REAR PROVIDED	193.1'	

LOT 2 SITE DATA

SITE DATA: 15051 & 15061 SOUTH LAGRANGE ROAD		
ZONING	COR	
LOT AREA	1.650	ACRES
	71,860	SQ. FT.
LANDSCAPE AREA	17,289	SQ. FT.
GREEN SPACE LOT COVERAGE	24.1%	
BMP AREA COUNTING AS PERVIOUS (40% OF TOTAL BMP AREA)	1,785	SQ. FT.
BMP AREA COUNTING AS IMPERVIOUS (60% OF TOTAL BMP AREA)	2,678	SQ. FT.
PERVIOUS LOT COVERAGE	26.5%	
IMPERVIOUS LOT COVERAGE	73.5%	
BUILDING DATA:		
RESTAURANT BUILDING AREA	7,180	SQ. FT.
LANDLORD ROOM AREA	88	SQ. FT.
TOTAL BUILDING AREA	7,268	SQ. FT.
F.A.R.	0.101	
PARKING DATA:		
PARKING SPACES REQUIRED	7,268 SF (10/1000 SF) =	73
PARKING SPACES PROVIDED	82	
BICYCLE SPACES REQUIRED	8	
BICYCLE SPACES PROVIDED	10	
STACKING REQUIRED	7	
STACKING PROVIDED	7	
BUILDING SETBACK DATA:		
LAGRANGE ROAD REQUIRED	25'	
LAGRANGE ROAD PROVIDED	122.8'	
SIDE REQUIRED	15'	
SIDE PROVIDED (NORTH)	18.5'	
SIDE PROVIDED (SOUTH)	37.6'	
REAR REQUIRED	30'	
REAR PROVIDED	73.7'	

SITE LEGEND

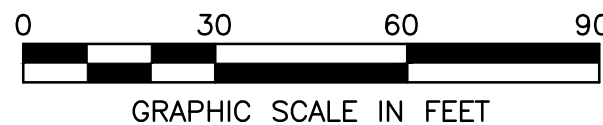
- LIGHT POLES
- EXISTING CURB AND GUTTER
- PROPOSED STANDARD CURB AND GUTTER
- PROPOSED REVERSE PITCHED CURB AND GUTTER
- INDICATES ROW PARKING COUNT
- INDICATES PARKING TOTAL FOR SURROUNDING AREA
- PROPERTY BOUNDARY
- SHARED PARKING WITH PARCEL D (3 SPACES)
- MONUMENT SIGN

BENCHMARK (a):

THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORs) NETWORK. IRON PIPE IN CONCRETE FOUND - SEE DRAWING FOR LOCATION.

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SITE IMPROVEMENT PLANS
LAGRANGE SQUARE

45 ORLAND SQUARE DRIVE
ORLAND PARK, COOK COUNTY, IL 60462

SITE DATA PLAN

SHEET NO.

C201



PROJECT No:	DATE	REVISION
079572	01/04/21	REVISED 151ST ENTRANCE MEDIAN
	12/18/20	REVISED 151ST ENTRANCE MEDIAN
	10/30/20	REVISED PER VILLAGE COMMENTS
	10/14/20	REVISED PER VILLAGE COMMENTS
	09/18/20	ISSUED FOR PERMIT
	09/11/20	FOR PUD REVIEW

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