

# DETAILED GRADING PLAN

LOT 17 (EXCEPT THE SOUTH 50 FEET THEREOF) AND LOT 26 (EXCEPT THE SOUTH 50 FEET THEREOF) IN RANEYS ADDITION TO ORLAND, BEING A SUBDIVISION OF THE NORTH 50 RODS OF THE EAST 32 RODS OF THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

### LEGEND

<b>EXISTING</b>	<b>PROPOSED</b>
--- SANITARY SEWER	--- SANITARY SEWER
--- STORM SEWER	--- STORM SEWER
□ CATCH BASIN	○ OPEN LID MANHOLE
○ CLOSED LID MANHOLE	● INLET
W WATER MAIN	⊕ VALVE
⊕ HYDRANT	⊕ HEADWALL
⊕ FLARED END	⊕ STREET LIGHT
⊕ UTILITY POLE	⊕ B-BOX
⊕ RETAINING WALL	⊕ SILT FENCE
⊕ SILT FENCE	⊕ CONTOUR
⊕ 100-YEAR OVERFLOW PATH	⊕ STORM STRUCTURE W/ INLET PROTECTION
⊕ EX. TREE TO BE REMOVED	

### SILT FENCE PLAN

**NOTES:**  
 1. Place the end post of the silt fence inside the end post of the first fence.  
 2. Rotate each post at least 90 degrees in a clockwise direction to create a tight seal with the fabric material.  
 3. Drive each post a minimum of 30 inches into the ground and four feet.

### SILT FENCE PLAN

**ELEVATION**

**FABRIC ANCHOR DETAIL**

**NOTES:**  
 1. Temporary silt fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.  
 2. Fiber fabric shall meet the requirements of installed specification 500 Geotextile Table 1 or 2, Class, with equivalent opening size of 40 mesh (0.5 mm) and 50 lb weight.  
 3. Fence posts shall be either standard steel post or wood post with a minimum cross sectional area of 3.0 sq. in.

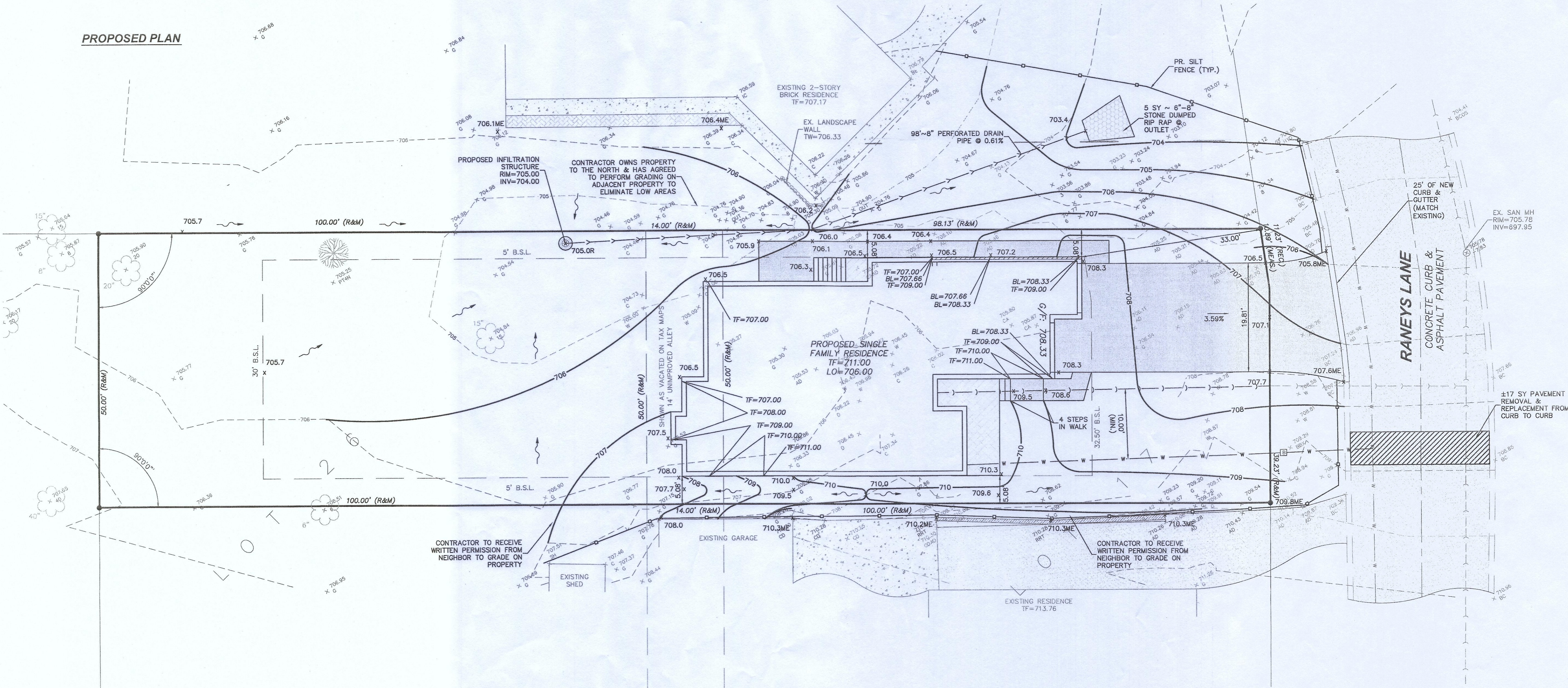
### TREE PROTECTION - FENCING

**SIDE VIEW**

**POST AND FENCE DETAIL**

**NOTES:**  
 1. The fence shall be located a minimum of 1 foot outside the drip line of the tree to be protected and in no case closer than 6 feet to the trunk of any tree.  
 2. Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in.  
 3. The fence shall be either 60" high vinyl fence, 40" plastic web fencing or any other material as approved by the engineering inspector.

**PROPOSED PLAN**



**NOTES:**

**WATER AND SEWER SERVICES**  
 WATER SERVICE TO BE 1 1/2" MIN. TYPE K COPPER MIN. DEPTH 5".

SANITARY SERVICE TO BE 6" ABS TRUSS PIPE (ABS) WHICH SHALL MEET OR EXCEED THE PERFORMANCE REQUIREMENTS OF ASTM D2751 FOR 6" DIA. SOLID WALL SDR 33.5 W/ A MIN. SLOPE OF 1%. THE CONTRACTOR SHALL LOCATE THE EX. SANITARY SERVICE IN THE PARKWAY AND CONNECT TO IT. IF NO SERVICE EXISTS, CONTRACTOR SHALL CONNECT TO EXISTING MAIN W/ WYE CONNECTION. A PAVEMENT PATCH SHALL BE REQUIRED FOR DISTURBED AREAS OF THE ROADWAY FROM CURB LINE TO CURB LINE.

SANITARY & WATER SERVICES ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

MIN. SEPARATION OF WATER AND SANITARY SERVICES 10"

**EROSION CONTROL**  
 TO BE APPLIED PER THE ILLINOIS URBAN MANUAL, LATEST EDITION

CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION TO DETERMINE IF ANY CONFLICTS EXIST, THE DESIGN ENGINEER MUST BE NOTIFIED PRIOR TO START OF CONSTRUCTION. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, CONTRACT, TITLE POLICY, ZONING ORDINANCE, ETC.

FOR UNDERGROUND UTILITY LOCATIONS AND PRIOR TO ANY CONSTRUCTION, CONTACT J.U.L.I.E., TOLL FREE 1-800-892-0123

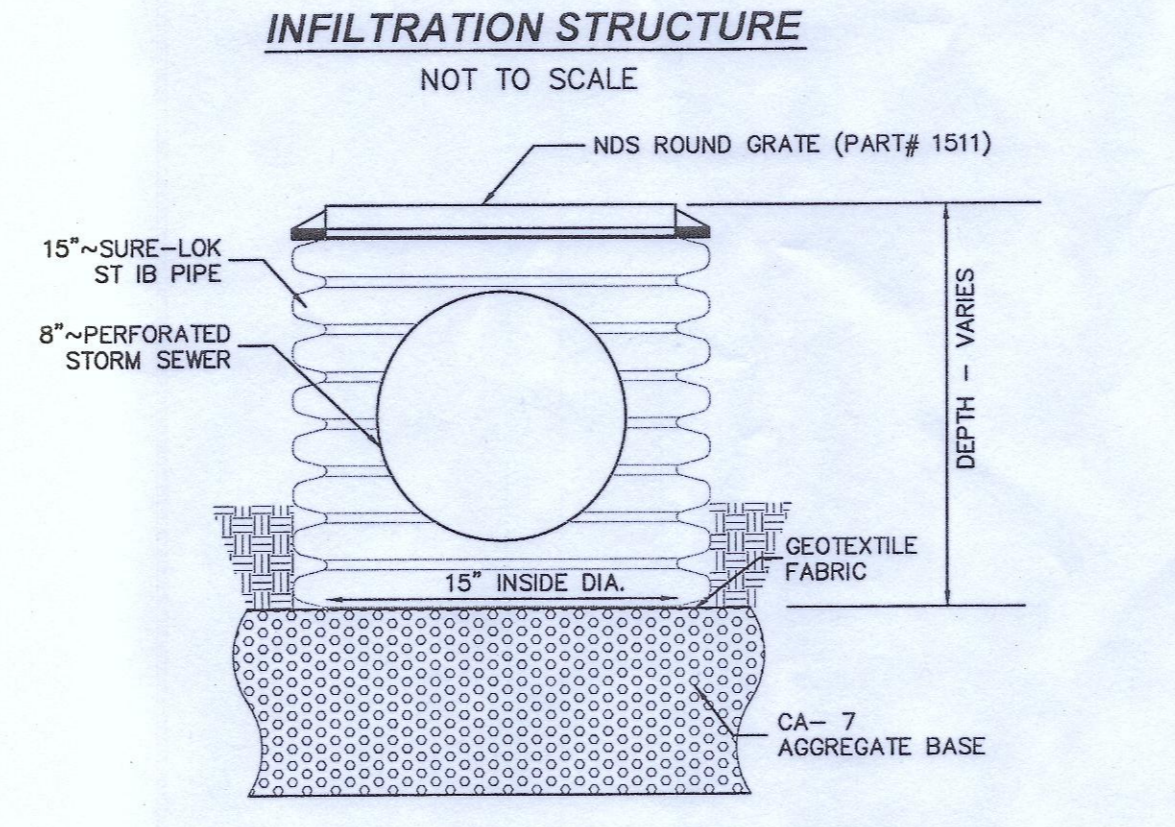
EXISTING TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY MORRISON SURVEYING, INC.

**BENCHMARKS:**  
 REFERENCE BENCHMARK NG5 MONUMENT A12773 ELEV=700.0 (NAVD88)

**SITE BENCHMARK**  
 RIM ON SANITARY MANHOLE LOCATED IN THE STREET AT THE EXTENSION OF THE NORTH PROPERTY LINE ELEV = 705.78 (NAVD88)

CURRENT ZONING: R-3

**OWNER:**  
 JOHN LANDERS  
 (708)302-5689



NOTE: CONTACT SCHROEDER MATERIAL INC. FOR ORDERING INFORMATION ON PARTS: (708) 448-1144

**GRAPHIC SCALE**  
 (IN FEET)  
 1 INCH = 10 FT

### LOT COVERAGE

TOTAL LOT AREA	= 10,680 SF
PRINCIPAL STRUCTURE	= 2,386 SF
DRIVEWAY AREA	= 725 SF
SIDEWALK AREA	= 351 SF
<b>% OF LOT COVERAGE</b>	<b>= 32.42%</b>

NOTE: MARTIN M. ENGINEERING, INC. MAKES NO REPRESENTATION AS TO ACCURACY OF DIMENSIONS SHOWN BELOW. FOR ACTUAL DIMENSIONS OF HOME, REFER TO FOUNDATION PLAN PREPARED BY OTHERS.

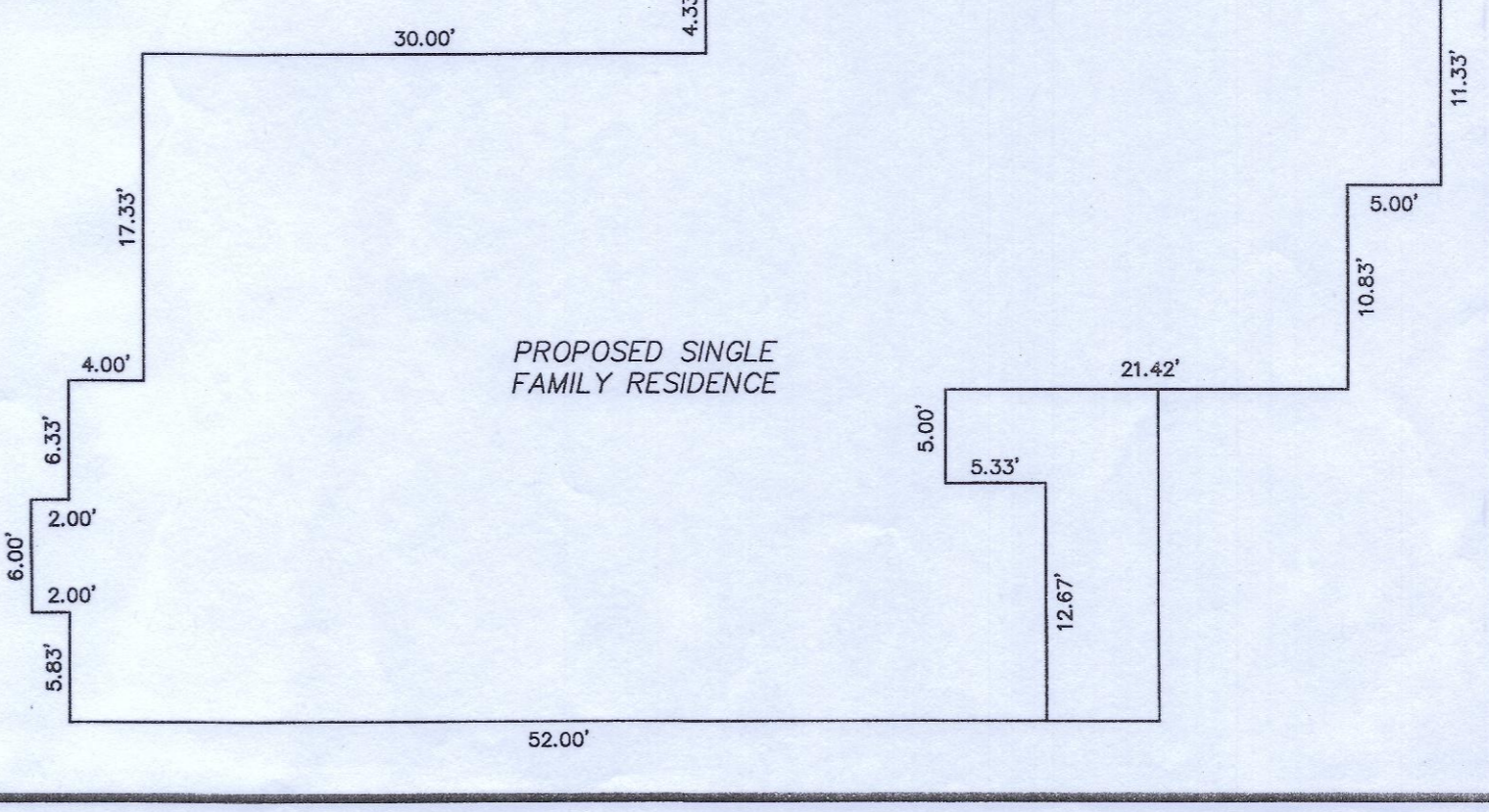
### ABBREVIATIONS:

XXX.XXTC	TOP OF CURB ELEVATION
XXX.XME	MATCH EXISTING ELEVATION
TF	TOP OF FOUNDATION
TW/BW	TOP/BOTTOM OF WALL
LO	LOOK OUT
F/WO	FORCED WALK OUT
(XXX.XX)	EXISTING SPOT GRADE
XXX.X	SPOT GRADE W/ FLOW DIRECTION

NOTE: ADD 700 TO ALL PROPOSED SPOT GRADES

### PAVEMENT LEGEND

	PROPOSED CONCRETE PAVEMENT		EXISTING BITUMINOUS PAVEMENT
	PROPOSED DECK/COVERED PORCH		EXISTING CONCRETE PAVEMENT
	EXISTING PAVERS		EXISTING PAVEMENT/STRUCTURE TO BE REMOVED



### ORLAND PARK GRADING PLAN

14334 RANEYS LANE  
 ORLAND PARK, ILLINOIS

**MARTIN M. Engineering, Inc.**  
 CONSULTING AND SITE DESIGN CIVIL ENGINEERS  
 20123 OAKWOOD DRIVE  
 MOKENA, ILLINOIS 60448  
 VOICE: (708) 995-1323  
 FAX: (708) 995-1384

DRAWN BY: BMM	CHECKED BY: BMM	
SCALE: 1"=10'	DATE: 05/20/15	
JOB NUMBER: 15-051	SHEET: 2 OF 2	
#	DATE	DESCRIPTION
1	06/02/15	PER CLIENT REVIEW
2	06/15/15	PER CLIENT REVIEW