



ALDI STORE #97 ORLAND PARK

179TH STREET AND WOLF ROAD
ORLAND PARK, IL 60467
COOK COUNTY
ORLAND TOWNSHIP
SITE DEVELOPMENT PLANS

OWNER

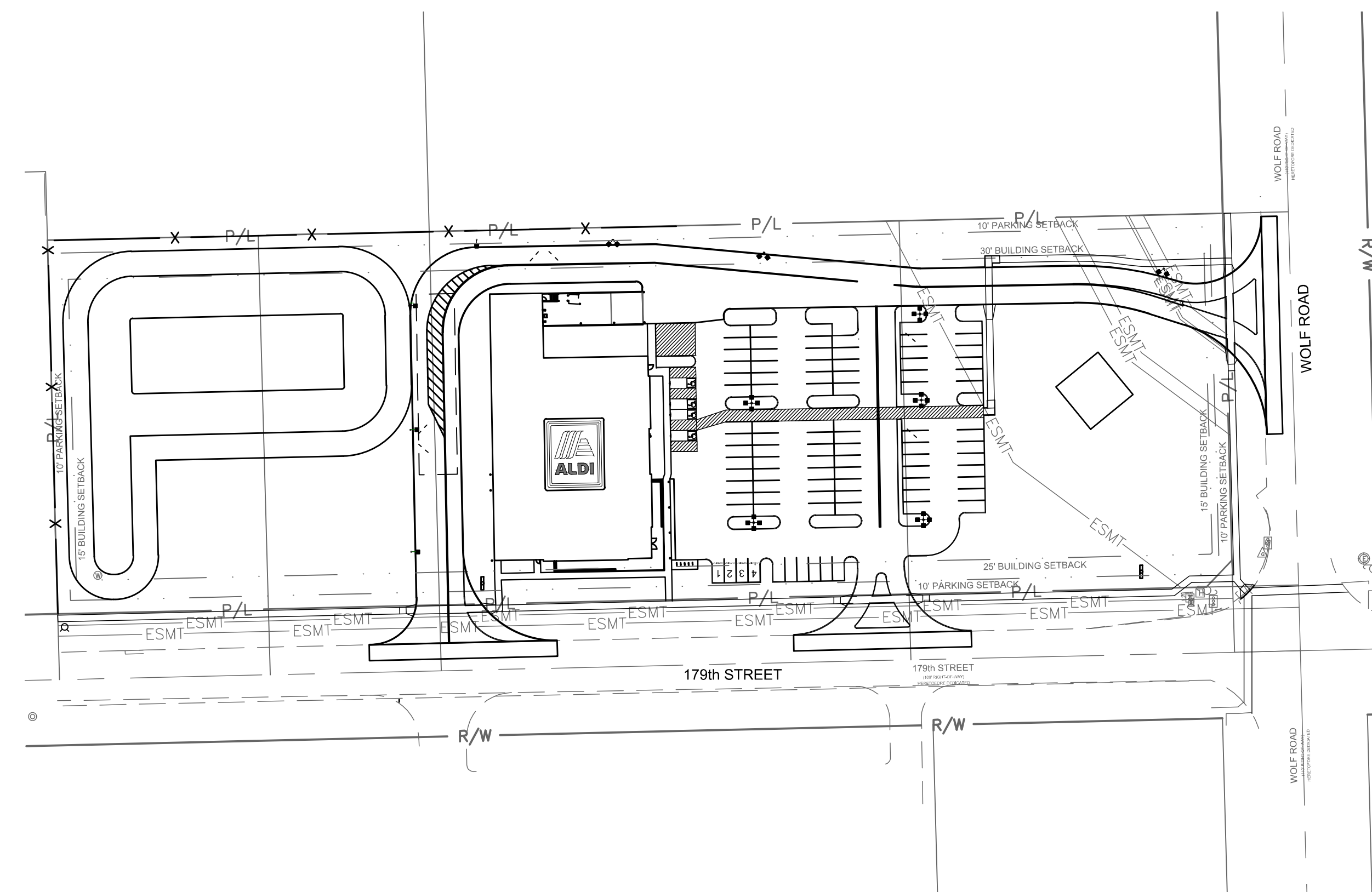
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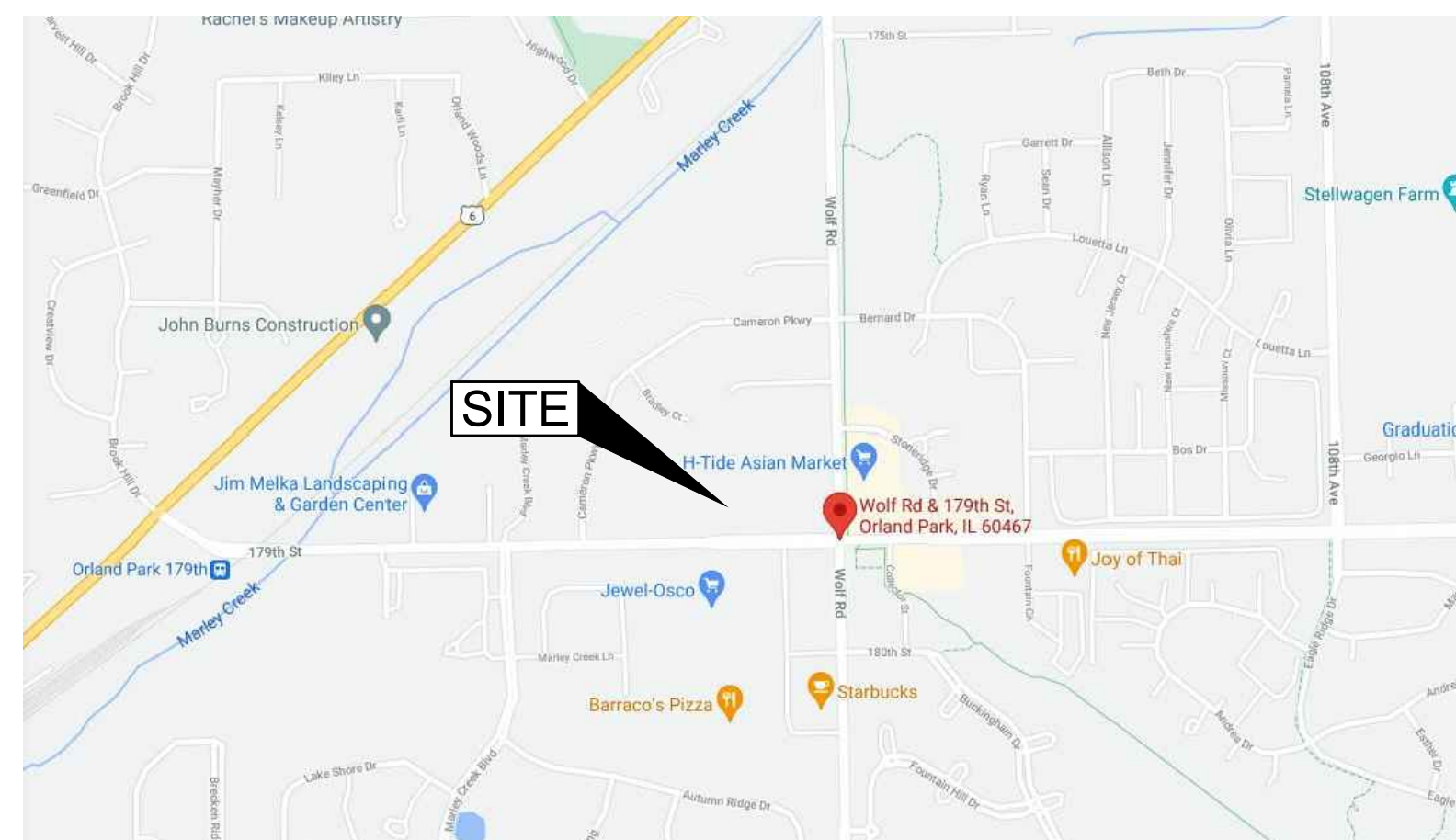
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VICINITY MAP

NOT TO SCALE

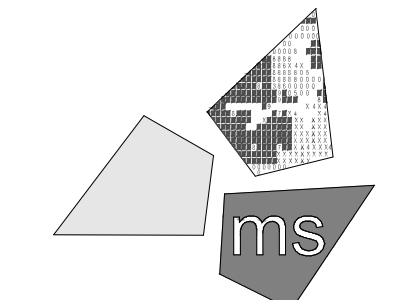
INDEX MAP

SCALE: 1" = 80'



Issued:	Date:
Planning Submittal	05/28/21
Planning Response	08/06/21
Planning Response	10/15/21
Planning Response	11/24/21
Revisions:	Date:

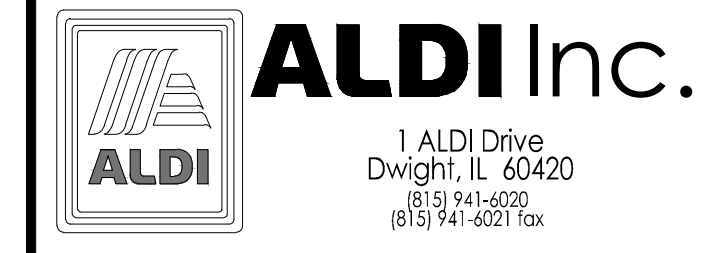
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REVIEWED BY: IA

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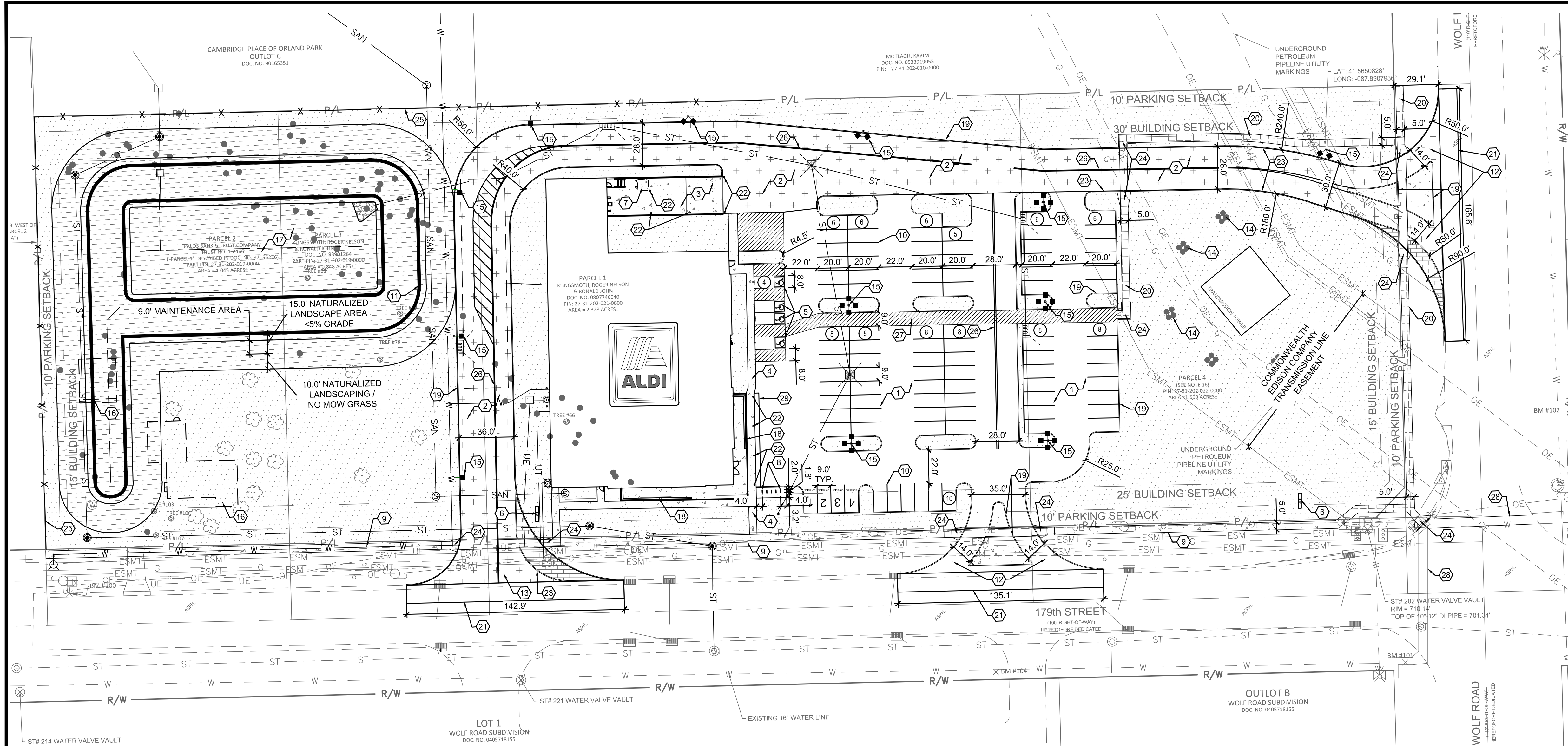
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ALDI Inc.
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179th Street & Wolf Road
Orland Park, IL 60467
Cook County
PIN: 27-31-202-021-000-022
Project Name & Location:

Cover Sheet

Drawing Name:	Prototype Rls.	Project No.
	06/03/20	40200-91
Type: LHSD-V7ER		
		C-1
Scale: As Noted		Drawing No.



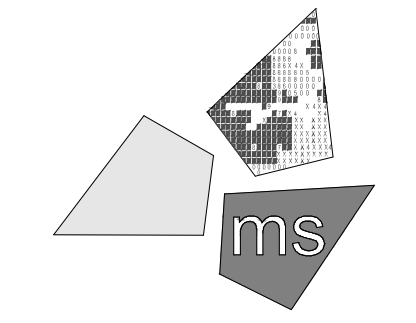


GENERAL NOTES:

- A. ALL EXISTING UTILITIES, TOPOGRAPHY AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE VILLAGE OF ORLAND PARK, COUNTY OF COOK, STATE OF ILLINOIS, BY SURVEYOR: WEAVER CONSULTANTS GROUP, 1316 BOND STREET SUITE 108, NAPERVILLE, ILLINOIS 60563.
- B. BY GRAPHICAL PLOTTING ONLY, THIS SITE IS SITUATED IN FEMA FLOOD ZONE X PER FIRM #17031C0684J, EFFECTIVE AUGUST 19, 2008.
- C. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- D. PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING PAVED AREAS AS NECESSARY. THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS AT ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT.
- E. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
- F. ALL PAVEMENT MARKINGS DEPICTING PARKING SPACES, ACCESSIBLE PARKING SPACES, BARRIER FREE SYMBOLS, ACCESS AISLES, NO PARKING SIGNAGE, RESTRICTED PARKING AREAS, DRIVE LANES, VEHICULAR DIRECTION ARROWS AND STOP BARS SHALL BE APPLIED WITH MECHANICAL EQUIPMENT AND TEMPLATES AT THE LOCATIONS AND LENGTHS SHOWN ON THE PLANS (TWO COATS ALL LOCATIONS). PAINT SHALL BE WHITE IN COLOR (UNLESS OTHERWISE SPECIFIED) AND SHALL MEET ALL APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- G. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- H. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND ADDITIONAL INFORMATION.
- I. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- J. ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SEEDED/SODDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL, HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
- K. ALL RADII ARE 5.0 FEET UNLESS OTHERWISE SHOWN. ALL RADII INDICATED ON PLANS SHALL BE CONSTRUCTED AS CIRCULAR ARCS.
- L. ALL AREAS OTHERWISE NOT PLANTED WITH TREES, PLANT BEDS, OR NATIVE LANDSCAPING SHALL BE SEEDED OR SODDED.

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DRAWN BY: TDB/KPD
 REVIEWED BY: IA
 Seal

KEYED NOTES:

- 1 PROPOSED STANDARD DUTY ASPHALT PAVEMENT.
- 2 PROPOSED HEAVY DUTY ASPHALT PAVEMENT.
- 3 PROPOSED CONCRETE LOADING DOCK. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- 4 PROPOSED CONCRETE SIDEWALK.
- 5 PROPOSED HANDICAP PARKING SPACES.
- 6 PROPOSED SITE SIGN.
- 7 PROPOSED DUMPSTER. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 8 PROPOSED BICYCLE RACKS. FIVE (5) ULINE 1-LOOP WAVE STYLE BIKE RACKS, SPACED AS SHOWN.
- 9 PROPOSED 5' WIDE PUBLIC CONCRETE SIDEWALK.
- 10 PROPOSED PAINTED PARKING STRIPING. ALL PARKING STRIPES ARE TO BE 4" PAINTED WHITE, UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS OR SPECIFICATIONS.
- 11 PROPOSED HIGH WATER LINE.
- 12 PROPOSED RIGHT-IN RIGHT-OUT.
- 13 PROPOSED FULL ACCESS DRIVE.
- 14 EXISTING TRANSMISSION TOWER BOLLARD.
- 15 PROPOSED LIGHT POLE. SEE PHOTOMETRIC PLAN FOR DETAILS.
- 16 EXISTING BUILDING TO BE DEMOLISHED.
- 17 PROPOSED DETENTION POND.
- 18 PROPOSED CART CORRAL.
- 19 PROPOSED 6" CONCRETE CURB.
- 20 PROPOSED 5' WIDE PUBLIC ASPHALT SIDEWALK.
- 21 EXISTING LANE ADJACENT TO PROPOSED DRIVEWAY TO BE RESTORED. EXISTING PAVEMENT SHALL BE SAW CUT AT LANE LINES AND PERPENDICULAR TO THE DIRECTION OF TRAFFIC. EXISTING PAVEMENT SHALL BE MILLED 4 INCHES AND RESURFACED AS REQUIRED BY IDOT DISTRICT 1 HMA MIX DESIGN CHART.
- 22 PROPOSED BOLLARD (TYP. OF 9). SEE ARCHITECTURAL PLANS FOR DETAILS.
- 23 PROPOSED CONCRETE MOUNTABLE CURB THROUGH UTILITY EASEMENT.
- 24 PROPOSED ADA CURB RAMP.
- 25 PROPOSED 6' TALL SOLID FENCE, TREX SECLUSIONS® IN WINCHESTER GREY COLOR, OR APPROVED EQUAL.
- 26 PROPOSED DOUBLE YELLOW CENTERLINE (TWO 4"-WIDE LINES).
- 27 PROPOSED PEDESTRIAN PATH THROUGH PARKING LOT.
- 28 PROPOSED CROSSWALKS PER IDOT STANDARDS.
- 29 PROPOSED FIRE LANE STRIPING.

SITE DATA

	SQ. FT.	ACRES	PERCENT
TOTAL SITE AREA	253,536	5.82	-
BUILDING	20,442	0.47	8.1
PAVEMENT AND WALK	80,496	1.85	31.7
POND AREA (HWL)	25,800	0.59	10.2
EXISTING PERVIOUS	250,761	5.76	98.9
EXISTING IMPERVIOUS	2,775	0.06	1.1
PROPOSED PERVIOUS	126,798	2.91	50.0
PROPOSED IMPERVIOUS	126,738	2.91	50.0
FLOOR AREA RATIO	0.08		

ZONING INFORMATION

CURRENT ZONING DISTRICT	E-1 RESIDENTIAL ESTATE DISTRICT
PROPOSED ZONING DISTRICT	BIZ GENERAL BUSINESS
CURRENT LAND USE	
PROPOSED LAND USE	GROCERY STORE LESS THAN 50,000 SQ. FT. IN SIZE

STRUCTURES DATA

	SQ. FT.	STATUS	DIMENSION
ALDI V7ER BUILDING	20,442±	NEW CONSTRUCTION	-
TRANSMISSION TOWER	1,735±	TO REMAIN	(41.6' X 41.6')
TWO-STORY RESIDENCE	1,890±	TO BE REMOVED	-
SHED	647±	TO BE REMOVED	(24.4' X 26.5')

PARCELS DATA

	SQ. FT.	ACRES	PIN
PARCEL 1	101,408±	2.33±	27-31-202-021-0000
PARCEL 2	45,520±	1.05±	27-31-202-019-0000
PARCEL 3	36,939±	0.85±	27-31-202-019-0000
PARCEL 4	69,652±	1.60±	27-31-202-022-0000

PARKING DATA

	REQUIRED	PROVIDED
STANDARD	82	93
HANDICAP**	4	4
TOTAL*	86	97
BICYCLE***	10	10

* TOTAL SPACES: 1 PER 250 S.F. FLOOR AREA = 20,442 SQ. FT.
 ** H.C. SPACES: 1 PER 25 STANDARD SPACES
 *** BICYCLE SPACES: 1 PER 10 AUTOMOBILE SPACES

LEGEND

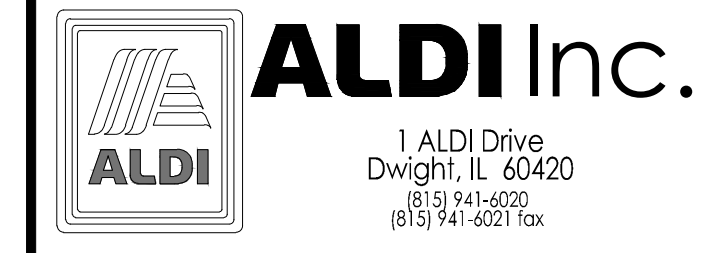
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[Symbol]	HEAVY DUTY ASPHALT PAVEMENT	
[Symbol]	AREA TO BE GRADED AND SODDED	
[Symbol]	NATURALIZED LANDSCAPED AREA	
[Symbol]	CONCRETE TRUCK APRON	
[Symbol]	BUILDING SETBACK LINE	
P/L	PROPERTY LINE	
ESMT	EASEMENT LINE	
R/W	RIGHT OF WAY LINE	
[Symbol]	DEMOLITION LINE	
ST	STORM LINE	
EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	STORM LINE
[Symbol]	[Symbol]	SANITARY LINE
[Symbol]	[Symbol]	WATER LINE
[Symbol]	[Symbol]	UNDERGROUND ELECTRIC LINE
[Symbol]	[Symbol]	GAS LINE
[Symbol]	[Symbol]	UNDERGROUND COMMUNICATION LINE
[Symbol]	[Symbol]	CATCH BASIN
[Symbol]	[Symbol]	STORM MANHOLE
[Symbol]	[Symbol]	SANITARY STRUCTURE
[Symbol]	[Symbol]	ELECTRICAL STRUCTURE
[Symbol]	[Symbol]	UTILITY POLE
[Symbol]	[Symbol]	FENCE

LEGEND

FEATURE	DESCRIPTION
[Symbol]	EXISTING NON-REPLACEMENT STANDARD TREE
[Symbol]	EXISTING REPLACEMENT STANDARD TREE
[Symbol]	EXISTING TREE TO REMAIN

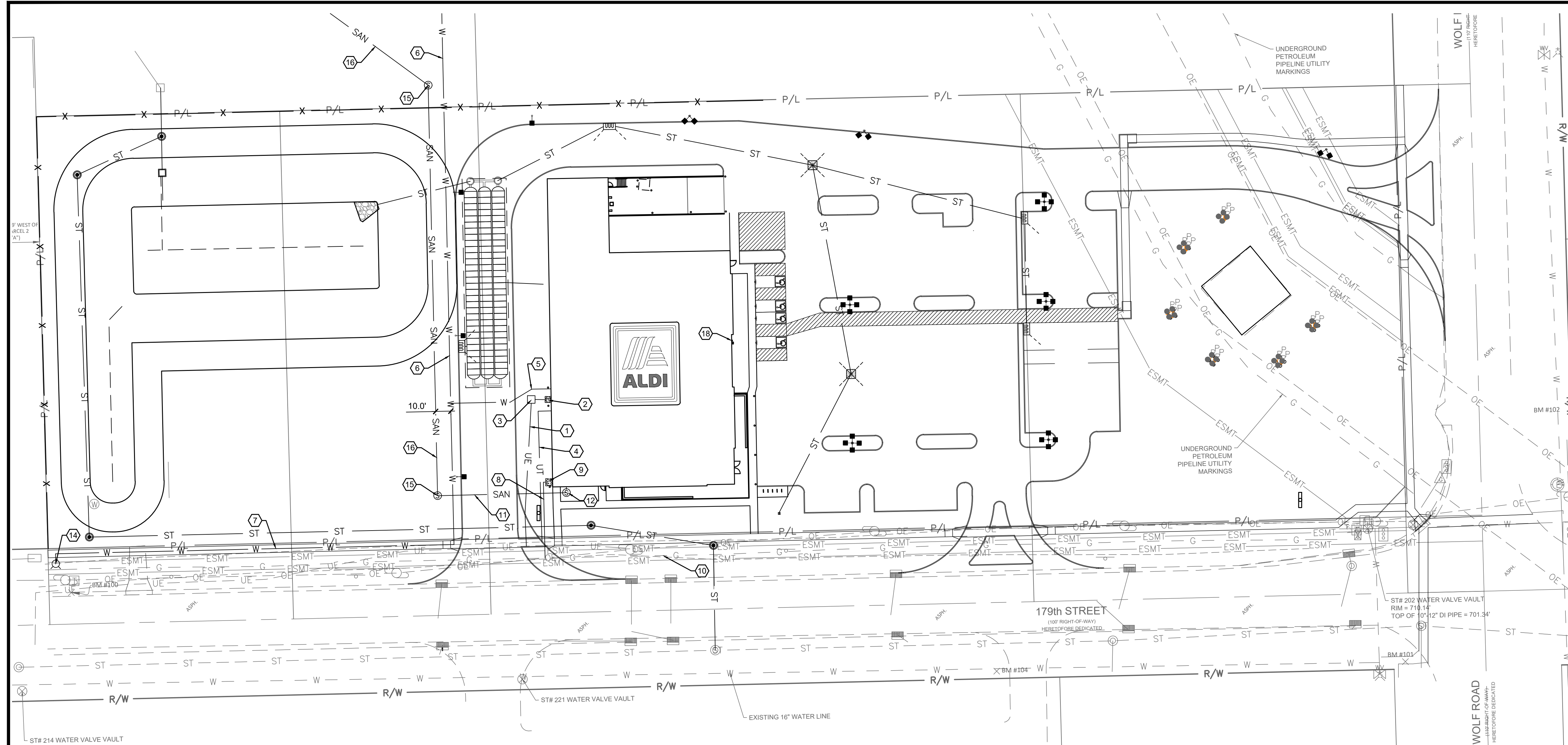
0 20 40 60 80
 SCALE: 1"=40'

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 Orland Park, IL 60467
 Cook County
 PIN: 27-31-202-021-000-022
 Project Name & Location:

Site Plan	
Drawing Name:	
Prototype Rls. 06/03/20	Project No. 40200-91
Type: LHS-D-V7ER	C-2
Scale: As Noted	Drawing No.

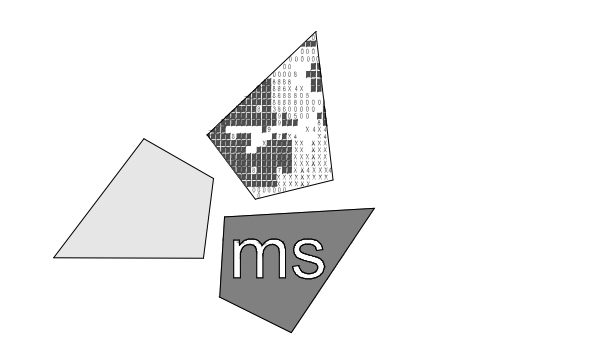


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- C. ALL EXISTING UTILITIES, ARE TAKEN FROM SURVEY AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.
- D. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. PROPOSED UTILITIES SHOULD TIE INTO EXISTING UTILITIES AT A POINT INDICATED ON PLANS.
- E. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATION IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- F. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING UTILITIES DURING CONSTRUCTION AND ALL DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER OR CITY.
- G. THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS TO NOT CAUSE DAMAGE.
- H. CONTRACTOR TO VERIFY ELEVATIONS OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION AND NOTIFY OWNER AND ENGINEER 3 DAYS PRIOR TO CONSTRUCTION.
- I. CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 4' OVER PROPOSED WATER SERVICE.
- J. ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SEEDED/SODDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
- K. ALL RADII ARE 5.0 FEET UNLESS OTHERWISE SHOWN. ALL RADII INDICATED ON PLANS SHALL BE CONSTRUCTED AS CIRCULAR ARCS.
- L. CONTRACTOR SHALL INCLUDE AS A BID ALTERNATE A LINE ITEM FOR SOIL STABILIZATION BY OVEREXCAVATION OR LIME/CEMENT STABILIZATION EQUAL TO APPROXIMATELY 25 PERCENT OF THE ANTICIPATED SUBGRADE. THIS QUANTITY SHALL BE IN EXCESS OF THAT ESTIMATED FOR THE REMOVAL OF UNSUITABLE SOILS. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
- M. ALL DISTURBED AREAS WITHIN COUNTY ROW TO BE RESTORED WITH 4" OF TOPSOIL AND SOD.
- N. THERE SHALL BE A MINIMUM TEN-FOOT HORIZONTAL SEPARATION BETWEEN WATER TAPS, WATER SERVICES, PRIVATE WATER SYSTEMS, AND ANY SANITARY AND/OR STORM SEWER SYSTEMS, WHERE TEN-FOOT HORIZONTAL SEPARATION CANNOT BE OBTAINED, THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- O. CONTRACTOR SHALL BACKFILL TRENCHES WITHIN COUNTY ROW TO MEET THE REQUIREMENTS OF ARTICLE 208.02 OF THE IDOT STANDARD SPECIFICATIONS.
- P. CONTRACTOR TO COORDINATE CONNECTION OF 8" WATER MAIN EXTENSION TO 8" WATER MAIN ALONG BRADLEY CT WITH CAMBRIDGE PLACE SUBDIVISION DEVELOPER. CONTRACTOR TO INSTALL SHUT-OFF VALVE AND BOX, PER VILLAGE OF ORLAND PARK STANDARDS PRIOR TO CONNECTION.

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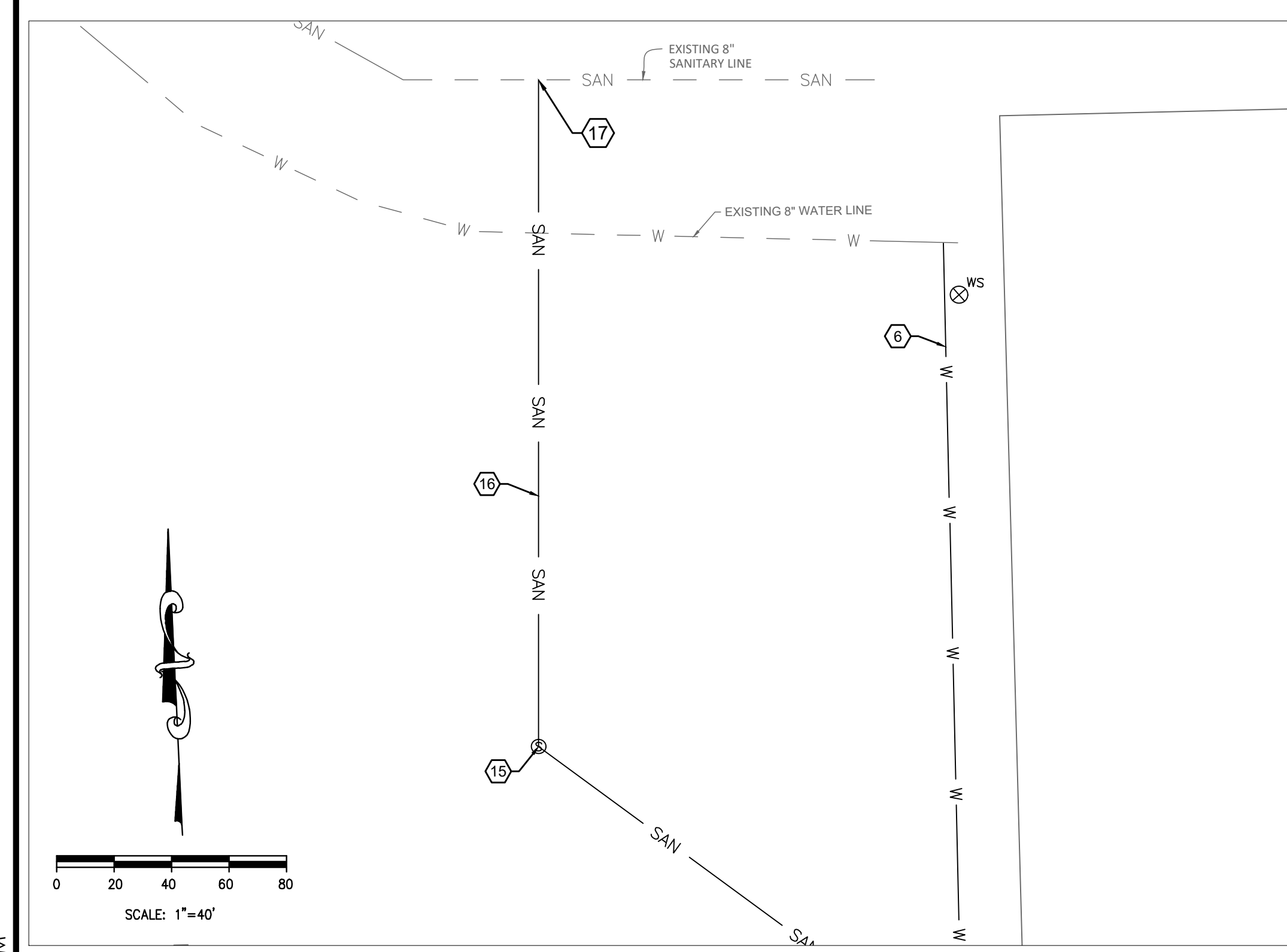


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DRAWN BY: TDB/KPD

REVIEWED BY: IA

Seal



KEYED NOTES:

- ① PROPOSED ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE CONDUIT SIZE, NUMBER OF CONDUITS, CONNECTIONS, AND BEND RADII WITH UTILITY OWNER AND MEP PLANS. CONTRACTOR TO COORDINATE CONNECTION TO EXISTING WITH UTILITY OWNER.
- ② PROPOSED ELECTRIC METER. COORDINATE LOCATION WITH UTILITY OWNER AND ELECTRICAL PLANS.
- ③ PROPOSED ELECTRIC TRANSFORMER. CONTRACTOR TO COORDINATE LOCATION AND CONNECTION WITH UTILITY OWNER.
- ④ PROPOSED UNDERGROUND TELEPHONE SERVICE. SEE MEP PLANS FOR DETAILS. CONTRACTOR TO COORDINATE CONDUIT SIZE, NUMBER OF CONDUITS, CONNECTIONS, AND BEND RADII WITH UTILITY OWNER AND MEP PLANS.
- ⑤ PROPOSED 6" DUCTILE IRON COMBINED WATER SERVICE. INCLUDE IN BASE BID ALL ADDITIONAL VALVES, PIPING, STRUCTURES, ETC., THAT WILL BE REQUIRED.
- ⑥ PROPOSED 8" WATER MAIN EXTENSION.
- ⑦ PROPOSED 16" WATER MAIN EXTENSION.
- ⑧ PROPOSED 2" GAS LINE.
- ⑨ PROPOSED GAS METER. COORDINATE LOCATION WITH UTILITY OWNER AND MEP PLANS.
- ⑩ APPROXIMATE LOCATION OF EXISTING GAS MAIN. CONTRACTOR TO TAKE CARE EXCAVATING NEAR MAIN AND CONTACT ENGINEER IF ELEVATION OF GAS LINE INTERFERES WITH UTILITY CONNECTIONS.
- ⑪ PROPOSED 6" SANITARY SEWER. ASTM 3034, SDR-26. SEWER TO HAVE MINIMUM SLOPE OF 1.00%.
- ⑫ PROPOSED SANITARY SEWER INSPECTION MANHOLE.
- ⑬ EXISTING SANITARY SEWER MANHOLE.
- ⑭ PROPOSED FIRE HYDRANT.
- ⑮ PROPOSED SANITARY SEWER MANHOLE.
- ⑯ PROPOSED 8" SANITARY SEWER MAIN EXTENSION. DESIGN TO BE COORDINATED WITH CITY ENGINEER.
- ⑰ PROPOSED CONNECTION TO EXISTING 8" SANITARY SEWER IN CAMBRIDGE PLACE SUBDIVISION. EXACT LOCATION TO BE COORDINATED WITH CITY ENGINEER.
- ⑱ PROPOSED FIRE DEPARTMENT CONNECTION.

NOTE:
 WATER SERVICE FOR FIRE, DOMESTIC AND COMBINATION SERVICES SHALL BE INSTALLED AND TESTED FROM THE MAIN TO THE INTERIOR OF THE BUILDING BY SAME PLUMBING CONTRACTOR.

LEGEND

FEATURE		DESCRIPTION
EXISTING	PROPOSED	DESCRIPTION
- - - ST	— ST —	STORM LINE
- - - SAN	— SAN —	SANITARY LINE
- - - W	— W —	WATER LINE
- - - UE	— UE —	UNDERGROUND ELECTRIC LINE
- - - G	— G —	GAS LINE
- - - T	— UT —	UNDERGROUND COMMUNICATION LINE
		CATCH BASIN
		STORM MANHOLE
		SANITARY STRUCTURE
		FIRE HYDRANT
		ELECTRICAL STRUCTURE
		UTILITY POLE
		LIGHT POLE

PLOTTED: 11/22/2021 9:15 AM

PROPOSED SANITARY SEWER AND WATER EXTENSIONS

SCALE: 1"=40'

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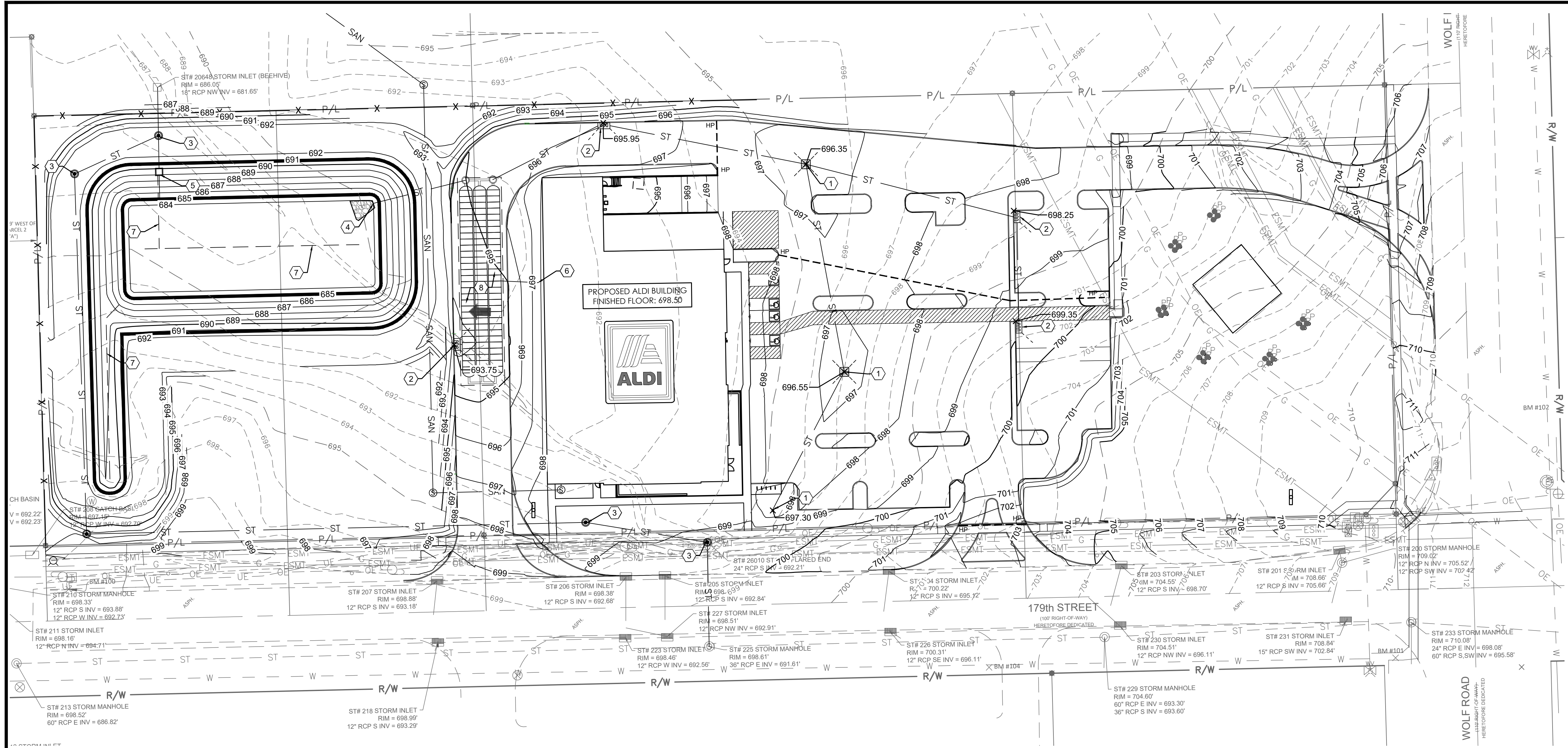
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Utility Plan

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Prototype Rls. 06/03/20	40200-91
Type: LHSD-V7ER	
Scale: As Noted	Drawing No. C-3



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- C. ALL PROPOSED ELEVATIONS SHOWN ARE FINAL GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
- D. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- E. OWNER IS RESPONSIBLE FOR MAINTAINING AND CLEANING PROPOSED STORM SYSTEM AS NEEDED SO AS WATER STORAGE AREAS ARE NOT REDUCED.
- F. CONTRACTOR TO VERIFY ALL EXISTING GRADES AND CONTACT ENGINEER PRIOR TO BEGINNING WORK IF DISCREPANCY IS FOUND.
- G. THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS TO NOT CAUSE DAMAGE.
- H. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE CONSTRUCTION IS TO START. TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATION IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- I. ALL WORK SHALL BE PERFORMED FROM PRIVATE PROPERTY. ALL TRAFFIC LANES MUST REMAIN OPEN AT ALL TIMES.
- J. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING UTILITIES DURING CONSTRUCTION AND ALL DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER OR CITY.
- K. ALL STORM CONDUITS SHALL BE ADS N-12 HDPE, UNLESS OTHERWISE NOTED.
- L. BY GRAPHICAL PLOTTING ONLY, THIS SITE IS SITUATED IN FEMA FLOOD ZONE X PER FIRM #17031C0684J, EFFECTIVE AUGUST 19, 2008.
- M. MAINTAIN 36" COVER OVER STORM LINES.
- N. CONTRACTOR TO AVOID REMOVING EXISTING ROADWAY PAVEMENT. IF PAVEMENT MUST BE REMOVED OR IS DAMAGED, IT SHOULD BE REPLACED IN KIND.

KEYED NOTES:

- 1 PROPOSED SQUARE CATCH BASIN.
- 2 PROPOSED CURB INLET.
- 3 PROPOSED STORM MANHOLE.
- 4 PROPOSED CONCRETE HEADWALL.
- 5 PROPOSED OUTLET STRUCTURE.
- 6 PROPOSED DOWNSPOUT COLLECTOR SYSTEM AND HEADER PIPE.
- 7 PROPOSED UNDERDRAIN.
- 8 PROPOSED UNDERGROUND DETENTION SYSTEM.

LEGEND

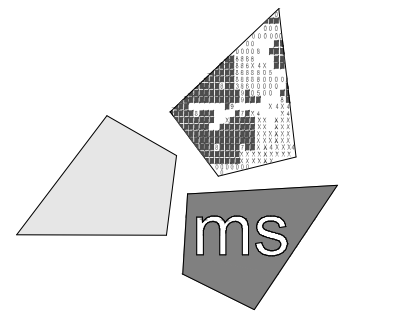
EXISTING	PROPOSED	DESCRIPTION
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981	981	MINOR CONTOUR LINES
[Symbol]	[Symbol]	STORM STRUCTURE
[Symbol]	[Symbol]	STORM MANHOLE
[Symbol]	[Symbol]	MAJOR FLOOD ROUTING

DETENTION SUMMARY

	AC-FT	CF
MAX. 100-YEAR VOLUME FROM SITE	3.656	159,255
VOLUME DISCHARGED DURING PEAK 100-YEAR EVENT	.743	32,365
REQUIRED VOLUME	2.913	126,890
PROVIDED VOLUME	3.693	160,867

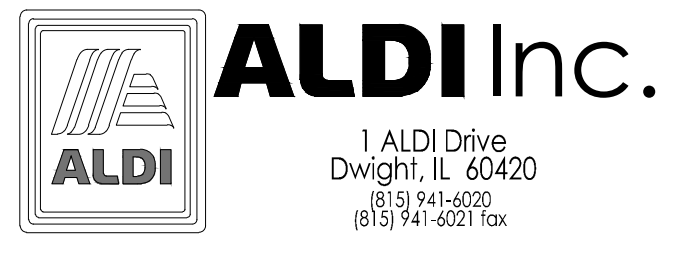
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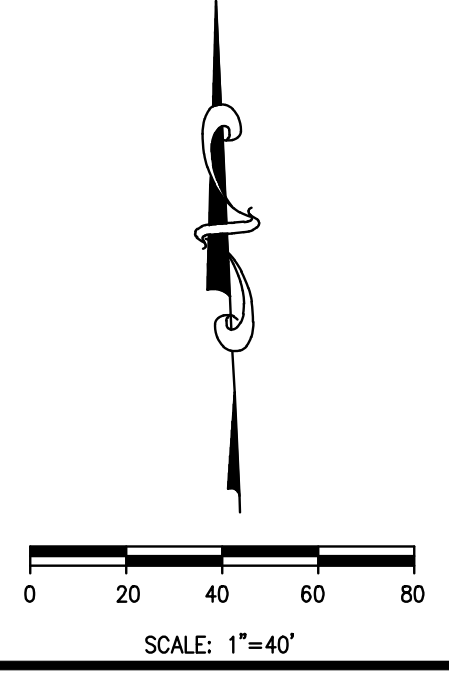


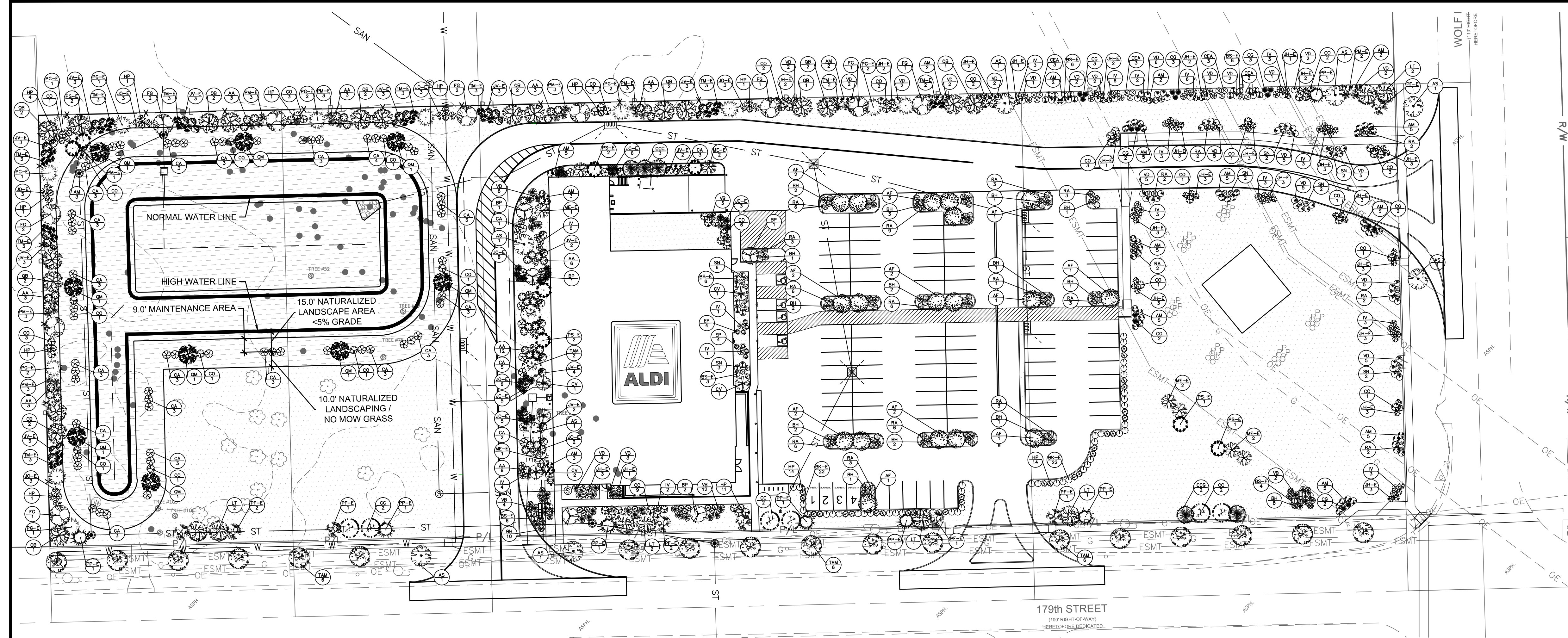
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 Orland Park, IL
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 Cook County
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 Project Name & Location:

Grading Plan

Drawing Name:
 Prototype RIs: 06/03/20
 Project No. 40200-91
 Type: LHS-D-V7ER

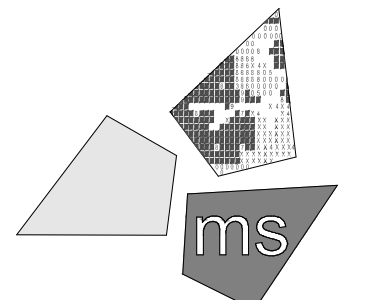
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GENERAL NOTES:

- ALL PLANT MATERIALS TO COMPLY WITH THE LATEST EDITION OF A.N.A. STANDARDS FOR NURSERY STOCK AND BE GUARANTEED UNTIL THE CERTIFICATE OF OCCUPANCY IS OBTAINED OR FOR A PERIOD OF ONE (1) YEAR FROM INSTALLATION DATE.
- LANDSCAPE CONTRACTOR IS TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND RECEIVE APPROVAL FROM GENERAL CONTRACTOR OR SITE SUPERVISOR, IF NECESSARY, TO MAKE CHANGES IN PLANT LOCATIONS.
- LANDSCAPE CONTRACTOR MUST COORDINATE WITH GENERAL CONTRACTOR AND OTHER SITE OPERATIONS.
- MINOR ADJUSTMENTS TO THE PLANT LOCATIONS ARE TO BE MADE IN THE CASE OF ANY CONFLICTS WITH PROPOSED UTILITIES.
- ALL PLANTING BEDS AND FREE STANDING TREES TO BE MULCHED WITH 3" OF SHREDED HARDWOOD MULCH. BEDS ARE TO BE GRADED SMOOTH AND FREE OF SOIL CLOUDS AND STONES. ALL TREES TO BE STAKED AND WRAPPED WITH KRAFT TREE WRAP.
- ALL PLANTS ARE TO BE REMOVED FROM CONTAINERS, CAGES AND NON-BIODEGRADABLE MATERIALS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADES; LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND TO PROVIDE 4" OF AMENDED TOPSOIL FOR PLANTING BEDS.
- ALL ORGANIC MATTER AND DEBRIS ARE TO BE REMOVED FROM THE SITE BY THE LANDSCAPE CONTRACTOR. LAWN AREAS AND BEDS SHOULD BE FREE OF STONES GREATER THAN 2"
- PLANT QUANTITIES HAVE BEEN PROVIDED FOR CONVENIENCE ONLY; THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR HIS OWN "TAKE OFFS". DRAWING PREVAILS OVER WRITTEN QUANTITIES.
- THE LANDSCAPE CONTRACTOR SHALL SUBMIT A ONE (1) YEAR MAINTENANCE CONTRACT FOR CONSIDERATION BY THE OWNER. CONTRACT SHALL BE SEPARATE FROM INSTALLATION CONTRACT.
- PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE APPLIED AT PRODUCT SPECIFIED RATE UNLESS OTHERWISE NOTED.
- PLANTING SHALL BE FERTILIZED UPON INSTALLATION. RECOMMENDED FERTILIZER SHALL BE MIXED WITH BACKFILL AT PRODUCT SPECIFIED RATE.
- BED EDGE SHALL BE SMOOTH, CONSISTENT 4 1/2" DEEP AND HAND CUT. EDGES TO BE LOCATED BETWEEN ALL BEDS (INCLUDING TREES) AND LAWN AREAS.
- TOPSOIL SHALL BE BACK FILLED TO PROVIDE POSITIVE DRAINAGE OF ALL LANDSCAPE AREAS. SEE GRADING AND DRAINAGE PLAN.
- CONTRACTOR TO INSTALL DECIDUOUS TREES AND ALL SHRUBS PER PLANTING DETAILS LOCATED ON SHEET C-6.
- NURSERY STOCK IDENTIFICATION TABS SHALL NOT BE REMOVED FROM ANY PLANTING PRIOR TO INSPECTION AND APPROVAL OF FINAL INSTALLATION.
- ALL DISEASED, DAMAGED OR DEAD MATERIALS SHALL BE REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE XIII OF THE VILLAGE OF ORLAND PARK MUNICIPAL CODES.
- EXISTING TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING GRINDING AND REMOVAL OF STUMPS. CAUTION SHOULD BE TAKEN TO MAKE SURE NO NEIGHBORING PROPERTY TREES ARE CUT DOWN. REFER TO LEGEND AND PLAN FOR EXISTING TREES TO REMAIN.
- PROPOSED FENCE ALONG TYPE 3 BUFFERYARD TO BE 6' TALL SOLID FENCE, TREX SECLUSIONS® IN WINCHESTER GREY COLOR, OR APPROVED EQUAL.

PROPOSED PLANT SCHEDULE

CANOPY TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	QTY
FG	FAGUS GRANDIFOLIA	AMERICAN BEECH	B+B	2 1/2"	10
QM	QUERCUS MACROCARPA	BUR OAK	B+B	2 1/2"	9
AS	ACER SACCHARUM	SUGAR MAPLE	B+B	2 1/2"	8
TAM	TILIA AMERICANA MCKSENTRY	AMERICAN SENTRY LINDEN	B+B	2 1/2"	20
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	B+B	2 1/2"	19
LT	LIRIODENDRON TULIPIFERA	TULIP TREE	B+B	2 1/2"	8
CC	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B+B	2 1/2"	6
AF	ACER FREEMANII	FREEMAN MAPLE	B+B	2 1/2"	18
BP	BETULA POPULIFOLIA	WHITE BIRCH	B+B	2 1/2"	5
CCG	CRATAEGUS CRUS-GALLI VAR. INERMIS	COCKSPUR HAWTHORN	B+B	2 1/2"	5
CV	CHIONANTHUS VIRGINICUS	FRINGE TREE	B+B	2 1/2"	5
CA	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	B+B	60" MIN.	66
CO	CORYLUS AMERICANA	AMERICAN FILBERT	B+B	60" MIN.	54
VB	VIBURNUM PRUNIFOLIUM	BLACKHAW VIBURNUM	B+B	96" MIN.	34
VD	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	B+B	36" MIN.	65
AA	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	B+B	60" MIN.	42
IV	ILEX VERTICILLATA	COMMON WINTERBERRY	B+B	36" MIN.	52
AM	ARONIA MELANOCARPA	BLACK CHOKEBERRY	B+B	36" MIN.	64
HP	HYPERICUM PROLIFICUM	SHRUBBY ST. JOHNSWORT	B+B	36" MIN.	51
RA	RHUS AROMATICA	GRO LOW SUMAC	B+B	30" MAX.	72

PROPOSED PLANT SCHEDULE

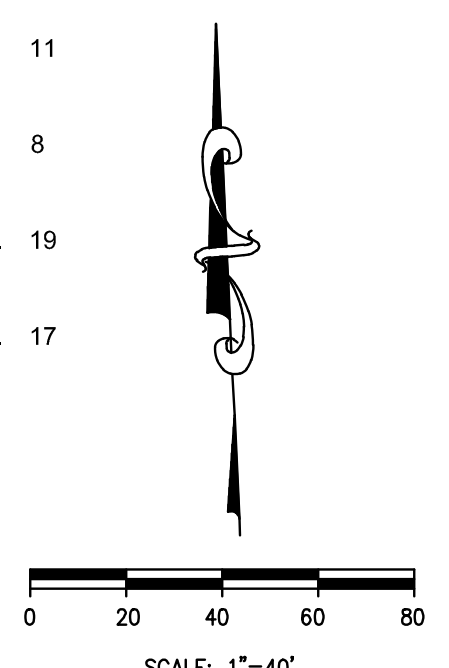
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	QTY
ME-E	PSEUDOTSUGA MENZIENSII	DOUGLAS FIR	B+B		8
PS-E	PINUS STROBES	EASTERN WHITE PINE	B+B		8
PF-E	PINUS FLEXILIS	LIMBER PINE	B+B		8
PP-E	PICEA PUNGENS	COLORADO SPRUCE	B+B		7
PG-E	PICEA GLAUCA	BLACK HILLS SPRUCE	B+B		12
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	QTY
JH-E	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	B+B	36" MIN.	58
PM-E	PINUS MUGO	MUGO PINE	B+B	60" MIN.	23
TM-E	TAXUS X MEDIA	DENSE YEW	B+B	60" MIN.	26
JV-E	JUNIPERUS VIRGINIANA	EASTERN RED-CEDAR	B+B	60" MIN.	34
JO-E	THUJA OCCIDENTALIS	EASTERN ARBORVITAE	B+B	60" MIN.	23
JC-E	JUNIPERUS CHINENSIS	CHINESE JUNIPER	B+B	36" MIN.	27
BK-E	BUXUS KOREANA	KOREAN BOXWOOD	B+B	36" MIN.	44
BS-E	BUXUS SEMPERVIRENS	COMMON BOXWOOD	B+B	36" MIN.	31
PERENNIALS	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	QTY
BH	BAPTISIA HYBRIDS	FALSE INDIGO	B+B	24" MIN.	20
CEA	CEANOTHUS AMERICANUS	NEW JERSEY TEA	B+B	36" MIN.	11
EP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	B+B	12" MIN.	8
SN	SYMPHYOTRICHUM NOVI-BELGII	NEW YORK ASTER	B+B	24" MIN.	19
CG	CHELONE GLABRA	WHITE TURTLE-HEAD	B+B	24" MIN.	17

LEGEND

FEATURE	DESCRIPTION
	EXISTING NON-REPLACEMENT STANDARD TREE
	EXISTING REPLACEMENT STANDARD TREE
	EXISTING TREE TO REMAIN
	AREA TO BE GRADED AND SODDED
	NATURALIZED LANDSCAPE AREA
	FENCE

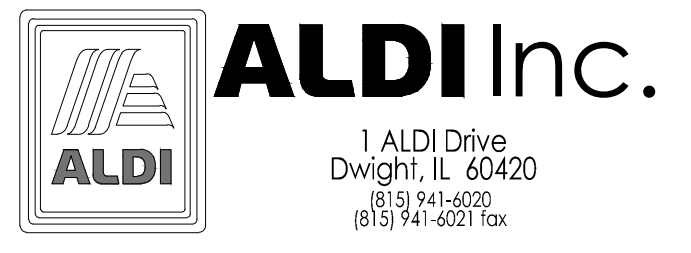
NATURALIZED LANDSCAPE AREA NOTES:

- THE AREA BELOW THE NORMAL WATER LINE SHALL BE PLANTED WITH A NATIVE DETENTION BASIN SEED MIX, TO BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT.
- THE AREA ABOVE THE NORMAL WATER LINE SHALL BE PLANTED WITH LOW PROFILE NATIVE PRAIRIE SEED MIX, TO BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT.



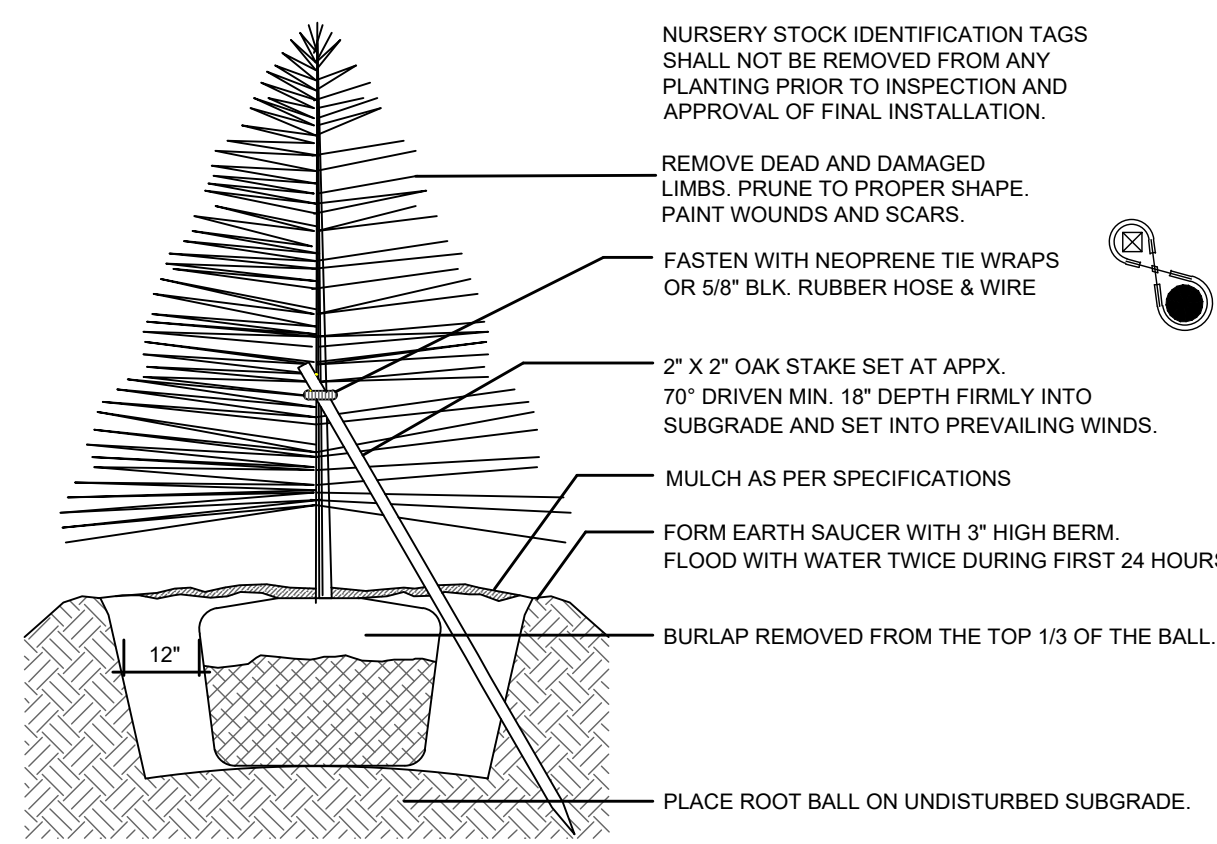
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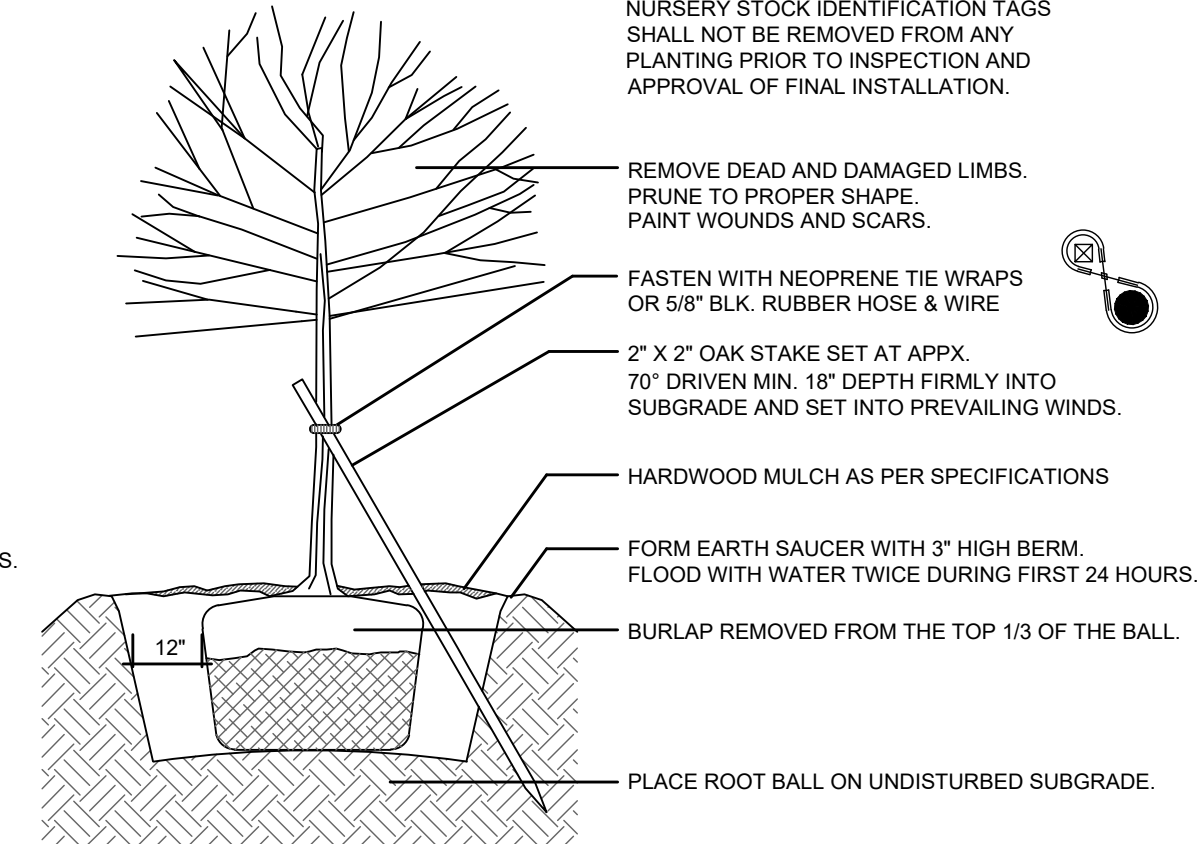


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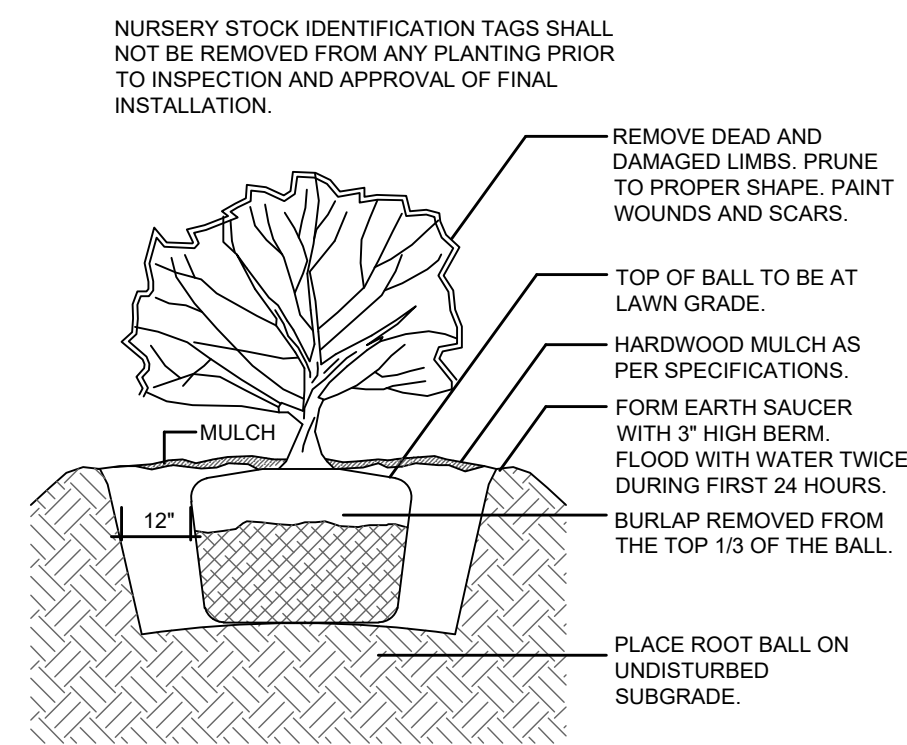
Landscape Plan	
Drawing Name:	
Prototype Rls. 06/03/20	Project No. 40200-91
Type: LHSD-V7ER	
Scale: As Noted	Drawing No. C-5



A EVERGREEN TREE PLANTING DETAIL
C6 N.T.S.



B DECIDUOUS TREE PLANTING DETAIL
C6 N.T.S.



C SHRUB PLANTING DETAIL
C6 N.T.S.

SITE DATA			
	SQ. FT. (#)	%	REQUIRED
TOTAL SITE AREA	253,851	-	-
TOTAL LANDSCAPE AREA	152,762	60.2	25.0%
TOTAL LANDSCAPE ISLANDS	3,761 (13)	-	1,620 SQ. FT. (9 ISLANDS)
TOTAL PARKING STALLS	17,460 (97)	-	86 PARKING STALLS
STANDARD PARKING STALL (20' X 9')	180	-	162 SQ. FT. (18' X 9')
*TOTAL PARKING STALLS: 1 PER 250 S.F. FLOOR AREA = 20,442 SQ. FT.			
**ONE (1) DETACHED PARKING LOT ISLAND PER 10 PARKING STALLS.			

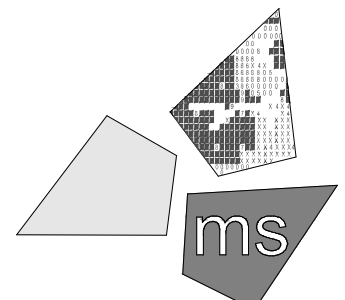
PLANT DIVERSITY			
TOTAL TREES	DECIDUOUS	EVERGREEN	TOTAL
PROPOSED TREES (NUMBER)	113	43	156
PROPOSED TREES (PERCENT)	72%	28%	100%
PERCENT ALLOWED PER TABLE 6-305.E.6.b(A)	65%-75%	25%-35%	
TOTAL SHRUBS	DECIDUOUS	EVERGREEN	TOTAL
PROPOSED SHRUBS (NUMBER)	500	266	766
PROPOSED SHRUBS (PERCENT)	65%	35%	100%
PERCENT ALLOWED PER TABLE 6-305.E.6.b(A)	65%-75%	25%-35%	
PLANTS AT DETENTION POND	NATIVE	NON-NATIVE	TOTAL
PROPOSED PLANTS (NUMBER)	73	0	73
PROPOSED PLANTS (PERCENT)	100%	0%	100%
PERCENT ALLOWED PER TABLE 6-305.E.6.b(A)	100%	0%	
TOTAL PLANTS (DETENTION POND EXCLUDED)	NATIVE	NON-NATIVE	TOTAL
PROPOSED PLANTS (NUMBER)	809	115	924
PROPOSED PLANTS (PERCENT)	88%	12%	100%
PERCENT ALLOWED PER TABLE 6-305.E.6.b(A)	30% (MIN.)	70% (MAX.)	

TEMPORARY SEEDING SPECIES SELECTION				
SEEDING DATES	SPECIES	LB/1000 SF	LB/ACREA	
MAR 1 TO AUG 15	OATS	3	128-4 BUSHEL	
	TALL FESCUE	1	40	
	ANNUAL RYEGRASS	1	40	
	PERENNIAL RYEGRASS	1	40	
	TALL FESCUE	1	40	
	ANNUAL RYEGRASS	1	40	
	ANNUAL RYEGRASS	1.25	55	
	PERENNIAL RYEGRASS	3.25	142	
	CREEPING RED FESCUE	0.40	17	
	KENTUCKY BLUEGRASS	0.40	17	
AUG 16 TO NOV	OATS	3	128-3 BUSHEL	
	TALL FESCUE	1	40	
	ANNUAL RYEGRASS	1	40	
	RYE	3	112-3 BUSHEL	
	TALL FESCUE	1	40	
	ANNUAL RYEGRASS	1	40	
	WHEAT	3	120-2 BUSHEL	
	TALL FESCUE	1	40	
	ANNUAL RYEGRASS	1	40	
	PERENNIAL RYE	1	40	
NOV 1 TO FEB 29	TALL FESCUE	1	40	
	ANNUAL RYEGRASS	1	40	
	ANNUAL RYEGRASS	1.25	40	
	PERENNIAL RYEGRASS	3.25	40	
	CREEPING RED FESCUE	0.40	40	
	KENTUCKY BLUEGRASS	0.40	40	
	USE MULCH ONLY OR DORMANT SEEDING			

PLANT DIVERSITY			
CANOPY (SHADE) TREES	QTY	PCT	NATIVE
FAGUS GRANDIFOLIA	10	10%	Y
QUERCUS MACROCARPA	9	9%	Y
ACER SACCHARUM	8	8%	Y
QUERCUS BICOLOR	19	19%	Y
ACER FREEMANII	18	19%	Y
TILIA AMERICANA MCKSENTRY	20	21%	Y
LIRIODENDRON TULIPIFERA	8	8%	Y
CELTIS OCCIDENTALIS	6	6%	Y
TOTAL CANOPY (SHADE) TREES	98	100%	100%
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)	8	5%-30%	
EVERGREEN TREES	QTY	PCT	NATIVE
PSEUDOTSUGA MENZIENSII	8	19%	Y
PINUS STROBIS	8	19%	Y
PINUS FLEXILIS	8	19%	Y
PICEA PUNGENS	7	16%	Y
PICEA GLAUCA	12	27%	Y
TOTAL EVERGREEN TREES	43	100%	100%
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)	5	10%-40%	
ORNAMENTAL DECIDUOUS TREES	QTY	PCT	NATIVE
BETULA POPULIFOLIA	5	33%	Y
CRATAEGUS CRUS-GALLI VAR. INERMIS	5	33%	Y
CHIONANTHUS VIRGINICUS	5	33%	Y
TOTAL ORNAMENTAL DECIDUOUS TREES	15	100%	100%
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)	3	20%-45%	
DECIDUOUS SHRUBS	QTY	PCT	NATIVE
CORNUS ALTERNIFOLIA	66	13%	Y
CORYLUS AMERICANA	54	11%	Y
VIBURNUM PRUNIFOLIUM	34	7%	Y
VIBURNUM DENTATUM	65	13%	Y
ARONIA ARBUTIFOLIA	42	8%	Y
ILEX VERTICILLATA	52	11%	Y
ARONIA MELANOCARPA	64	13%	Y
HYPERICUM PROLIFICUM	51	10%	Y
RHUS AROMATICA	72	14%	Y
TOTAL DECIDUOUS SHRUBS	500	100%	100%
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)	8	5%-30%	
EVERGREEN SHRUBS	QTY	PCT	NATIVE
JUNIPERUS HORIZONTALIS	58	22%	Y
PINUS MUGO	23	8%	N
TAXUS X MEDIA	26	10%	N
JUNIPERUS VIRGINIANA	34	13%	Y
THUJA OCCIDENTALIS	23	8%	Y
JUNIPERUS CHINENSIS	27	10%	N
BUXUS KOREANA	44	17%	N
BUXUS SEMPERVIRENS	31	12%	N
TOTAL EVERGREEN SHRUBS	266	100%	43%
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)	8	5%-30%	
PERENNIALS	QTY	PCT	NATIVE
BAPTISIA HYBRIDS	20	27%	Y
CEANOTHUS AMERICANUS	11	15%	Y
ECHINACEA PURPUREA	8	11%	Y
SYMPHYOTRICHUM NOVI-BELGII	19	25%	Y
CHELONE GLABRA	17	22%	Y
TOTAL PERENNIALS	75	100%	100%
REQUIRED NUMBER OF SPECIES PER TABLE 6-305.E.6.b(A)	5	10%-40%	

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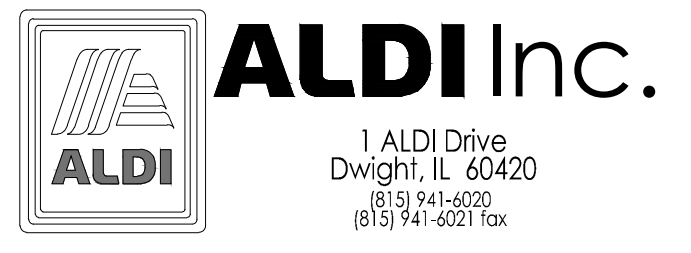
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