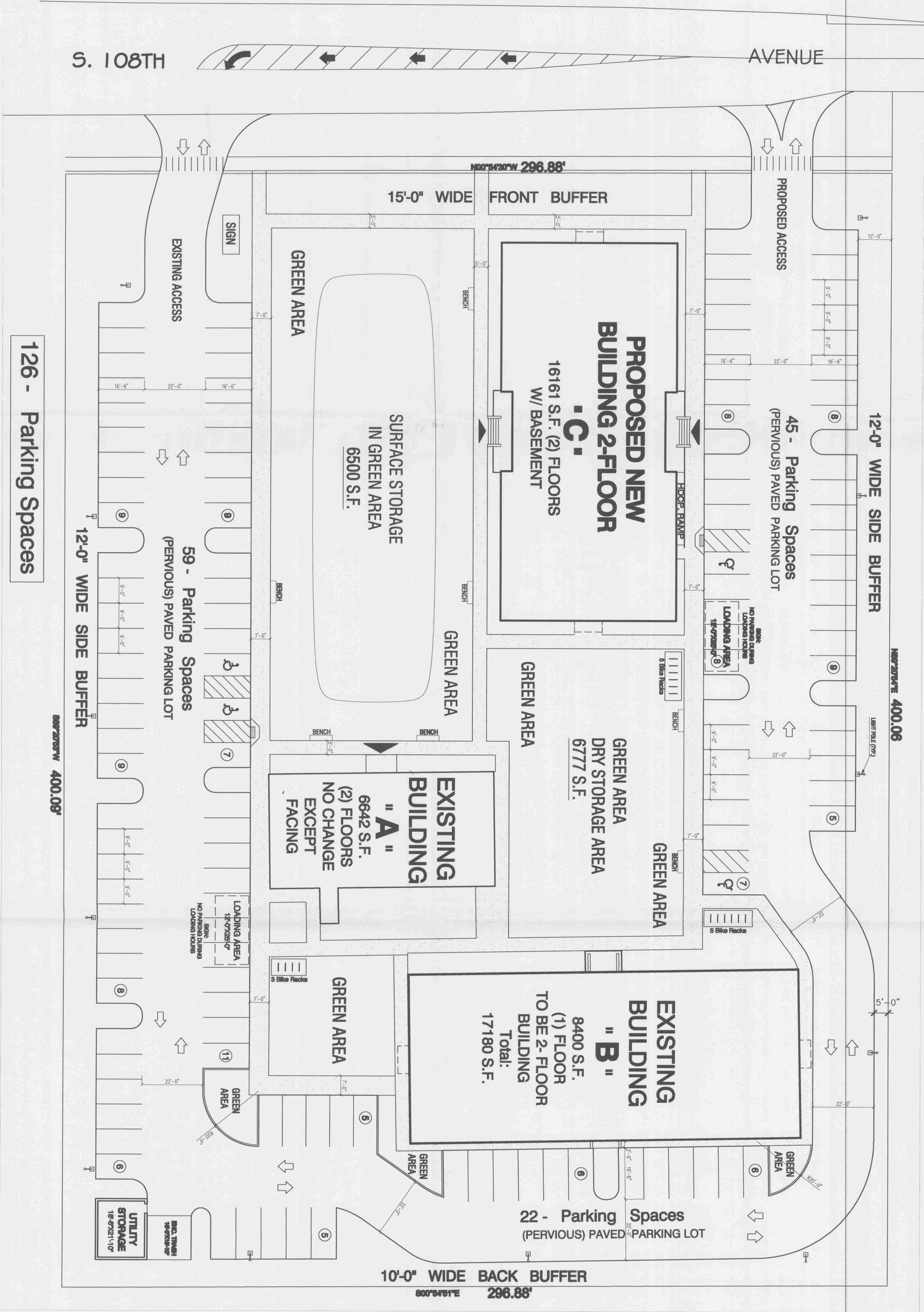


PROPOSED SITE PLAN

PROJECT ADDRESS: 16555 S. 108TH AVENUE, ORLAND PARK, IL. 60467



PROPOSED SITE PLAN

SCALE 1:20

126 - Parking Spaces

Bicycle Parking:
Section 6-306
3 Bicycle Parking Spaces for the first 30 Parking Auto. Spaces
1 Additional Bicycle Parking Space for each 10 Parking Auto. Spaces
Required Bicycle Parking Spaces: 13

NOTE: PRIOR TO CONSTRUCTION EROSION CONTROL MEASURES TO BE INSTALLED INCLUDING BUT NOT LIMITED TO, SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND INLET PROTECTION.

ZONING & PLANNING DATA LOT COVERAGE CALCULATIONS:

ZONING:

Section 6-211.

ODI Mixed Use District

Land Development for ODI zone

A. Purpose (ODI): To provide locations for a wide range of employment- generating OFFICE.

B. Permitted Uses:

C. Special Uses:

Code Actual

D. Floor Area Ratio:

E. Lot Area -Office (Min. 10,1000 sq.ft.) with 80 ft. Width

F. Building Setbacks (East of Wolf Road):

Side does not abut a street :

31'-6" North (Existing Building -B)
51'-8" East (Existing Building -B)
73'-7" South (Existing Building -A)

G. Lot Coverage:

H. Height:

Lot Coverage Calculation:

Lot Area : 118772.8 S.F. 2.726 Acre

Building Area :

Vehicle Area:

Sidewalks :

Surface Storage Area:

Trash Rem. Area :

Utility Rem. Area :

Total Area for the above: 84469 S.F. (1)

75% of 118772.8 is: 89079.6 S.F. (2)

Conclusion:

Lot Coverage:

Landscape Area:



120 W. Madison Street, # 702B
Chicago, IL 60602
Tel: 312-404-0466 Fax: 312-332-0809
www.nafearchitects.com

OFFICE BUILDINGS

PROPOSED SITE PLAN

A-105