

WEST SECTION OF FRONT ELEVATION VIEW



EAST SECTION OF FRONT ELEVATION VIEW



OVERALL VIEW



WMK.20 LLC

ARCHITECTURE, DESIGN  
BUILDING CONSULTANTS



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WATERFALL PLAZA

PROJECT ADDRESS: 8752 W 159th St  
Orland Park, IL 60462

DRAWING DATE: 05-02-2024

REVISIONS

WK

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R1: 03/05/2025

R2: 05/30/2025

R3: 08/04/2025

AT

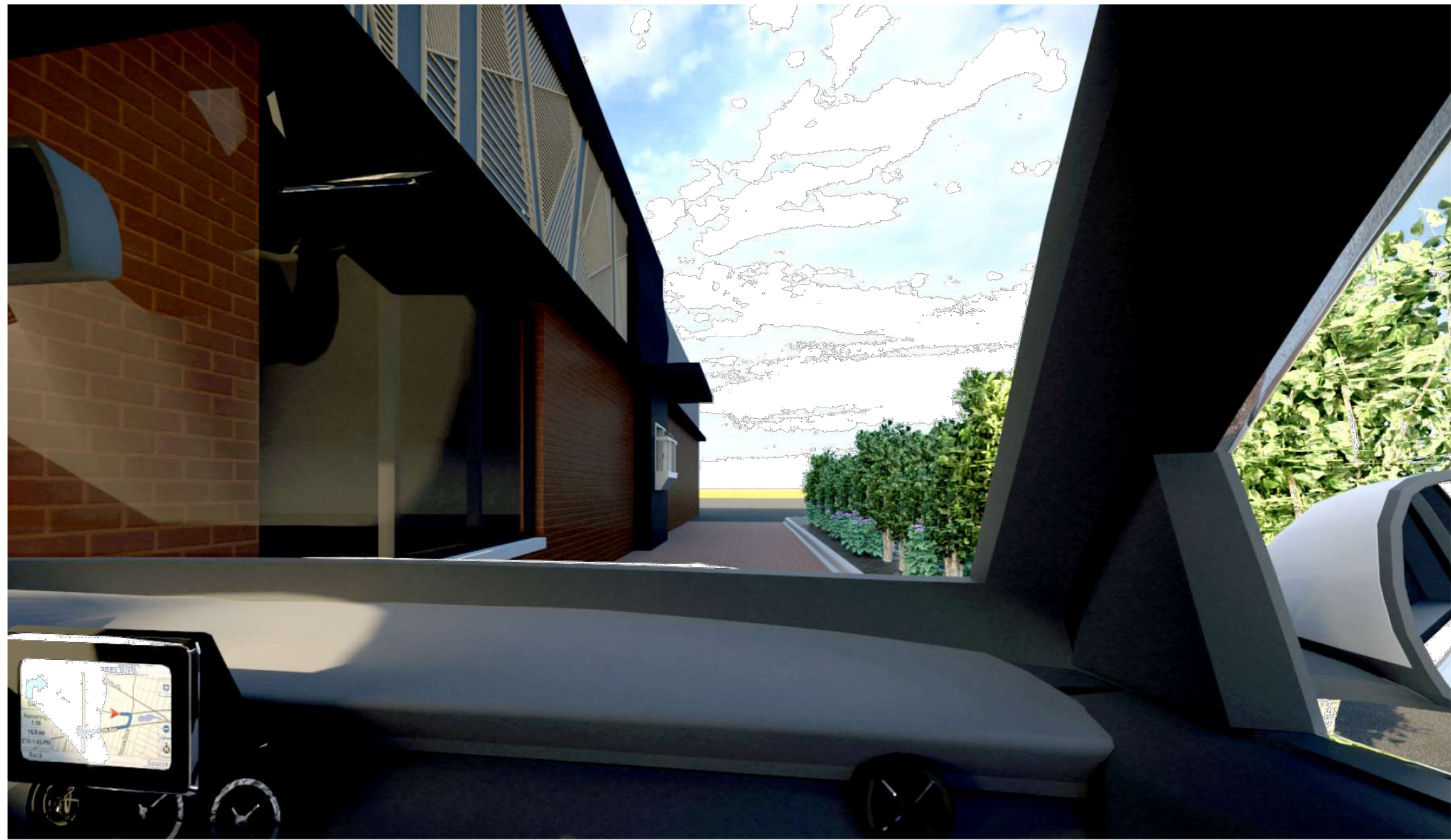
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WEST CORNER @ PATIO VIEW



APPROACHING DRIVE-THRU WINDOW VIEW



EAST SIDE OF PATIO VIEW

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# WATERFALL PLAZA

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- SHEET R1.1: RENDERING
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## SITE DATA

**ZONING DISTRICT:** BIZ

**ZONING USE:** GENERAL BUSINESS DISTRICT

**TYPE OF CONSTRUCTION:** II-B EXISTING (EXISTING; NOT IN CONTRACT)

**LOT AREA:** 1.98 ACRES = ±86,249 SQFT

**EXISTING BUILDING AREA (MULTI-TENANT 1 STORY BUILDING):** REFER TO PARKING BREAKDOWN

**BUILDING SETBACKS:** EXISTING. NO CHANGE

**NOTE: REFER/ COORDINATE WITH CIVIL & LANDSCAPE PLANS (BY OTHERS)**

REQUIRED PARKING SCHEDULE				
UNIT #	BUSINESS TYPE	AREA (SQFT)	PARKING RATIO	REQUIRED PARKING STALL
1	CHA CHA POPCORN	675 SQFT	1 PER 100	7
2	VACANT	2,250 SQFT	1 PER 250	9
3-4	DOORS & MILLWORK	1,400 SQFT	1 PER 250	6
5	VACANT	1,000 SQFT	1 PER 250	4
6-8	UNIVERSAL DENTAL	3,000 SQFT	1 PER 200	15
9	GRAVITY SALON	1,340 SQFT	1 PER 200	7
10	PREVAIL JIUJUTSU	3,150 SQFT	1 PER 200	16
11	VACANT	3,973 SQFT	1 PER 250	16
12	MIRAJ COFFEE	2,480 SQFT	1 PER 100	25 + 7 STACKING SPACES
<b>SUMMARY</b>				
PARKING REQUIRED =		105		
PARKING PROPOSED =		95	90.48% OF REQUIRED PARKING WITHIN 20% THRESHOLD	
BICYCLE PARKING REQUIRED =		1 PER 10 PARKING STALLS = 11 REQUIRED		
BICYCLE PARKING PROVIDED =		12 PROPOSED - REFER TO SITE PLAN		

## LOT COVERAGE (PROPOSED)

	PROPOSED	REQUIREMENT
- LOT AREA:	86,305 SQFT	
-- PAVED AREA (IMPERVIOUS, INCLUDING BUILDINGS)	54,125SQFT (62.71%)	64,729 (75% MAX.)
-- PERVIOUS AREA	16,151 SQFT (18.71%)	17,261 SQFT (20% REQUIRED)
--- PERVIOUS PAVERS (40% OF TOTAL CONSIDERED PERVIOUS)	19,235 SQFT	±7,694 SQFT CONSIDERED PERVIOUS

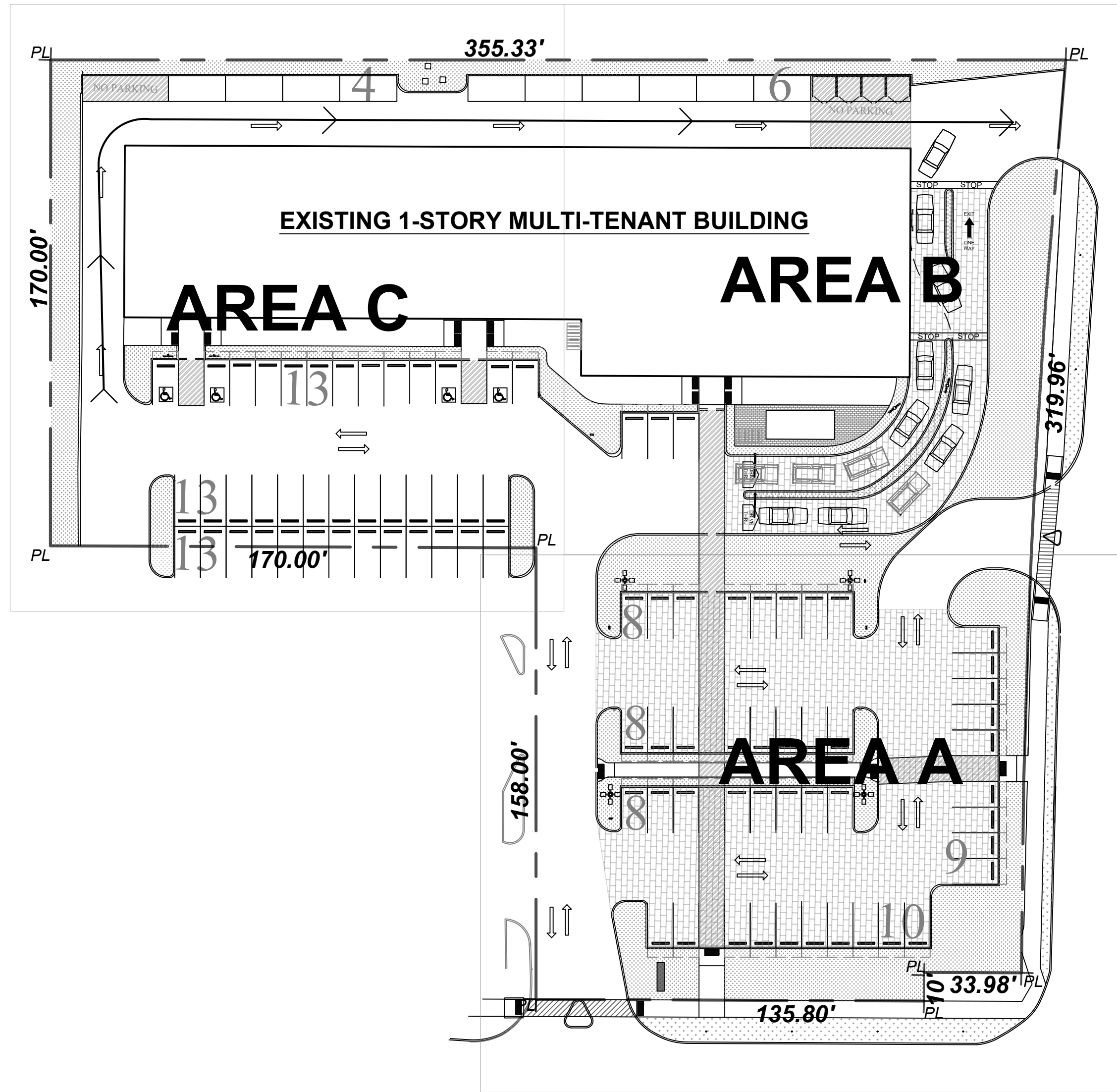
**PERVIOUS AREA (16,151 SQFT) + PERVIOUS PAVERS (7,694 SQFT) = 23,845 SQFT (REQUIRED PERVIOUS AREA MET)**

**27.63%**

Lot Coverage. No more than 75% of the area of the parcel may be covered with building, pavement and storm water storage, leaving at least 25% of total parcel area in green space. (See Section 2-102 Definitions "Green Space"). Impervious coverage will be allowed up to 80% when Best Management Practices (BMP) such as porous pavements and green roofs are used. Up to 40% of the BMPs will be considered pervious, provided that the design standards outlined in the code for BMPs are met. [Ord. 4574, 7-6-2010]



3 SITE LOCATION  
Scale: N.T.S.



1 PROPOSED SITE PLAN (PLAN KEY)

1/32" = 1'-0"



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**SP1.0**



PLAN KEY

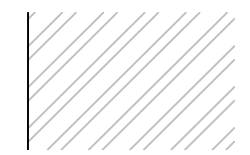


PERVIOUS AREA



PERMEABLE PAVERS

ASPHALT



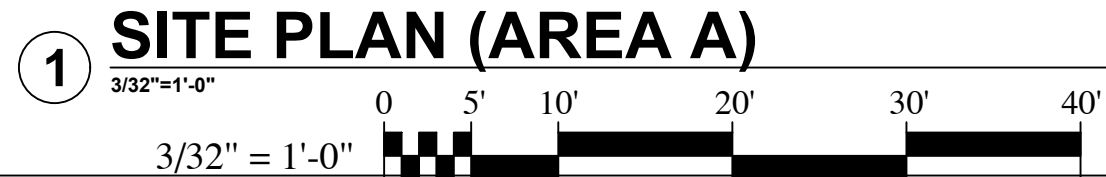
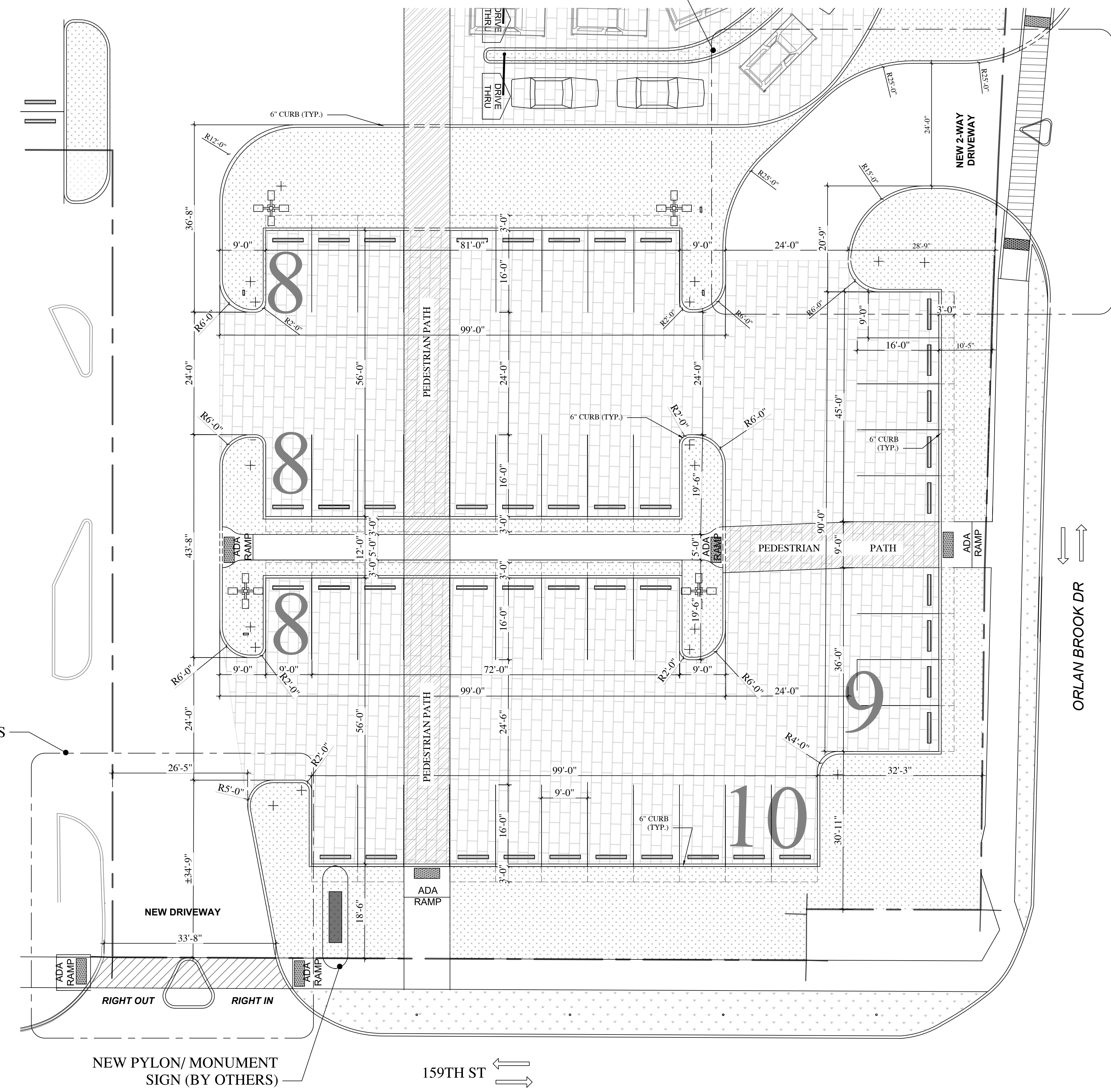
STRIPED CROSSWALK



CONCRETE

PER CIVIL DRAWINGS

PER CIVIL DRAWINGS



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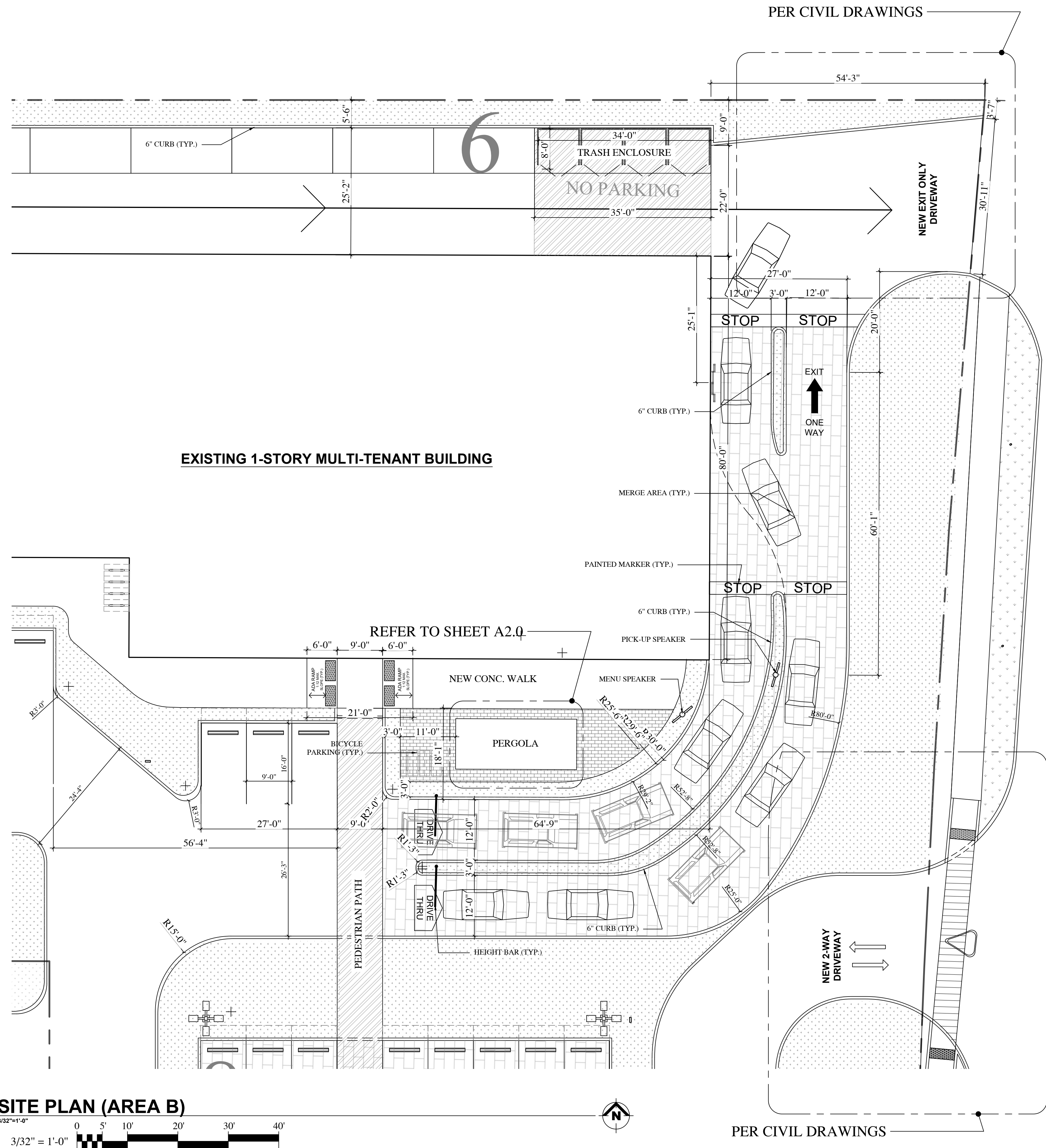
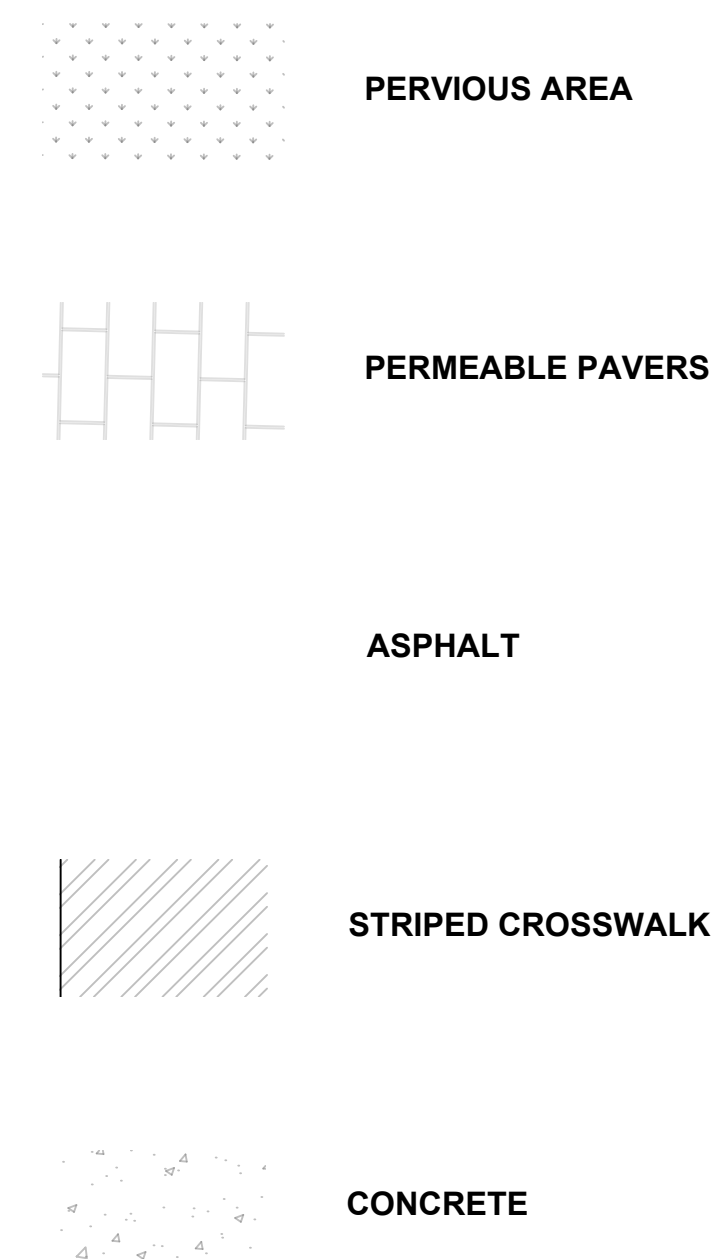
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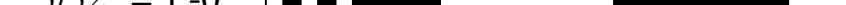


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PER CIVIL DRAWINGS

PER CIVIL DRAWINGS

ORLAN BROOK DR



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SP1.2 SCALE IF PLOT

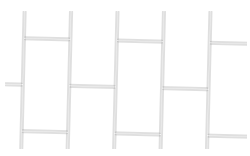
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PLAN KEY



PERVIOUS AREA



PERMEABLE PAVERS

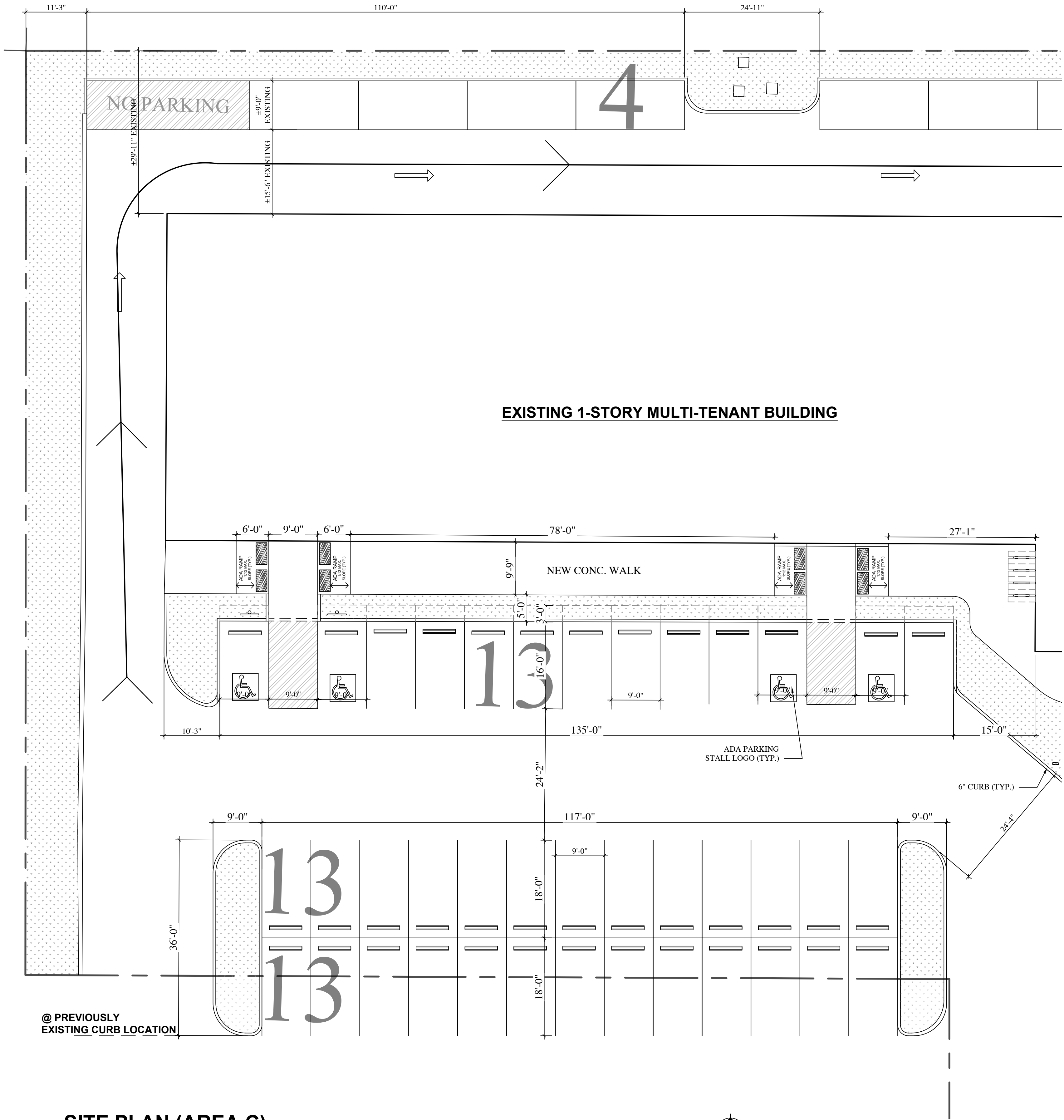
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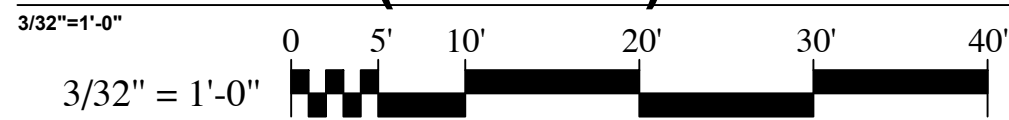
STRIPED CROSSWALK



CONCRETE



1 SITE PLAN (AREA C)



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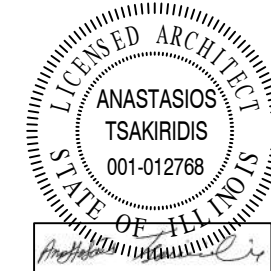


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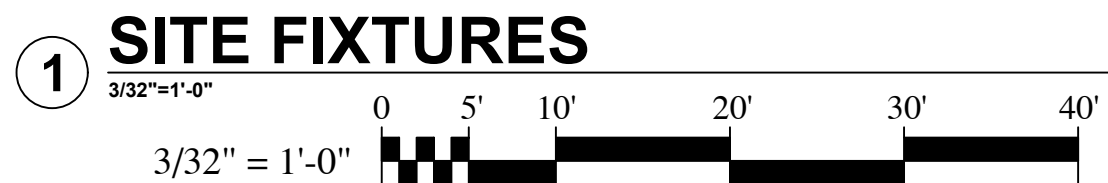
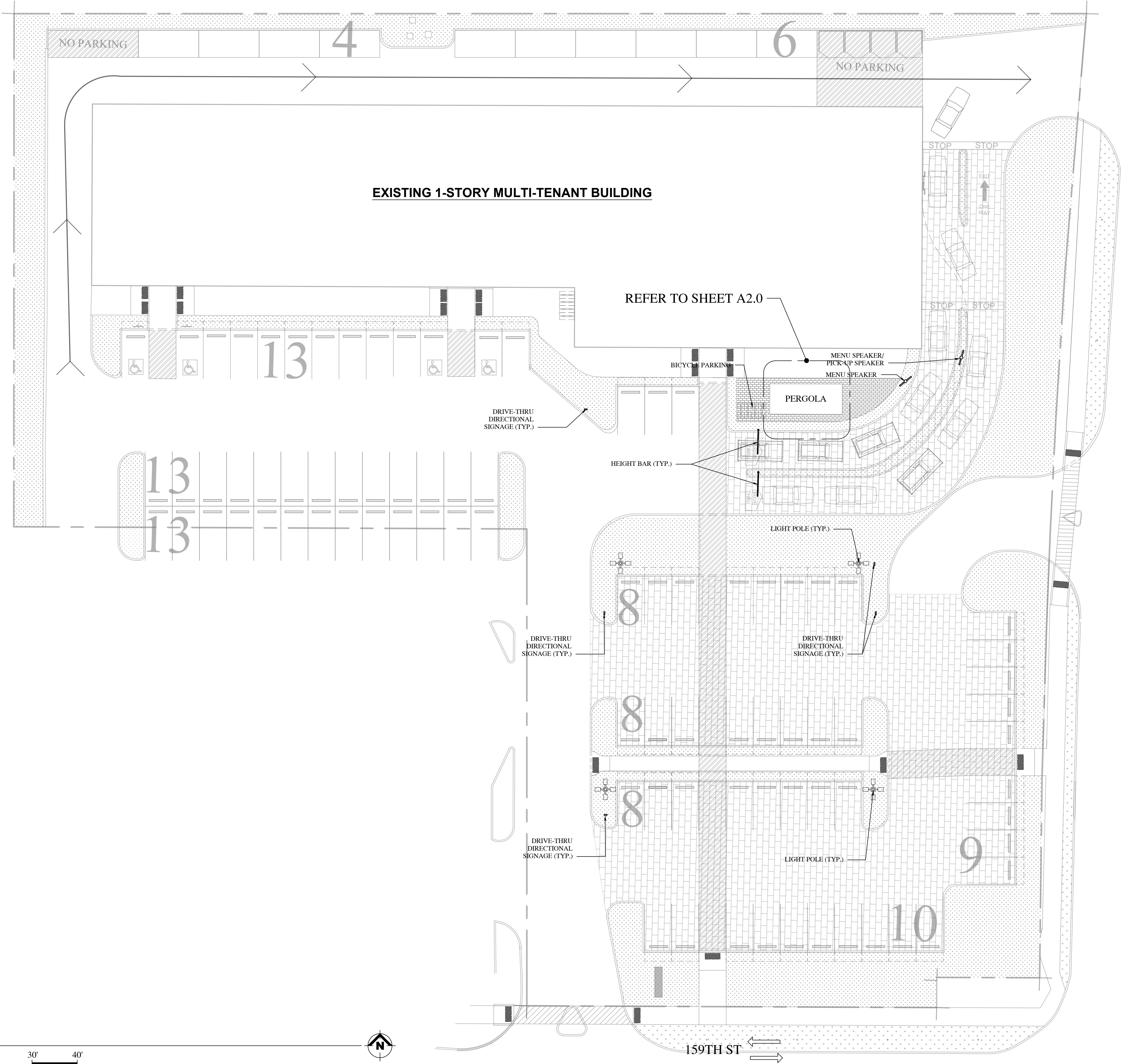


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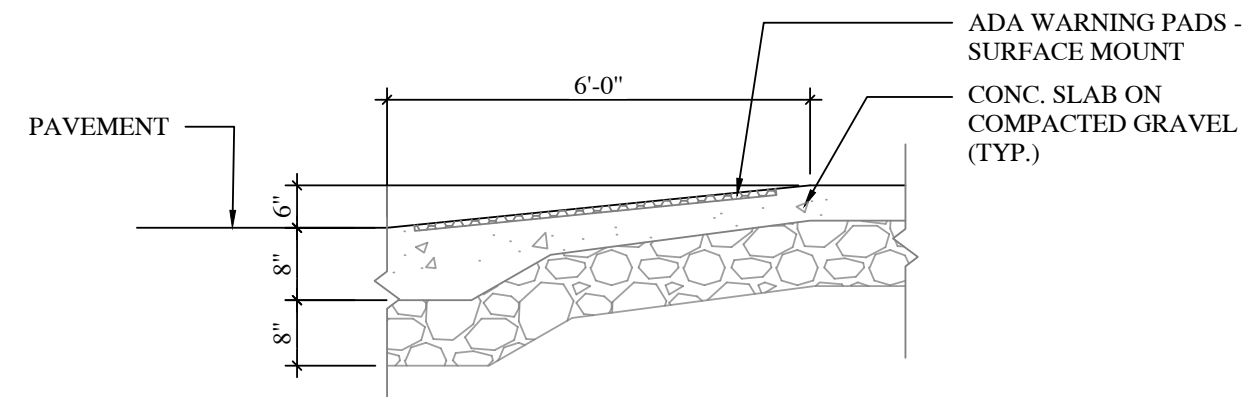
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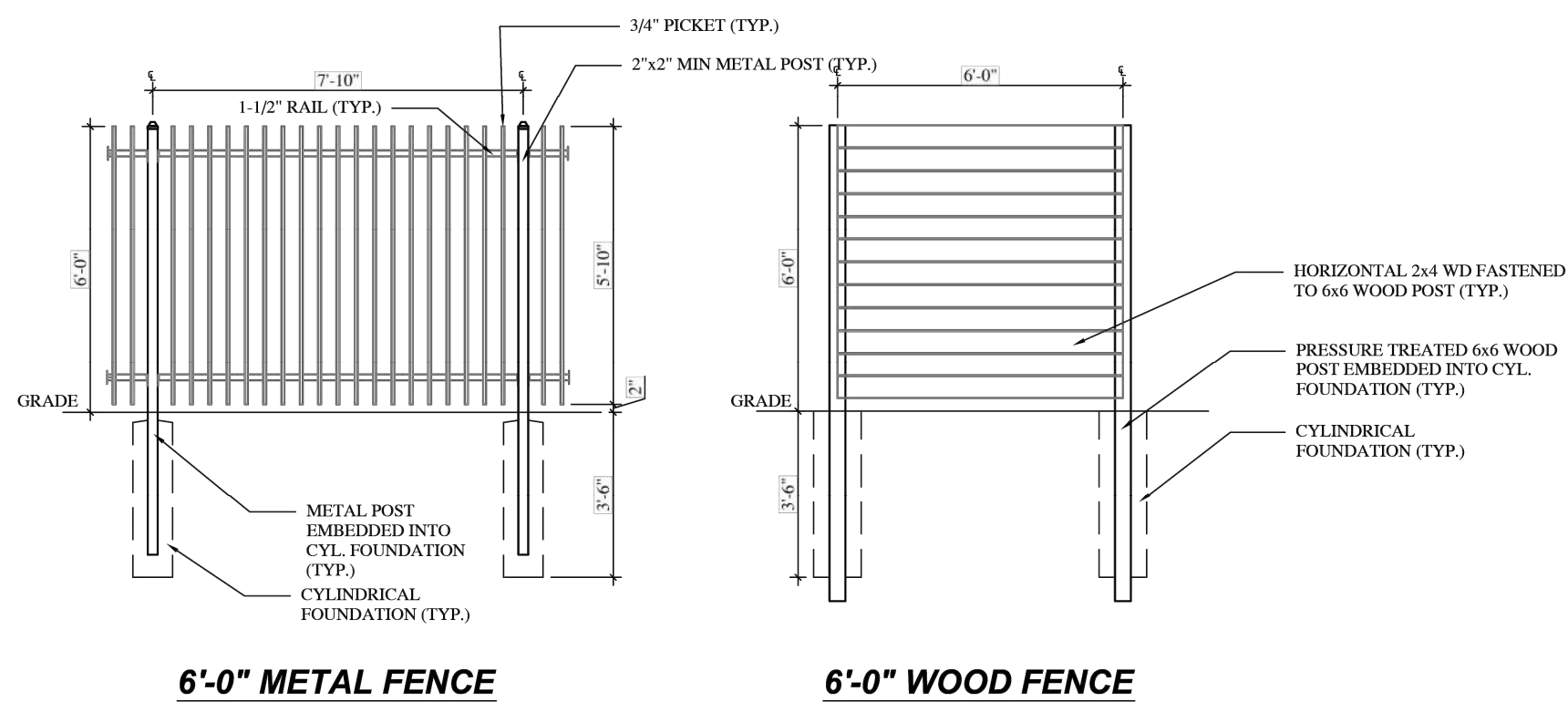
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SP1.4





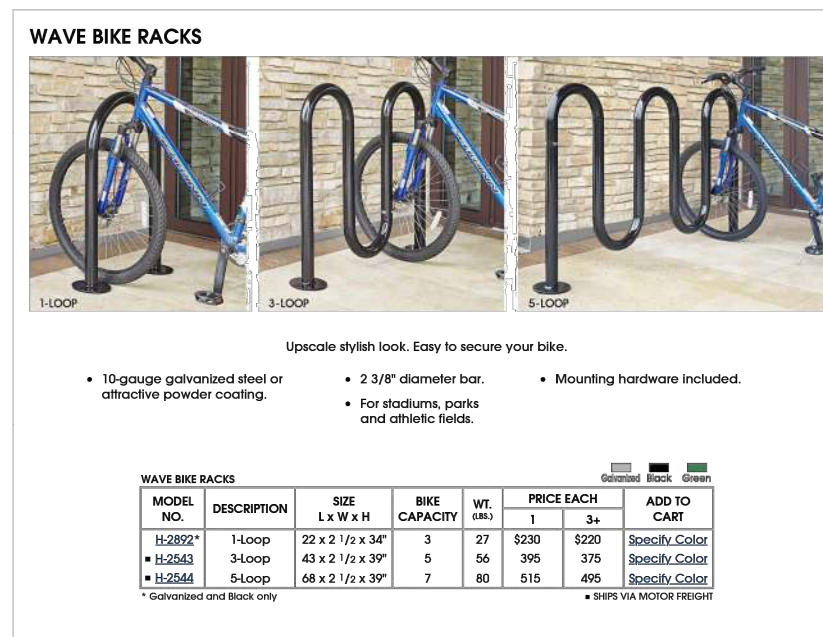
9 TYP. ADA RAMP DETAIL  
N.T.S.



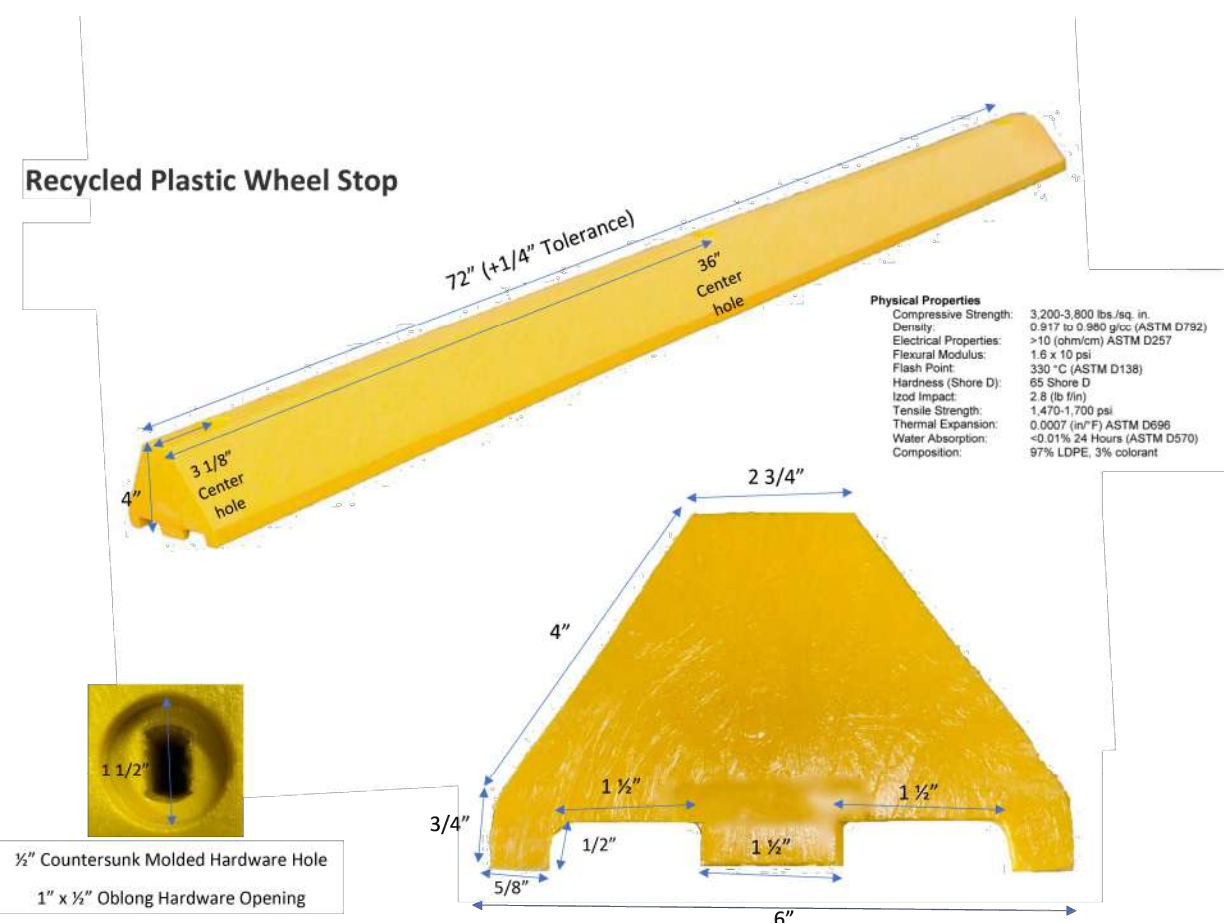
8 FENCE ELEVATION  
N.T.S.



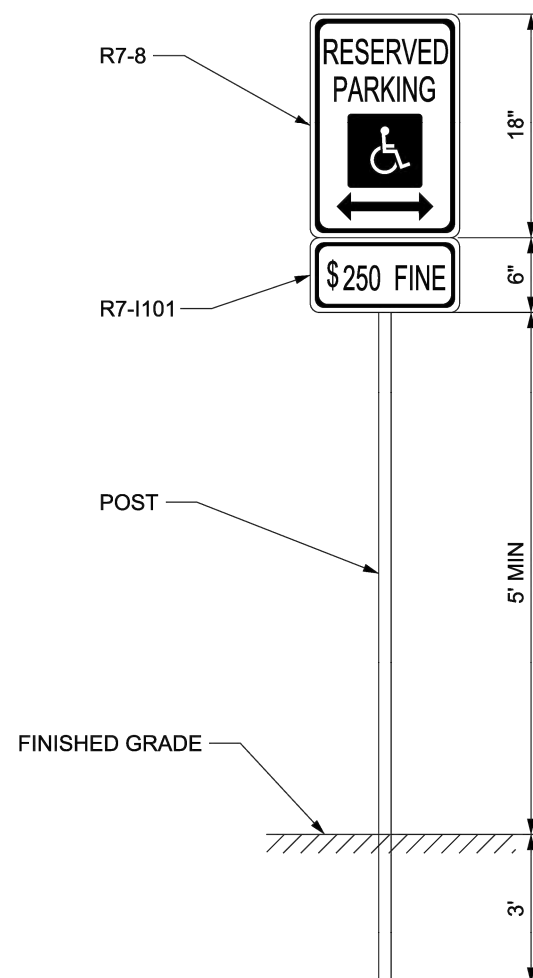
7 DIRECTIONAL SIGNAGE  
N.T.S.



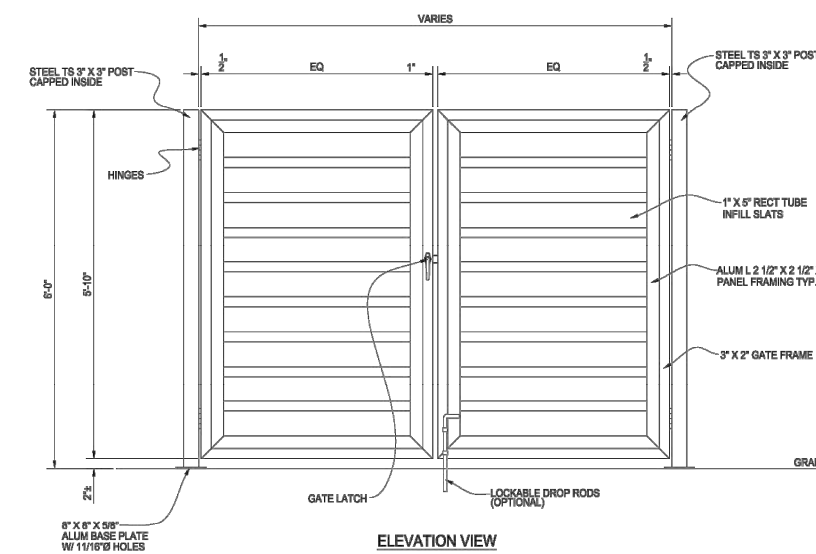
6 BICYCLE SECURE RACK  
N.T.S.



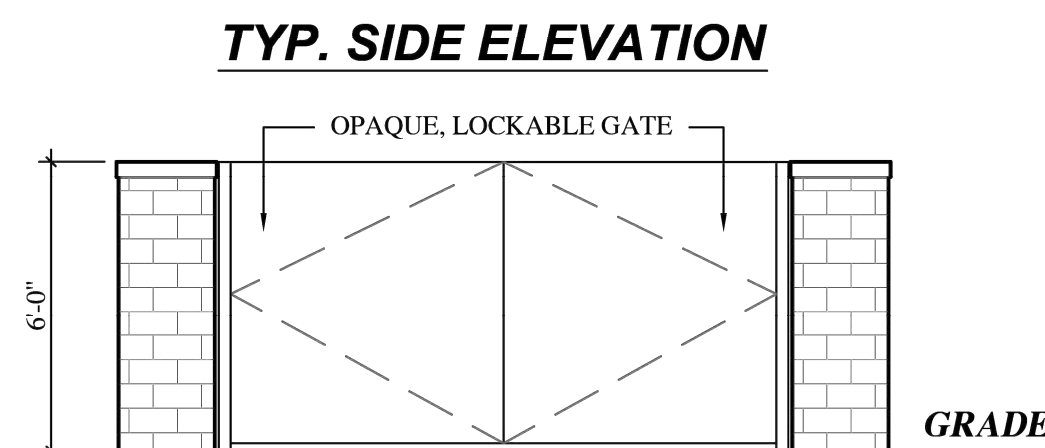
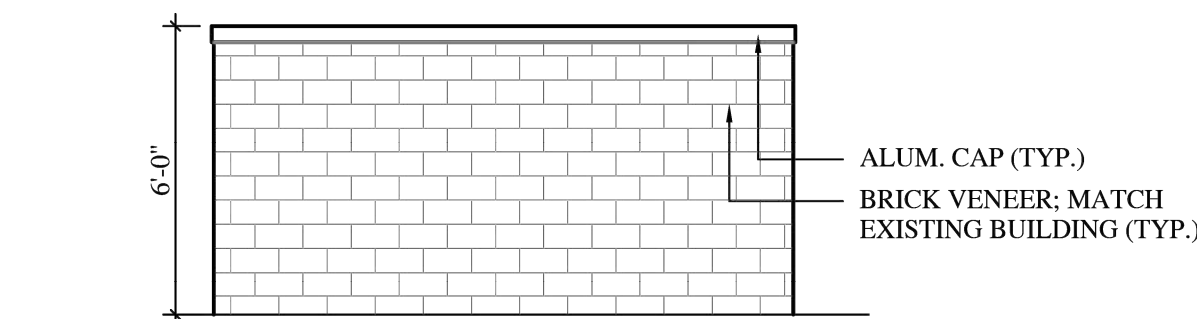
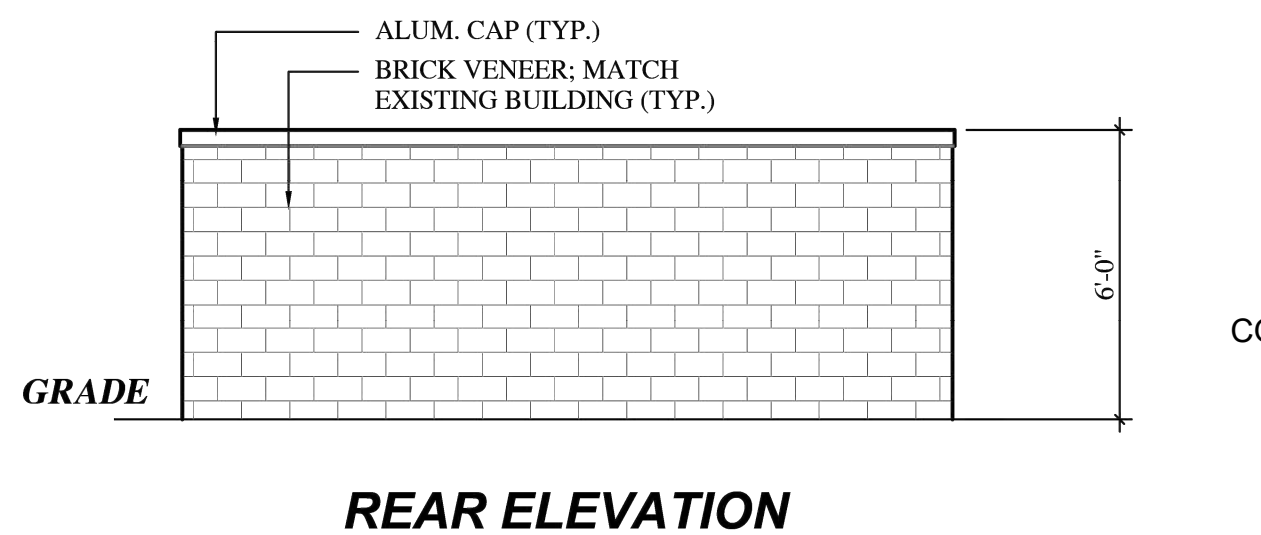
3 CONCRETE WHEEL STOP  
N.T.S.



5 TYP. ADA PARKING SIGN  
N.T.S.

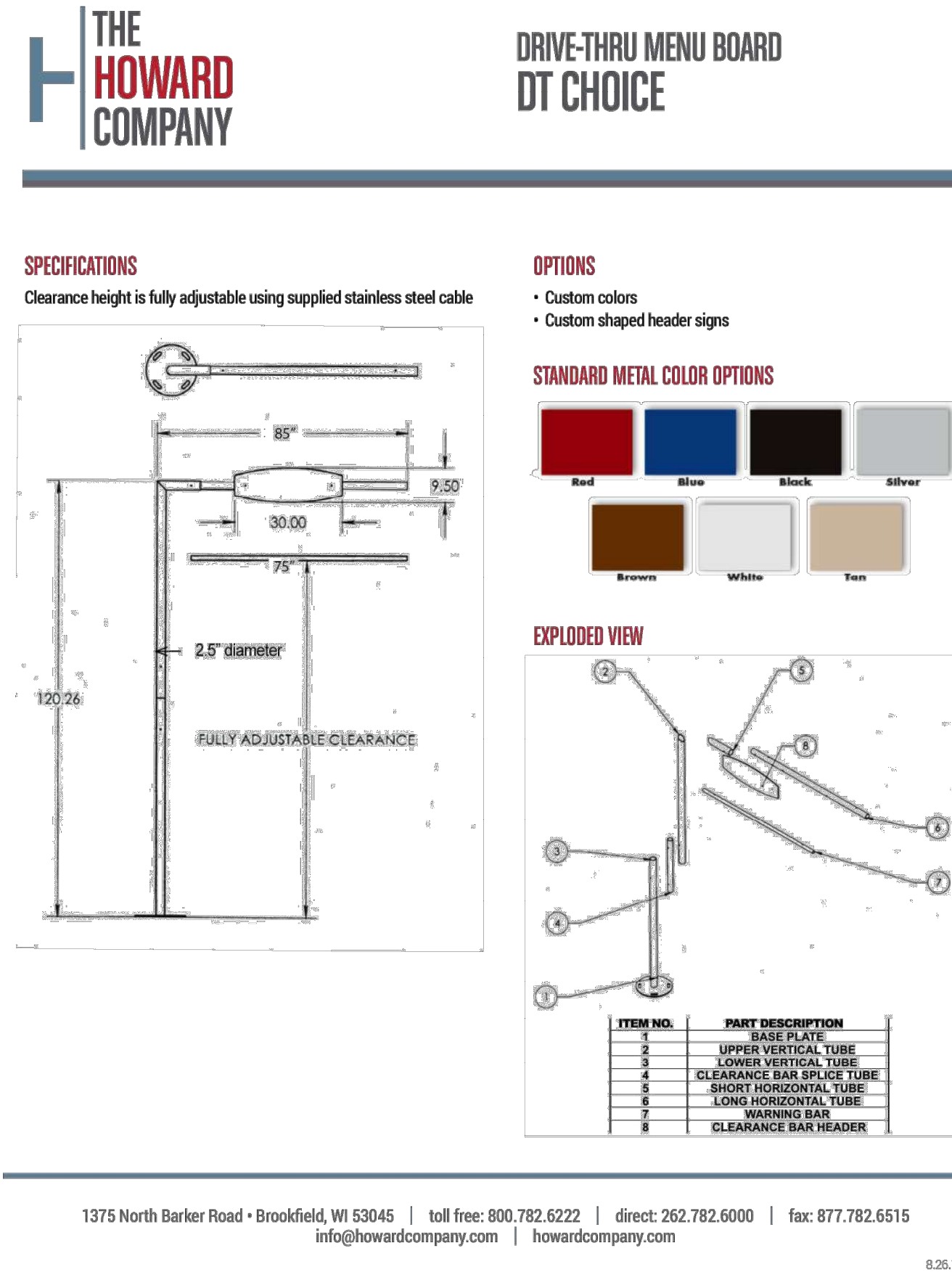


2.1 TASH ENCLOSURE GATE SPEC.  
N.T.S.

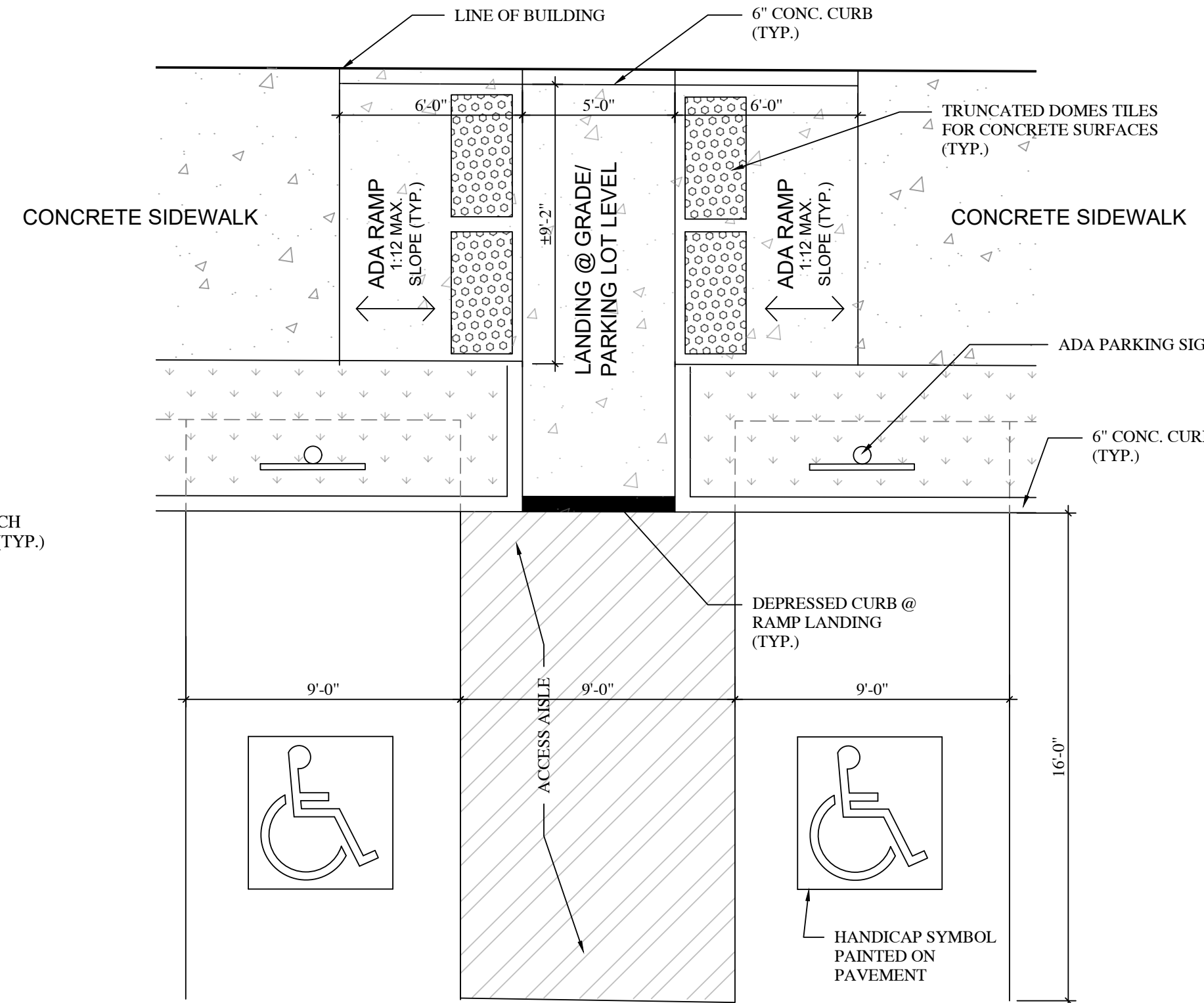


FRONT ELEVATION

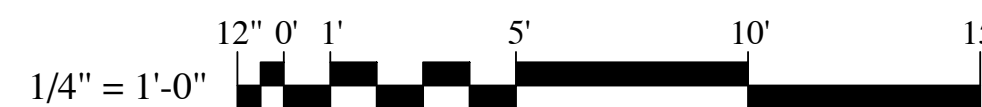
2 TRASH ENCLOSURE  
N.T.S.



4 HEIGHT CLEARANCE BAR @ DRIVE-THRU ENTRANCE  
N.T.S.



1 TYP. ADA PARKING STALL & RAMP PLAN  
1/4"=1'-0"



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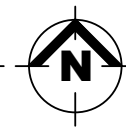
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SOUTH ELEVATION  
(PARTIAL 2)

SOUTH ELEVATION  
(PARTIAL 1)

1 ELEVATION KEY  
N.T.S.

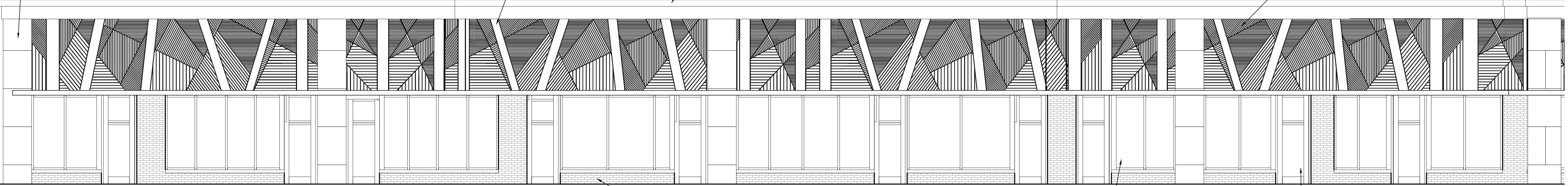


FLAT LOCK METAL PANEL;  
REFER TO SPECIFICATION SHEET  
(TYP.)

GRAY STUCCO EXTERIOR FINISH  
(TYP.)

FLAT LOCK METAL PANEL;  
REFER TO SPECIFICATION SHEET  
(TYP.)

DECORATIVE ELEMENT; OR  
EQUAL (BY OTHERS)

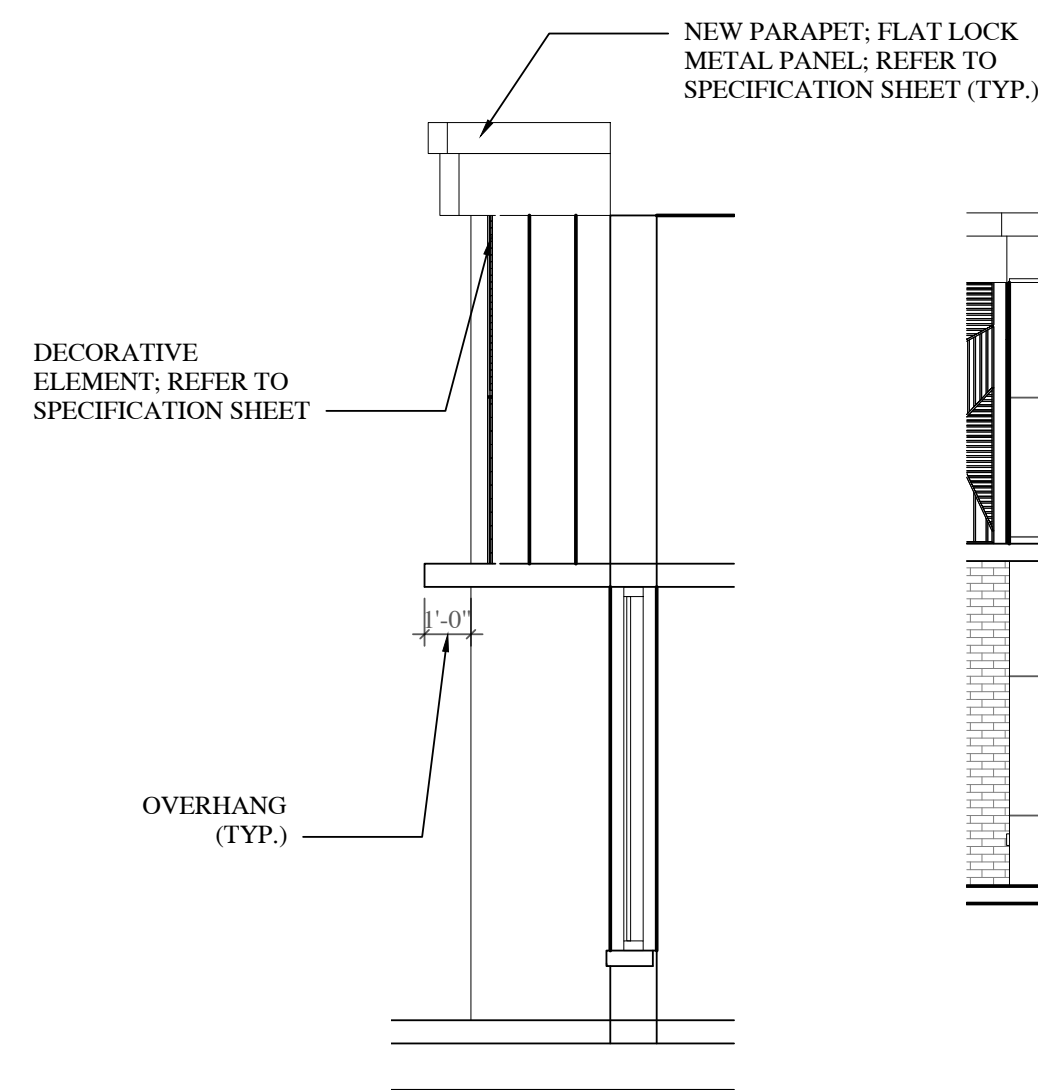


2 SOUTH ELEVATION (PARTIAL 2)  
3/16"=1'-0"

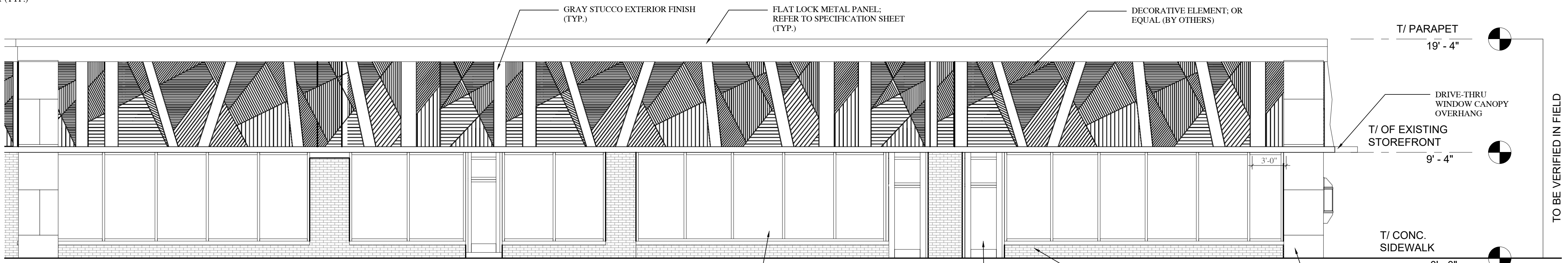
3/16" = 1'-0"

EXISTING MASONRY (TYP.)

EXISTING STOREFRONT GLAZING  
SYSTEM W/ DOORS; COORDINATE W/  
OWNER IF REPLACEMENT IS REQUESTED



1 SCHEMATIC SECTION  
N.T.S.



GRAY STUCCO EXTERIOR FINISH  
(TYP.)

FLAT LOCK METAL PANEL;  
REFER TO SPECIFICATION SHEET  
(TYP.)

DECORATIVE ELEMENT; OR  
EQUAL (BY OTHERS)

T/ PARAPET  
19' - 4"

DRIVE-THRU  
WINDOW CANOPY  
OVERHANG

T/ OF EXISTING  
STOREFRONT  
9' - 4"

T/ CONC.  
SIDEWALK  
0' - 0"

EXISTING STOREFRONT GLAZING  
SYSTEM W/ DOORS; COORDINATE W/  
OWNER IF REPLACEMENT IS REQUESTED

EXISTING MASONRY (TYP.)

FLAT LOCK METAL PANEL;  
REFER TO SPECIFICATION SHEET  
(TYP.)

TO BE VERIFIED IN FIELD

1 SOUTH ELEVATION (PARTIAL 1)  
3/16"=1'-0"

3/16" = 1'-0"

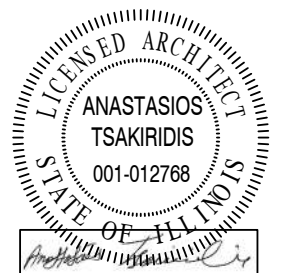
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