Municipal Complex Landscape Improvements 14700/14750 Ravinia Avenue, Village of Orland Park, IL

Client:

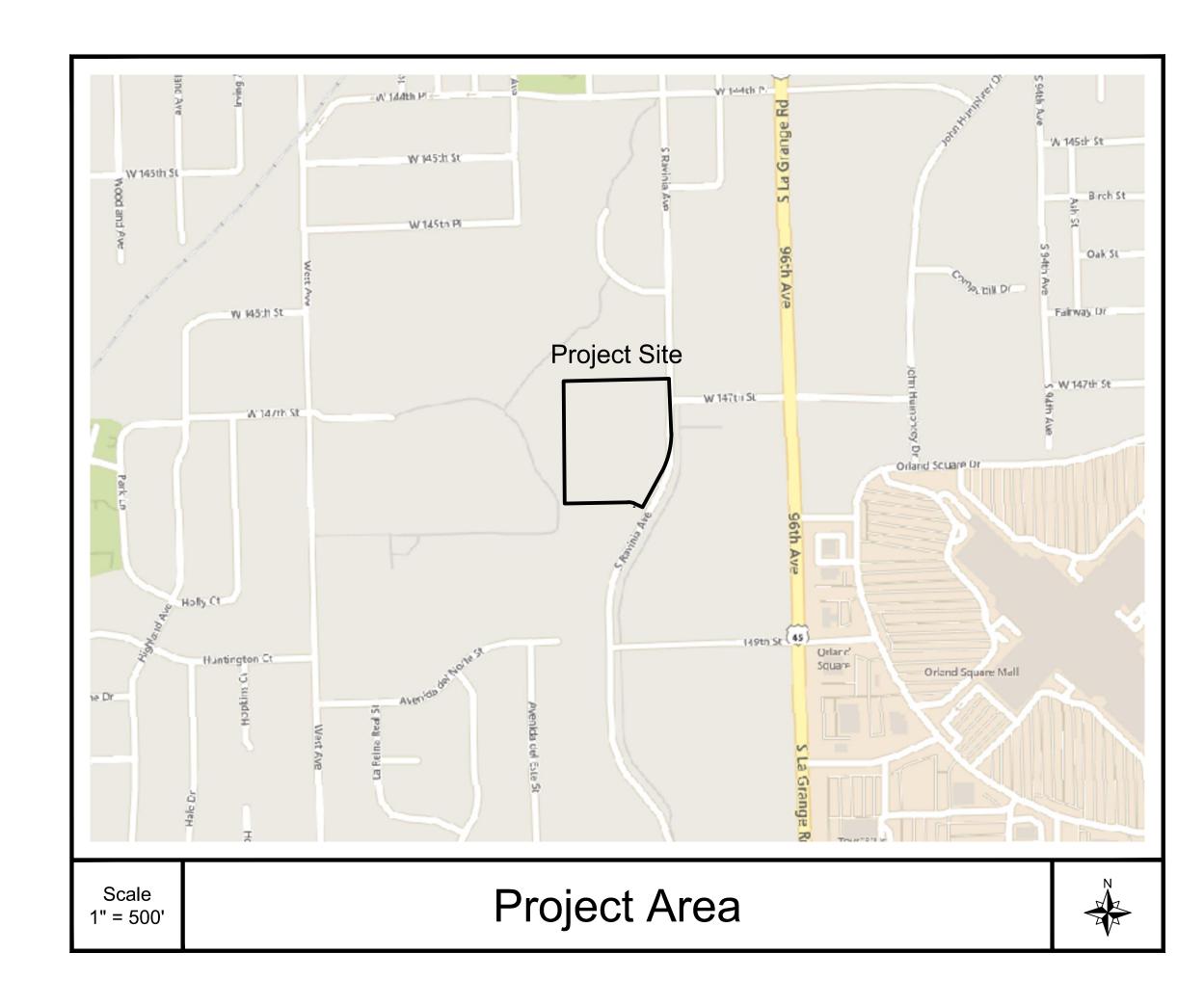
Village of Orland Park

Michael Mazza 14700 Ravinia Ave, Orland Park, IL 60462 Office: 708-403-6119

Landscape Architect:

Hey and Associates, Inc.

8755 West Higgins Road, Suite 835 Chicago, IL 60631 Office (773) 693-9200 Fax (773) 693-9202



Sheet Index: (Sheet # / Drawing # / Title)

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2. L1.1 General Notes and Schedule of Quantities

. L1.2 Overall Existing Conditions and Demolition Plan

4. L1.3 Overall Plan

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8. L2.3 **Demonstration Lawn - North and Parking Lot Islands**

9. L2.4 **Demonstration Lawn - South and Parking Lot Islands**

10. L2.5 Parking Lot Islands

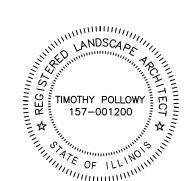
11. L3.0 **Details**

Call J.U.L.I.E. 1-800-892-0123 at least 48 hours before start of construction with the following:

County: Cook County
City or Township: Orland Park
Tier, Range & Section: T36N, R12E, Sec. 9

In a information shown on this drawing concerning type a location of underground utilities is not guaranteed to be accurate or all inclusive. The Contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto.

PROFESSIONAL SEAL



Data

This document shall not be considered a valid technical submittal unless it bears an original seal and signature.

Base Survey Information provided by:
Village of Orland Park

No.	Revision/Issue	Date

Hey and Associates, Inc.

Engineering, Ecology and Landscape Architecture 8755 W. HIGGINS ROAD, SUITE 835 CHICAGO, ILLINOIS 60631 OFFICE (773) 693-9200 FAX (773) 693-9202 CHICAGO @ HEYASSOC.COM

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Village of Orland Park
Municipal Complex
Landscape Improvements

Cover Sheet

PROJECT NO:	19-0240	DRAWING NO:
DESIGNED BY	TRP/MAA	
DRAWN BY	KSS/MAA	L L1₋() I
CHECKED BY	TRP	
APPROVED BY	TRP	SHEET NO:
ISSUE DATE	10/09/2020	1 OF 11

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GENERAL NOTES AND CONSTRUCTION SPECIFICATIONS

- 1. The "Standard Specifications for Road and Bridge Construction", State of Illinois, Department of Transportation, adopted April 1, 2016; "Supplemental Specifications and Recurring Special Provisions" adopted January 1, 2019; and revisions thereto, and these improvement plans and details shall govern applicable portions of this project
- 2. The Contractor shall obtain, erect, maintain and remove all signs, barricades, flagmen and other control devices as may be necessary for the purpose of regulating, warning or guiding traffic. Placement and maintenance of all traffic control devices shall be in accordance with the applicable parts of Article 1106 of the Standard Specifications and the "Standard Specifications for Traffic Control Items".
- 3. Location of utilities shown on plans are approximate only, and are not necessarily complete. Contractor shall make his own investigations as to location of all existing underground structures, cables and pipe lines.
- 4. If existing utility lines of any nature are encountered which conflict in location with new construction, the Contractor shall notify the Landscape Architect and Owner so that the conflict may be resolved.
- 5. The Contractor shall notify J.U.L.I.E. (1-800-892-0123) at least ten days prior to construction so that each utility company can stake out any underground improvements that they may have which might interfere with the proposed construction.
- 6. The Contractor shall be required to make arrangements for the proper bracing, shoring and other required protection of all roadways, structures, poles, cables and pipe lines, before construction begins. He shall be responsible for any damage to the streets or roadways and associated structures and shall make repairs as necessary to the satisfaction of the Landscape Architect and Owner at his own expense.
- 7. The Contractor shall be responsible for the protection of all private and public utilities even though they may not be shown on the plans. Any utility that is damaged during construction shall be repaired or replaced to the satisfaction of the Landscape Architect and Owner by the Contractor at his own expense.
- 8. The Contractor shall examine all plans and specifications, visit the site of the work and inform himself fully with the work involved, general and local conditions, all Federal, State and local laws, ordinances, rules and regulations and all other pertinent items which may affect the cost and time of completion of this project before submitting a proposal.
- 9. All work and materials shall be in accordance with code requirements.
- 10. Permits and licenses of a temporary nature necessary for the prosecution of the work shall be secured and paid for by the Contractor.
- 11. Prior to submitting his bid, the Contractor shall call the attention of the Landscape Architect to any material or equipment he deems inadequate and to any item of work omitted.
- 12. The Contractor shall restore any area disturbed outside the construction site to a condition equal to or better than its original use. This shall include finish grading, establishment of a vegetative cover (seeding or sod), general cleanup and pavement replacement.
- 13. The Contractor shall be responsible for providing safe and healthful working conditions throughout the construction of the proposed improvements.
- 14. The Contractor shall provide a written work schedule, and shall update said schedule as required. A minimum twenty-four (24) hour notice shall be given for any item that requires approval or inspection.
- 15. All lot irons damaged or removed during construction of this project shall be replaced by the Surveyor and said cost of replacement shall be paid by the Contractor.
- 16. Before acceptance by the Owner and final payment, all work shall be inspected and approved by the Landscape Architect and Owner. Final payments shall be made after all of the Contractor's work has been approved and accepted.
- 17. The Contractor will have in his possession on the job site a copy of the plans and specifications during construction.
- 18. If any approved equal items are required the Contractor shall contact the Landscape Architect for approval.
- 19. As-built drawings shall be prepared by the Contractor and submitted to the Landscape Architect as soon as the site improvements are completed. Any change in length, location or alignment shall be shown in red. Final payments will not be issued until satisfactory as-built plans have been submitted.
- 20. No elevation data provided.
- 21. The Contractor is responsible for coordinating any required inspections with the owner, Landscape Architect, and other agencies.
- 22. Special attention is drawn to the fact that Article 105.06 of the standard specifications requires the Contractor to have a competent superintendent on the project site at all times, irrespective of the amount of work sublet. The superintendent shall be capable of reading and understanding the plans and specifications, shall have full authority to execute orders to expedite the project, shall be responsible for scheduling and have control of all work as the agent of the Contractor. Failure to comply with this provision will result in a suspension of work as provided in Article 108.07
- 23. The Landscape Architect and Owner are not responsible for the construction means, methods, techniques, sequences or procedures, time of performance, programs or for any safety precautions used by the Contractor. The Contractor is solely responsible for execution of his work in accordance with the contract documents and specifications.

SCHEDULE OF QUANTITIES

	ULE OF QUANTITIES									
	TREES	Common n Manag	C:	06.120	OTV 1 2 4	06.100	06.1.2.2	05.12.4	05.12.5	TOTAL OTY
Symbo CAP	Latin Name Carpinus caroliniana	Common Name American hornbeam	Size B&B, 2.5" CAL	Qty L2.0	QTY L2.1	Qty L2.2	Qty L2.3	Qty L2.4	Qty L2.5	TOTAL QTY
EL	Celtis occidentalis	Hackberry	B&B, 3" CAL	0	0	0	0	1	2	3
IR		•	•	0	0	0	0	0	4	2
	Liriodendron tulipifera	Tulip Tree	B&B, 3" CAL	0	0	0	2	U	1	3
ST	Ostrya virginiana	Ironwood	B&B, 2.5" CAL	2	1	0	0	1	0	4
UB	Quercus bicolor	Swamp White Oak	B&B, 3" CAL	0	1	0	3	0	4	8
UE	Quercus imbricaria	Shingle oak	B&B, 3" CAL	0	2	0	4	2	3	11
IL	Tilia americana 'Redmond'	Redmond Linden	B&B, 3" CAL	0	0	0	1	0	0	1
JLM	Ulmus 'Morton'	Accolade Elm	B&B, 3" CAL	0	0	0	1	0	2	3
AX	Taxodium distichum	Bald Cypress	B&B, 3" CAL	0	0	0	1	1	0	2
:VEDC	REEN TREES									
ymbo	Latin Name	Common Name	Size	Qty L2.0	QTY L2.1	Qty L2.2	Qty L2.3	Qty L2.4	Qty L2.5	TOTAL QTY
IC IN	Picea glauca 'Densata' Pinus strobus	White Spruce White Pine	B&B, 8' H B&B, 8' H	0 0	0 0	0 0	0 2	3 0	0 0	3 2
	IENTAL TREES									
	Latin Name	Common Name	Size	Qty L2.0	QTY L2.1	Qty L2.2	Qty L2.3	Qty L2.4	Qty L2.5	TOTAL QTY
ME	Amelanchier x grandiflora 'Autumn	Apple Serviceberry	B&B, 6' H	0	6	3	3	0	0	12
ML	Amelanchier laevis	Alleghany Shadblow	B&B, 6' H	0	0	1	0	3	0	4
ER	Cercis canadensis	Eastern Redbud	B&B, 6' H	3	3	1	0	0	0	7
AM	Hamamelis virginia	Witch Hazel	B&B, 6' H	2	4	3	0	0	0	9
FCIDI	JOUS SHRUBS									
	Latin Name	Common Name	Size	Qty L2.0	QTY L2.1	Qty L2.2	Qty L2.3	Qty L2.4	Qty L2.5	TOTAL QTY
RO	Aronia melanocarpa 'Morton'	Iroquois Beauty™ Black	#5 Container, MIN 18" H	0	47	21	0	5	0	73
EΑ	Ceanothus americanus	New Jersey Tea	#5 Container, MIN 18" H	0	0	0	16	17	0	33
IYD	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#5 Container, MIN 18" H	7	n	Ô	0	0	0	7
AC	Hydrangea quercifolia	Oakleaf Hydrangea	#5 Container, MIN 18" H	3	n	6	n	0	0	a
		, ,	•		6		0	0	0	20
YP uv	Hypericum kalmianum Physocorpus opulifolius	Kalm's St John's Wort	#5 Container, MIN 18" H	0	0	22	0	0	0	28
HY	Physocarpus opulifolius	Ninebark	#5 Container, MIN 24" H	0	<u>U</u>	4	Ü	Ü	Ü	4
DA	Physocarpus opulifolius 'Donna May'	First Editions Little Devil Ninebark	#5 Container, MIN 18" H	0	7	U	0	0	0	7
IB	Ribes americanum	Wild Black Currant	#5 Container, MIN 18" H	4	0	0	0	0	0	4
HU	Rhus aromatica 'Gro-Low'	Fragrant Sumac	#5 Container, MIN 18" S	0	52	3	0	0	0	55
UB	Rubus odoratus	Purple Flowering Raspberry	#5 Container, MIN 18" H	3	0	0	0	0	0	3
	REEN SHRUBS Latin Name	Common Name	Size	06/120	OTV 1.2.1	06/122	Oh. 1.2.2	06/12/4	06/125	TOTAL QT
UN	Juniperus × pfitzeriana 'Sea Green'	Sea Green Juniper	#5 Container, MIN 18" H	Qty L2.0 0	QTY L2.1 0	Qty L2.2 0	Qty L2.3 29	Qty L2.4 31	<i>Qty L2.5</i> 0	60
OIN	ouriperus × pinzeriaria Gea Green	Sea Green Jumper	#3 Container, will 10 11	U	U	U	29	31	U	00
	NIALS	Common Nama	0:	04.100	OTV / 0 4	04.100	04.100	05.10.4	04.10.5	TOTALOT
	Latin Name	Common Name	Size	Qty L2.0	QTY L2.1	Qty L2.2	Qty L2.3	Qty L2.4	Qty L2.5	TOTAL QTY
LL	Allium cernuum	Nodding Onion	3" Pot	6	73	0	0	0	0	79
NE	Anemone canadensis	Canada Anemone	#1 Container, MIN 6" H	0	97	0	0	0	0	97
QC	Aquilegia canadensis	Wild Columbine	#1 Container, MIN 6" H	16	0	42	0	0	0	58
SP	Asclepias purpurescens	Purple Milkweed	Plant Plug, 2"	0	63	0	10	20	0	93
ST	Asclepias tuberosa	Butterfly Weed	#1 Container, MIN 6" H	13	52	0	0	0	0	65
СН	Echinacea pallida	Pale Purple Coneflower	#1 Container, MIN 6" H	20	278	16	55	55	0	424
ER	Geranium maculatum	Wild Geranium	#1 Container, MIN 6" H	58	127	64	0	0	Ô	249
				6	_	0-7	0	0	0	
AV	Lavendula angustifolia 'Hidcote'	English Lavender	#1 Container, MIN 6" H	0	0	0	0	0	0	6
IA -	Liatris aspera	Rough Blazing Star	#1 Container, MIN 6" H	0	50	Ü	Ü	Ü	Ü	50
RI	Origanum vulgare	Oregano	3" Pot	6	0	0	0	0	0	6
EN	Penstemon digitalis	Foxglove Beard Tongue	#1 Container, MIN 6" H	0	105	16	0	16	0	137
UD	Rudbeckia speciosa	Showy Black Eyed-Susan	#1 Container, MIN 6" H	0	289	36	16	97	0	438
AL	Salvia officinalis	Culinary Sage	3" Pot	6	0	0	0	0	0	6
OL	Solidago flexicaulis	Zig-Zag Goldenrod	#1 Container, MIN 6" H	0	124	43	0	0	0	167
YM	Symphyotrichum oolentangiense	Sky Blue Aster	#1 Container, MIN 6" H	44	26	29	30	83	0	212
		City Blue / total	" Tooliamor, Will o	• •	20	20	00	00	Ü	212
	IENTAL GRASSES Latin Name	Common Name	Size	Qty L2.0	QTY L2.1	Qty L2.2	Qty L2.3	Qty L2.4	Qty L2.5	TOTAL QTY
700	Bromus pubescens	Woodland Brome	Plant Plug, 2"	529	26	15	0	0	0	570
AR	Carex pensylvanica	Oak Sedge	#1 Container, MIN 6" H	30	191	78	n	ñ	ñ	299
LY	Elymus virginicus	Virginia Wild Rye	Plant Plug, 2"	13	0	, 0	0	0	0	13
	•	•	_		_	0	450	0	165	
RA	Eragrostis spectabilis	Purple Love Grass	#1 Container, MIN 6" H	31	48	U	153	0		397
OE	Koeleria macrantha	June Grass	#1 Container, MIN 6" H	35	146	0	158	85	380	804
AN	Panicum virgatum	Switch Grass	#1 Container, MIN 6" H	51	329	0	148	148	188	864
PO	Sporobolus hererolepis	Prairie Dropseed	#1 Container, MIN 6" H	128	410	39	371	245	482	1675
СН	Schizachyrium scoparium	Little Bluestem	#1 Container, MIN 6" H	680	260	62	153	61	298	1514
HA	Chasmanthium latifolium	Northern Sea Oats	#1 Container, MIN 6" H	150	77	0	0	0	0	227
	CAPE		Unita	04.100	OTV 10 1	06.100	06.100	05.10.1	04.105	TOTALOT
<i>m</i> 1	Description Stabilized Decomposed Granite Paving		Units Square Feet	<i>Qty L2.0</i> 320	QTY L2.1	Qty L2.2 0	<i>Qty L2.3</i> 0	<i>Qty L2.4</i> 0	<i>Qty L2.5</i> 0	TOTAL QT` 320
2	Limestone Outcropping Wall		Lineal Feet	45	95	Ô	n	0	0	140
3	Concrete Block Seatwall		Lineal Feet	n	90	ņ	0	n	Û	90
4	Permeable Pavers		Square Feet	0	1235	0	0	0	0	1235
5	Accessible Curb Ramp, Complete		Lump Sum	0	0	0	0	0	1	1
	URF SEEDING AND SOD									
<i>9m</i> 1	Description Sod Removal		Units Square Vards	Qty L2.0	QTY L2.1	Qty L2.2	Qty L2.3	Qty L2.4	Qty L2.5	TOTAL QT
1	Sod Removal		Square Yards	U	U	0	585	775	U	1360
2	Pulverized Topsoil, 2" depth		Square Yards	0	0	0	585	775	0	1360
3	No-Mow Seeding		Square Yards	0	0	0	585	775	0	1360
4	Erosion Control Blanket		Square Yards	0	0	0	585	775	0	1360
5	Allowance - Pulverized Topsoil, As Directed	l By Owner	Cubic Yards	n/a	n/a	n/a	n/a	n/a	n/a	10
3	Allowance - Salt Tolerant Turf Seeding, As I	•	Square Yards	n/a	n/a	n/a	n/a	n/a	n/a	1000
7	Allowance - Erosion Control Blanket, As Dir		Square Yards	n/a	n/a	n/a	n/a	n/a	n/a	1000
_			Square Yards	n/a	n/a	n/a	n/a	n/a	n/a	500

LEGEND

No. Revision/Issue Date

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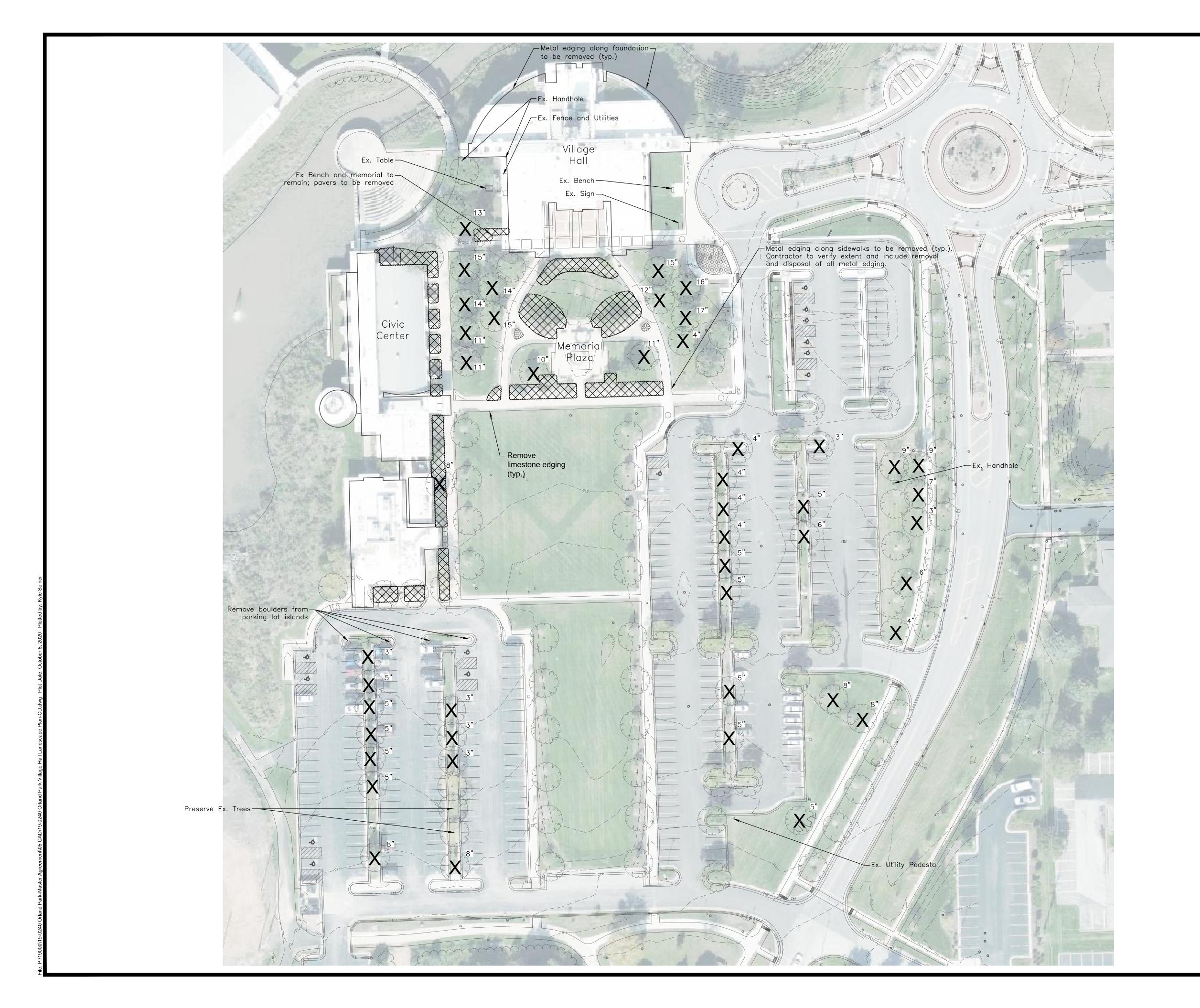
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Landscape Improvements

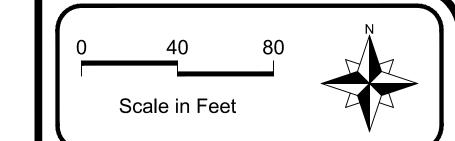
General Notes and Schedule of Quantities

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APPROVED BY	TRP	SHEET NO:
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Ex. Tree to remain

Ex. Plant Bed to be removed

X

Ex. Deciduous Tree to be removed (w/ estimated size)

NOTE: Tree sizes are not guaranteed. Contractor shall make their own measurements.

Revision/Issue

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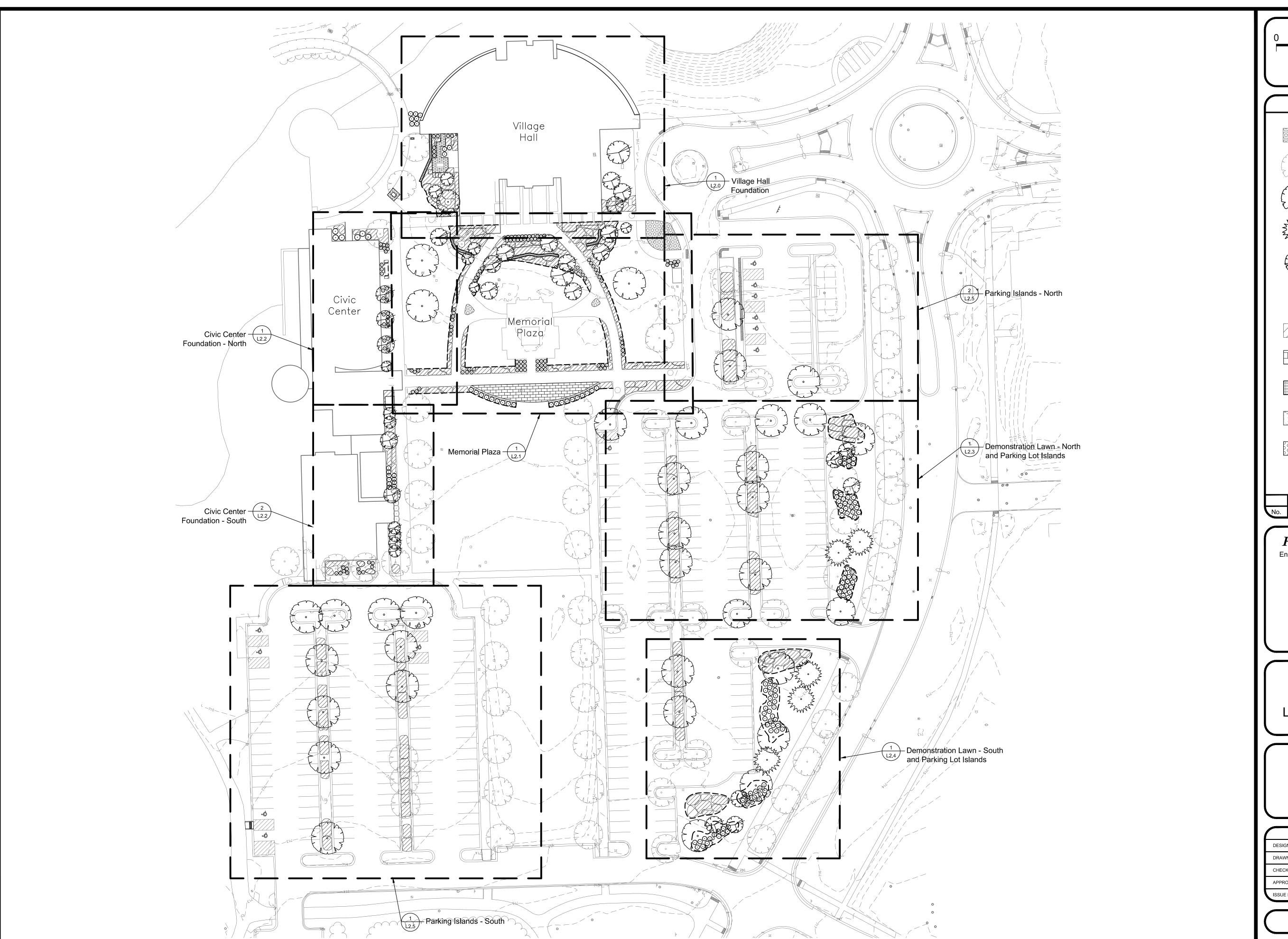
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Overall Existing Conditions and Demolition Plan

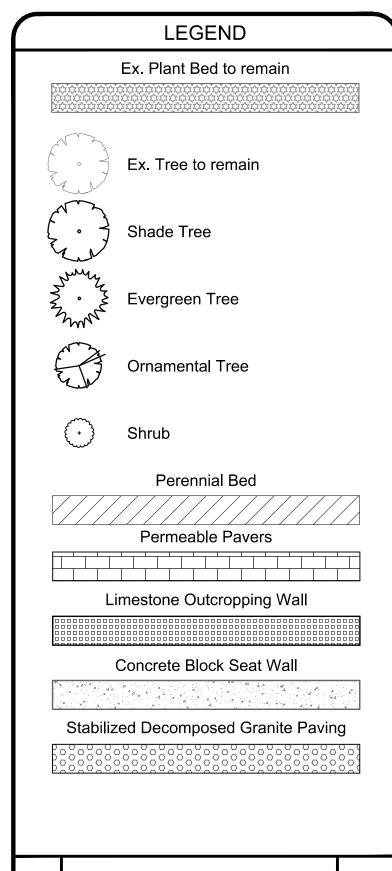
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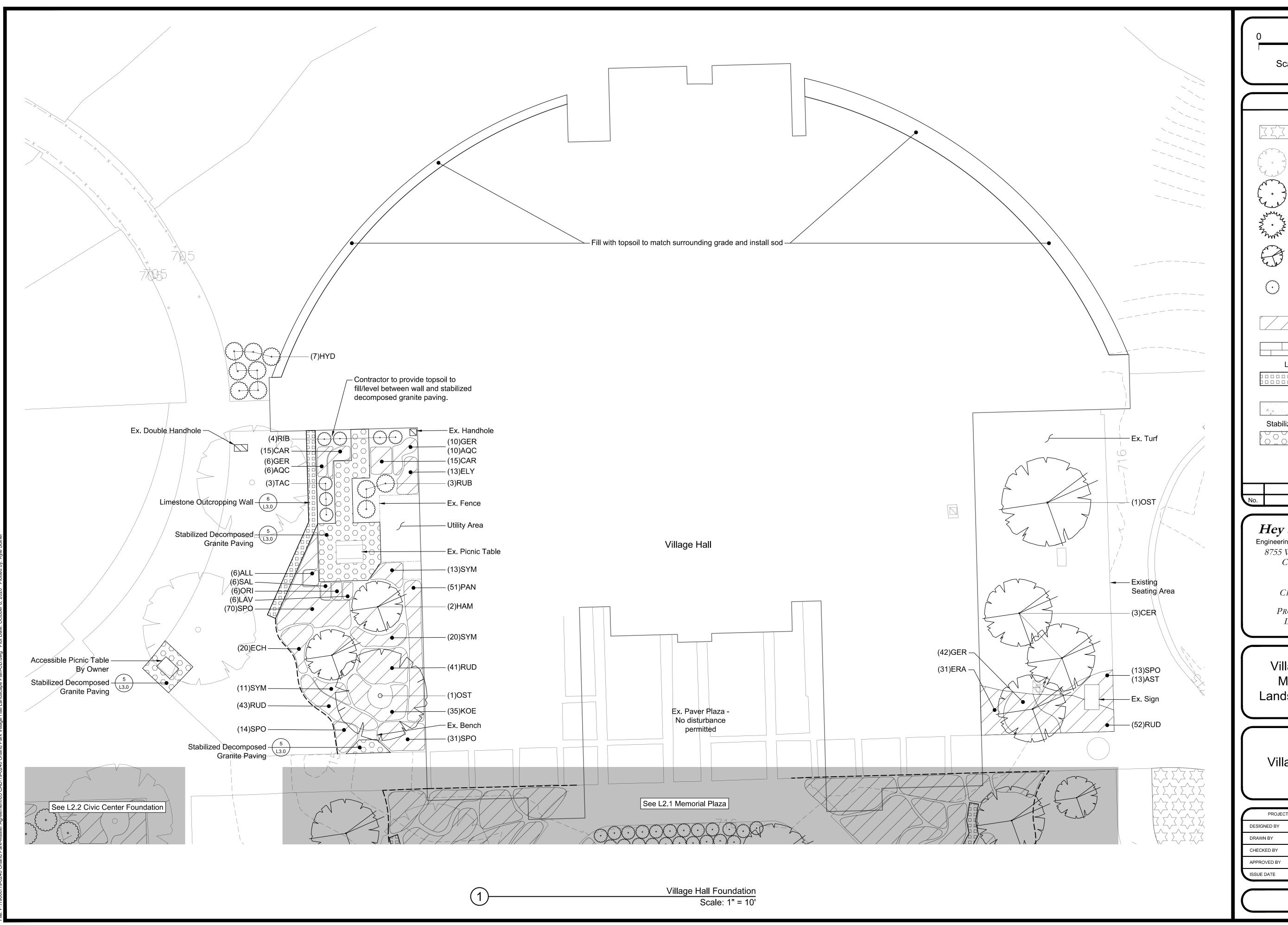
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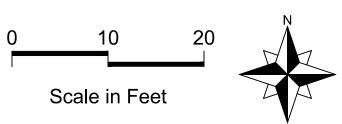
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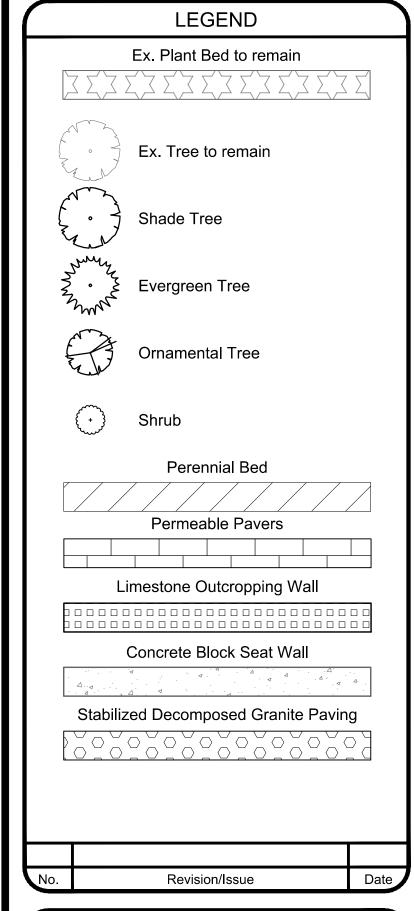
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Overall Landscape Plan

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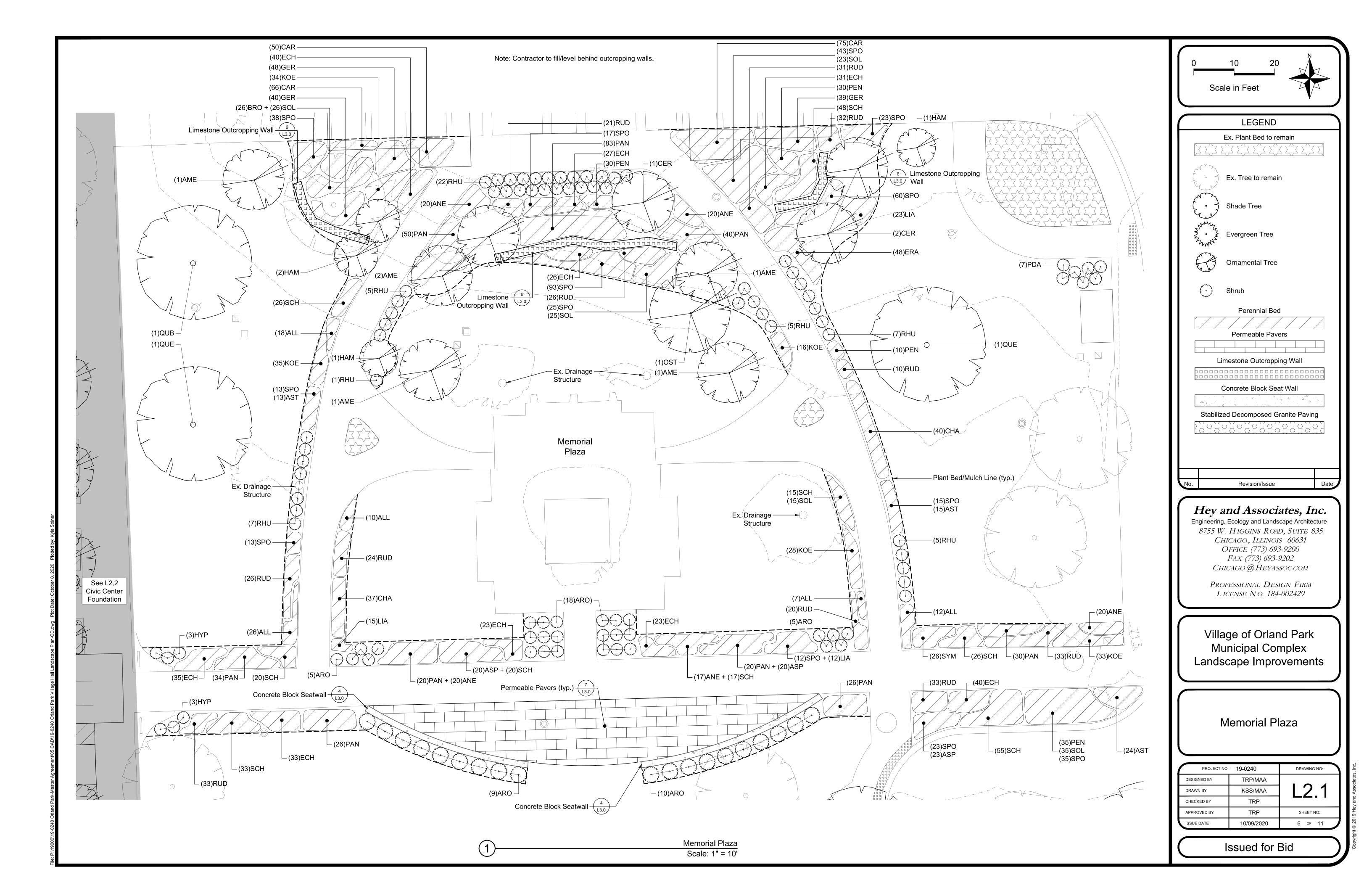
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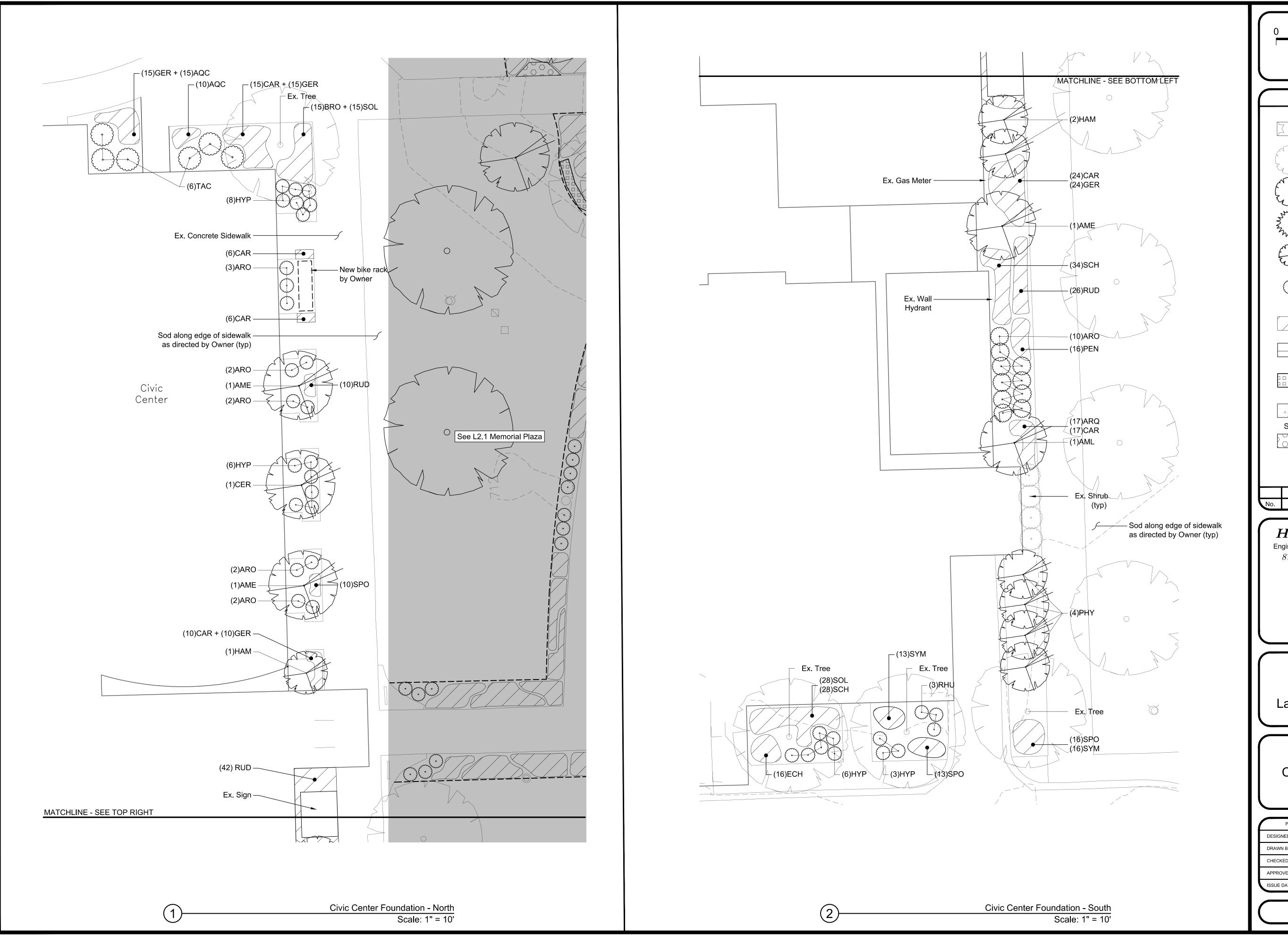
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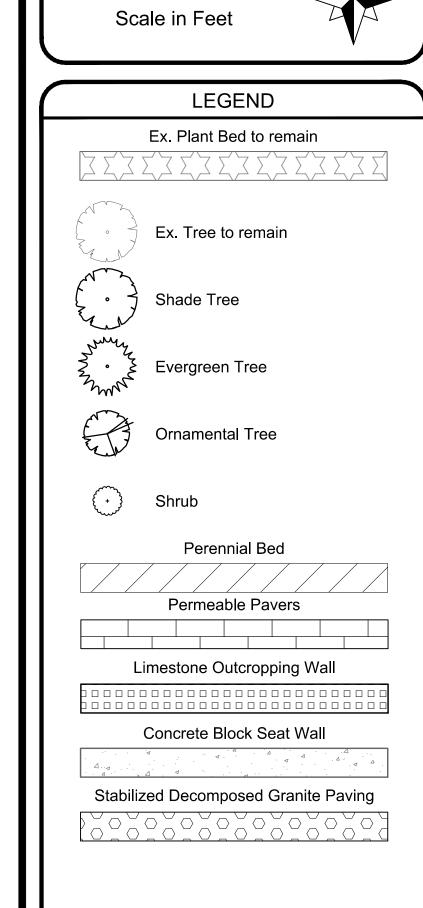
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Village Hall Foundation

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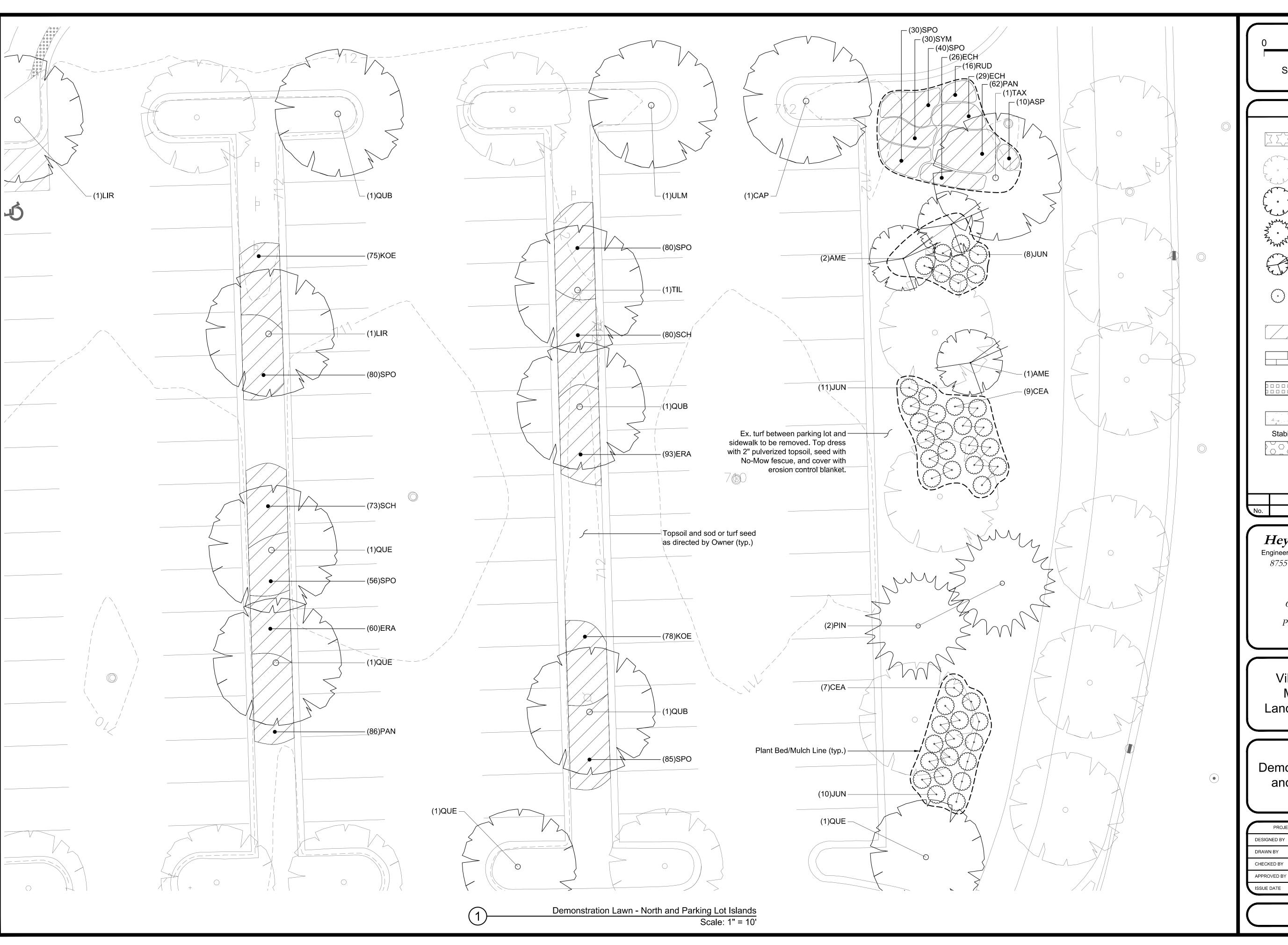
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Civic Center Foundation

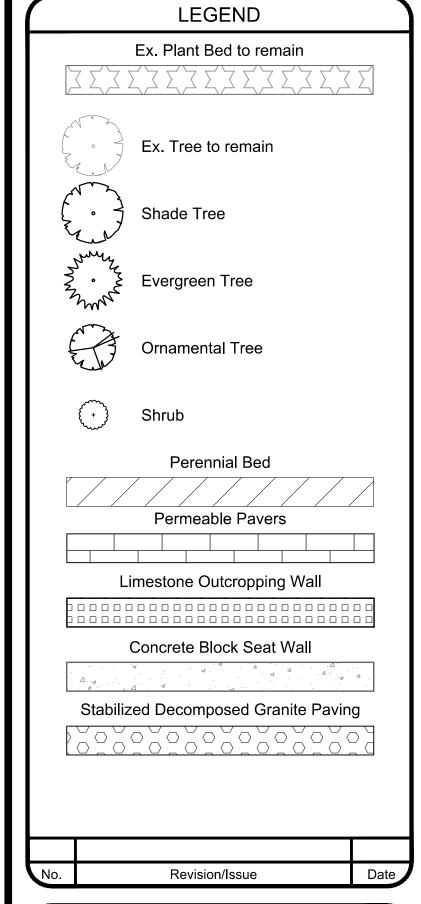
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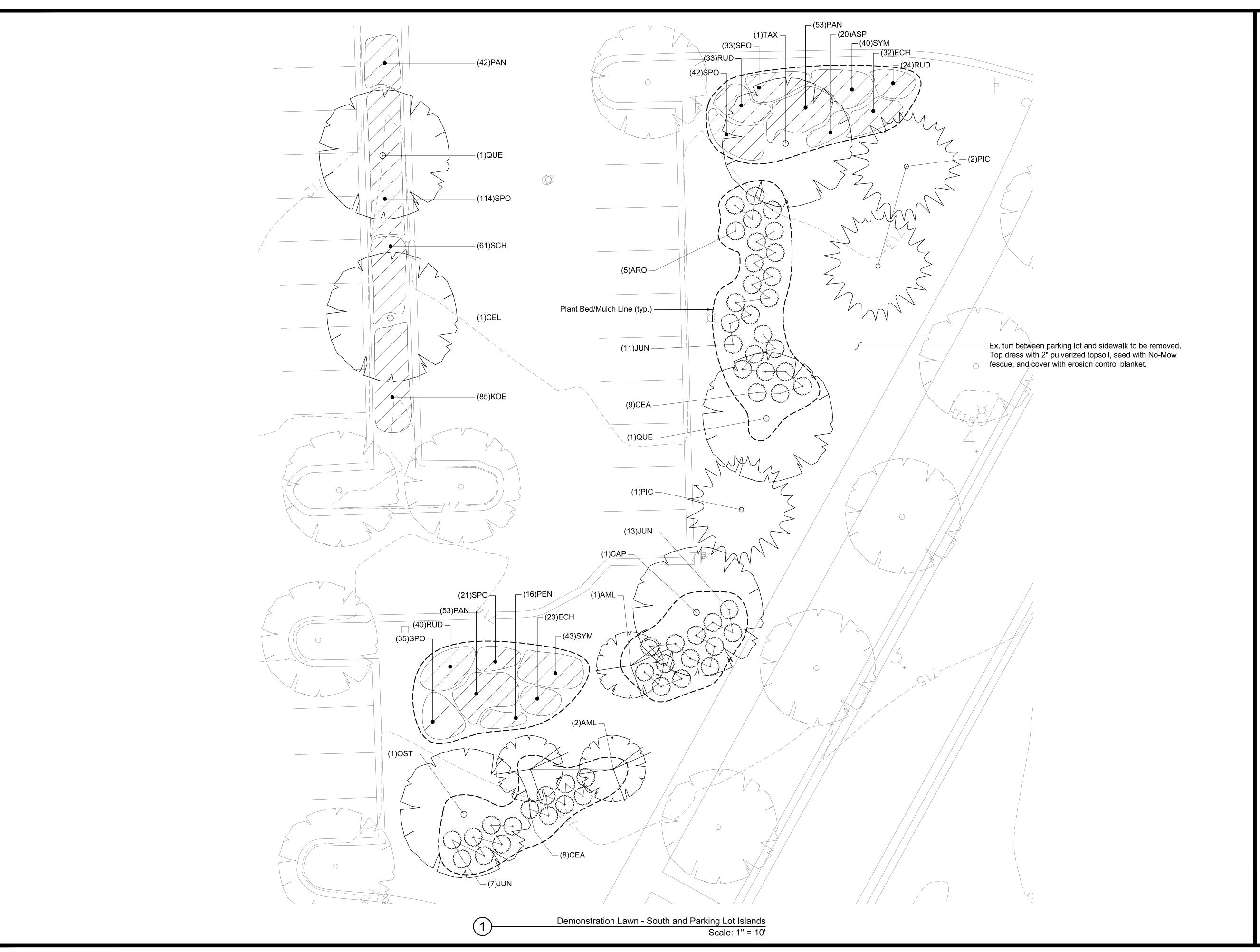
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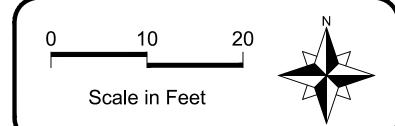
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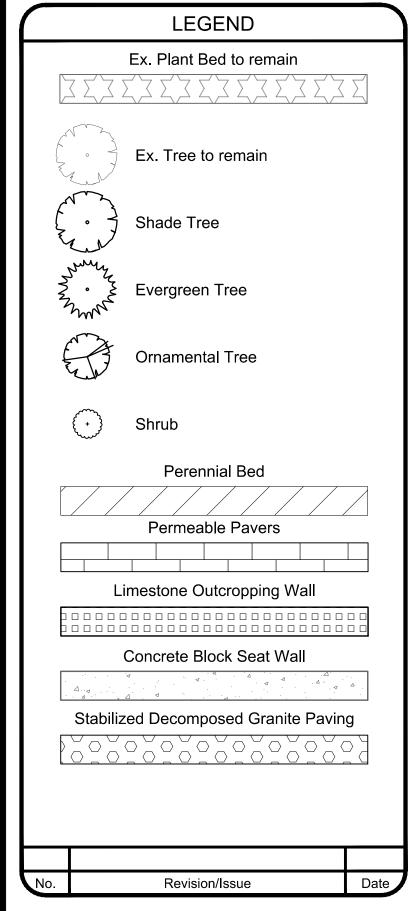
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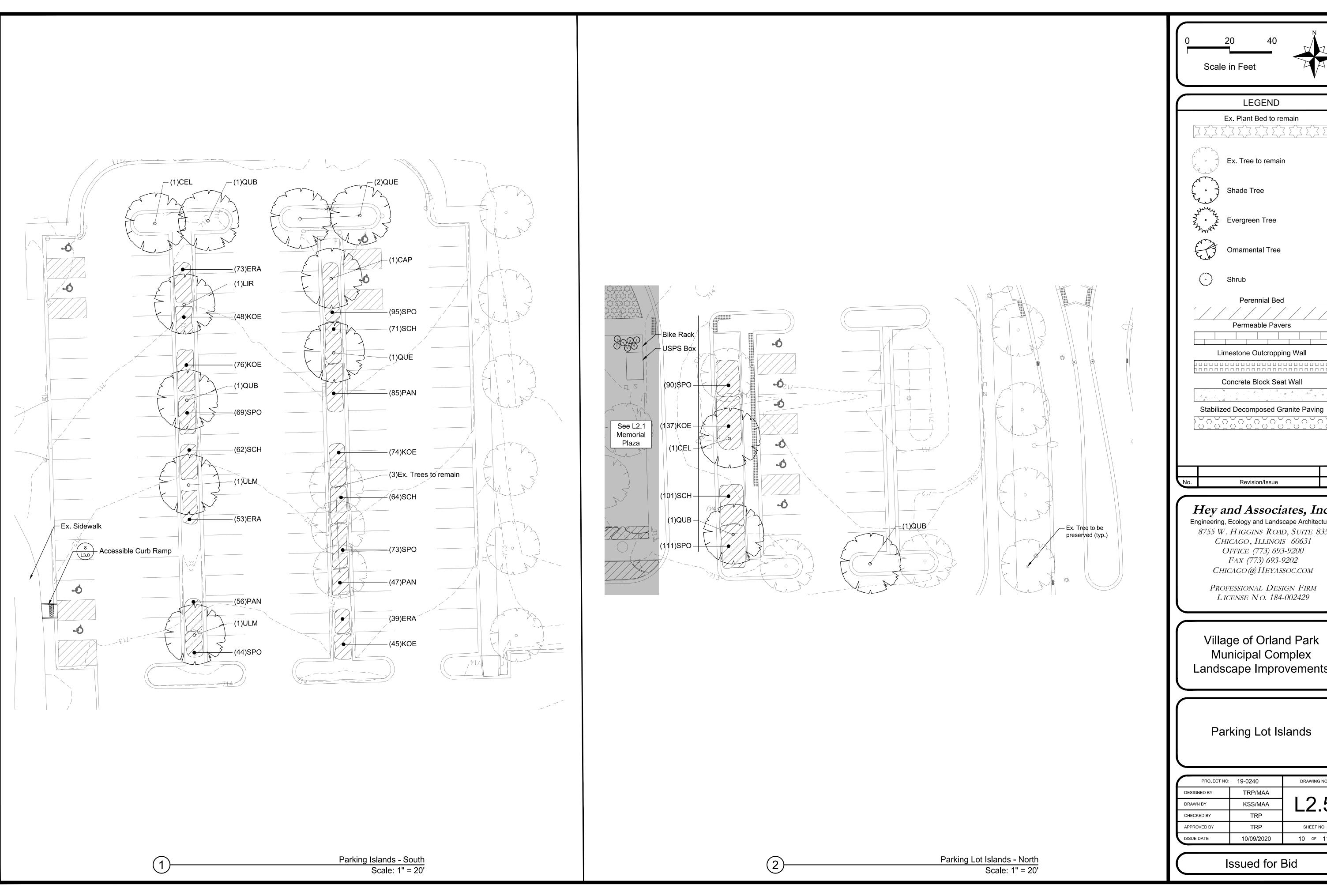
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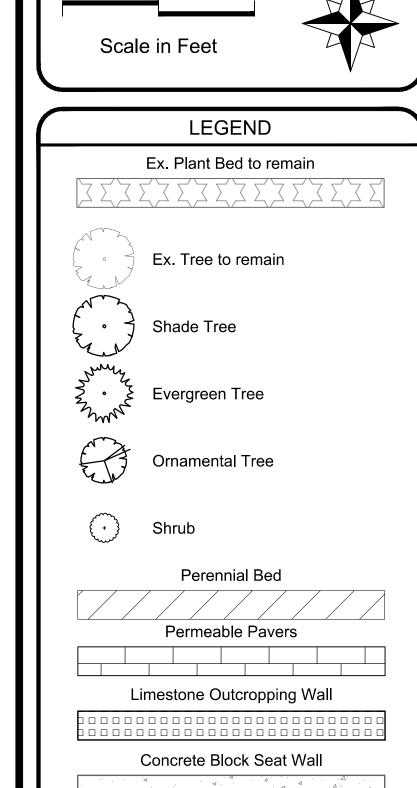
Professional Design Firm License No. 184-002429

Village of Orland Park
Municipal Complex
Landscape Improvements

Demonstration Lawn - South and Parking Lot Islands

PROJECT NO:	19-0240	DRAWING NO:
DESIGNED BY	TRP/MAA	
DRAWN BY	KSS/MAA	2 4
CHECKED BY	TRP	
APPROVED BY	TRP	SHEET NO:
ISSUE DATE	10/09/2020	9 of 11





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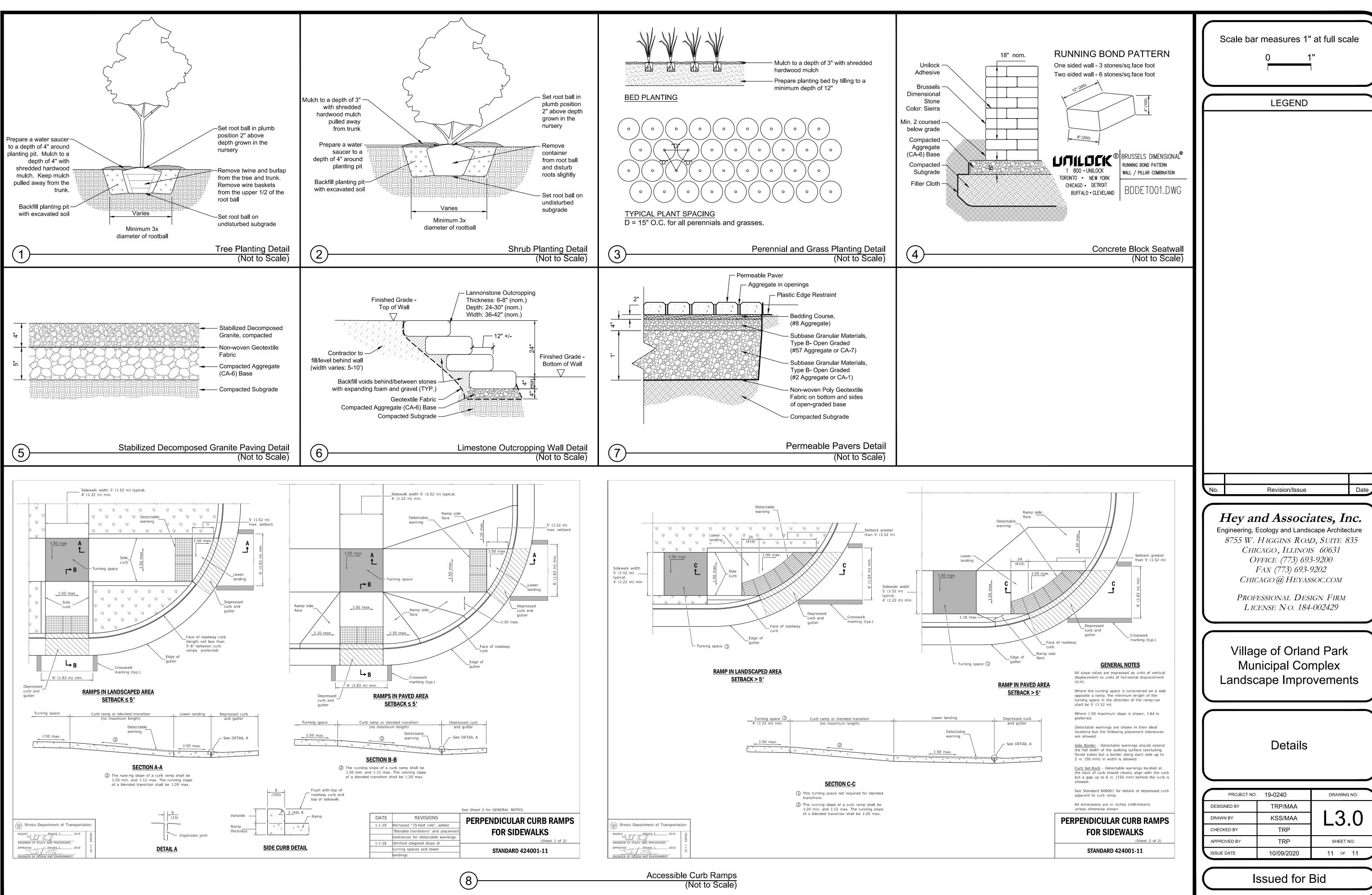
Revision/Issue

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Village of Orland Park Municipal Complex Landscape Improvements

Parking Lot Islands

PROJECT NO:	19-0240	DRAWING NO:
DESIGNED BY	TRP/MAA	
DRAWN BY	KSS/MAA	2.5
CHECKED BY	TRP	
APPROVED BY	TRP	SHEET NO:
ISSUE DATE	10/09/2020	10 of 11



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1	ISSUE DATE	10/09/2020	11 OF 11