

PRELIMINARY ENGINEERING PLAN

FOR

ESTATES AT RAVINIA MEADOW

PARCEL INDEX NUMBER

27-21-200-010
27-21-400-004
ORLAND PARK, ILLINOIS

LOCATION MAP

COSTCO-ORLAND PARK, IL
PER DOC. 0529903097
(ZONED COR - MIXED USE)

SEE SHEET 2 FOR RAVINIA AVENUE IMPROVEMENTS

MONUMENT SIGN
(SEE LANDSCAPE PLANS FOR DETAILS)

BENCHMARK CONTROL POINTS

ELEVATION REFERENCE MARK:

NGS MONUMENT DK 2006 (PID DN4691); MONUMENT IS 39 FT WEST OF THE CENTERLINE OF WILL/COOK ROAD, 54 FT SOUTH OF THE CENTERLINE OF 167TH STREET, 10 FT WEST OF A TRAFFIC SIGNAL HAND HOLE AND 1 FT NORTHEAST OF AN ORANGE CARBONITE MARKER. NOTE-ACCESS TO THE DATUM POINT IS THROUGH A 6-INCH LOGO CAP AND THE ROD (DATUM POINT) IS SURROUNDED BY A FLOATING BRONZE DISK TO AID IN IDENTIFICATION
ELEVATION: 751.92 NAVD 88

CONTROL POINTS:

CP #100:
SET "+" ON NORTH SIDE OF CURB LINE OF LANDSCAPE MEDIAN AT EAST END OF RAVINIA AVENUE.
NORTHING: 1796395.13
EASTING: 1114132.92
ELEVATION: 695.77 NAVD 88

CP #217B:
FOUND "+" ON A CURBED NOSE OF PARKING LOT APPROXIMATELY 201 NORTH OF THE NORTH LINE OF 165TH STREET AND 85 FEET EAST OF THE EAST LINE OF THE SUBJECT SITE.
NORTHING: 1793913.97
EASTING: 1114556.24
ELEVATION: 711.83 NAVD 88

(ZONED COR - MIXED USE)

SCALE: 1 INCH = 100 FEET

FENCE
(SEE LANDSCAPE PLANS FOR DETAILS)

(ZONED E1 - ESTATE RESIDENTIAL)

RETAINING WALL TO BE MAINTAINED BY HOA

MISTEE RIDGE SUBDIVISION
PER DOC. 0319032089
(ZONED COR - MIXED USE)

SARATOGA PLACE - PHASE 1
PER DOC. 04082585
(ZONED COR - MIXED USE)

SARATOGA PLACE - PHASE 1
PER DOC. 04082585
(ZONED COR - MIXED USE)

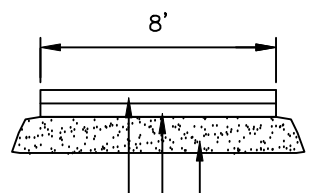
SARATOGA PLACE - PHASE 1
PER DOC. 04082585
(ZONED COR - MIXED USE)

RETAINING WALL TO BE MAINTAINED BY HOA

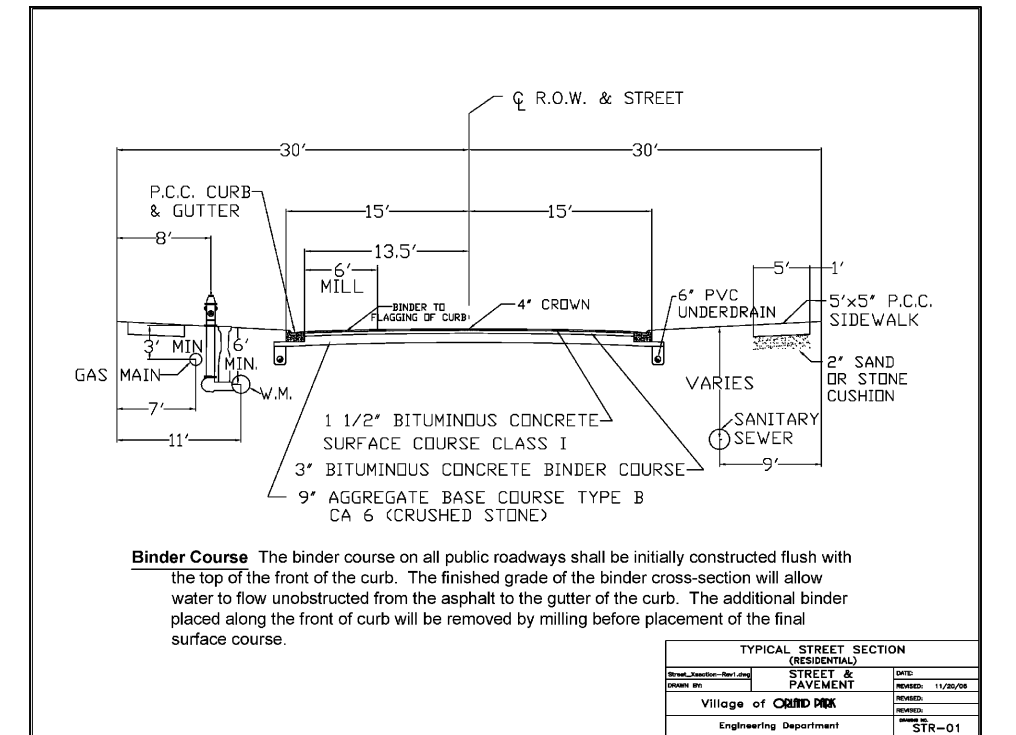
RETAINING WALL TO BE MAINTAINED BY HOA

NOTES

- ALL STREETS, UTILITY PIPES AND MAINS SHALL BE PUBLICLY OWNED AND MAINTAINED.
- STORMWATER STORAGE VOLUMES TO BE PROVIDED AND THE DESIGN OF STORMWATER MANAGEMENT FACILITIES SHALL BE IN ACCORDANCE WITH VILLAGE OF ORLAND PARK AND MWRD REQUIREMENTS.
- UNLESS OTHERWISE NOTED ALL WATERMAIN AND SANITARY SEWER TO BE 8" DIAMETER.
- ALL SANITARY SERVICE CONNECTIONS TO SANITARY SEWER MAINS MUST HAVE AN OVERHEAD SEWER SYSTEM WITHIN THE BUILDING.
- ANY EXISTING WELLS OR SEPTIC SYSTEMS TO BE REMOVED, ABANDONED AND/OR SEALED IN ACCORDANCE W/COOK COUNTY HEALTH DEPT. REGULATIONS. DOCUMENTATION TO BE PROVIDED TO THE VILLAGE.
- APPROPRIATE SIGNAGE AND STRIPING WILL BE PROVIDED WITH THE FINAL ENGINEERING PLANS.
- OUTLOTS A, B, C, D & E AND ALL STORMWATER MANAGEMENT AREAS WILL BE OWNED AND MAINTAINED BY THE HOA ALONG WITH ASSOCIATED STORM SEWER, UNDERDRAINS, CLEANOUTS AND OBSERVATION WELLS.
- THE PARK WILL BE OWNED AND MAINTAINED BY THE VILLAGE.



BIKE PATH DETAIL
N.T.S.



TYPICAL STREET SECTION
Village of Orland Park
Engineering Department

LEGEND

- APPROXIMATE LIMITS OF FLOODWAY SCALED FROM F.I.R.M. PANEL 17031C0703K
- APPROXIMATE LIMITS OF A SPECIAL ZONE AE SCALED FROM F.I.R.M. PANEL 17031C0703K
- APPROXIMATE LIMITS OF A SPECIAL ZONE AE BASED ON TOPO

PREPARED FOR:
PULTE HOME COMPANY, LLC
1900 E. GOLF ROAD, SUITE 300
SCHAUMBURG, IL 60173
(847) 230-5400

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DISC NO.: 402170 FILE NAME: PREOVR
DRAWN BY: PRP/DDD FLD. BK. / PG. NO.: BK./PG.
COMPLETION DATE: 08-23-24 JOB NO.: 402.170
XREF: TOPO_2008 PROJECT MANAGER : CRM
REVISED: 09-27-24/DDD,KMS, 10-02-24/DDD
REVISED: 11-04-24/LAL, 12-06-24/LAL

COVER SHEET 1 OF 10

PRE-ENG-1

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**SEE SHEET 2
FOR
RAVINIA AVENUE
IMPROVEMENTS**

FLARED END SECTION
w/RENO BLANKET

MONUMENT SIGN
(SEE LANDSCAPE
PLANS FOR DETAILS)

MEDIAN CURB CUT

TYPICAL WALL DETAIL
(N.T.S.)

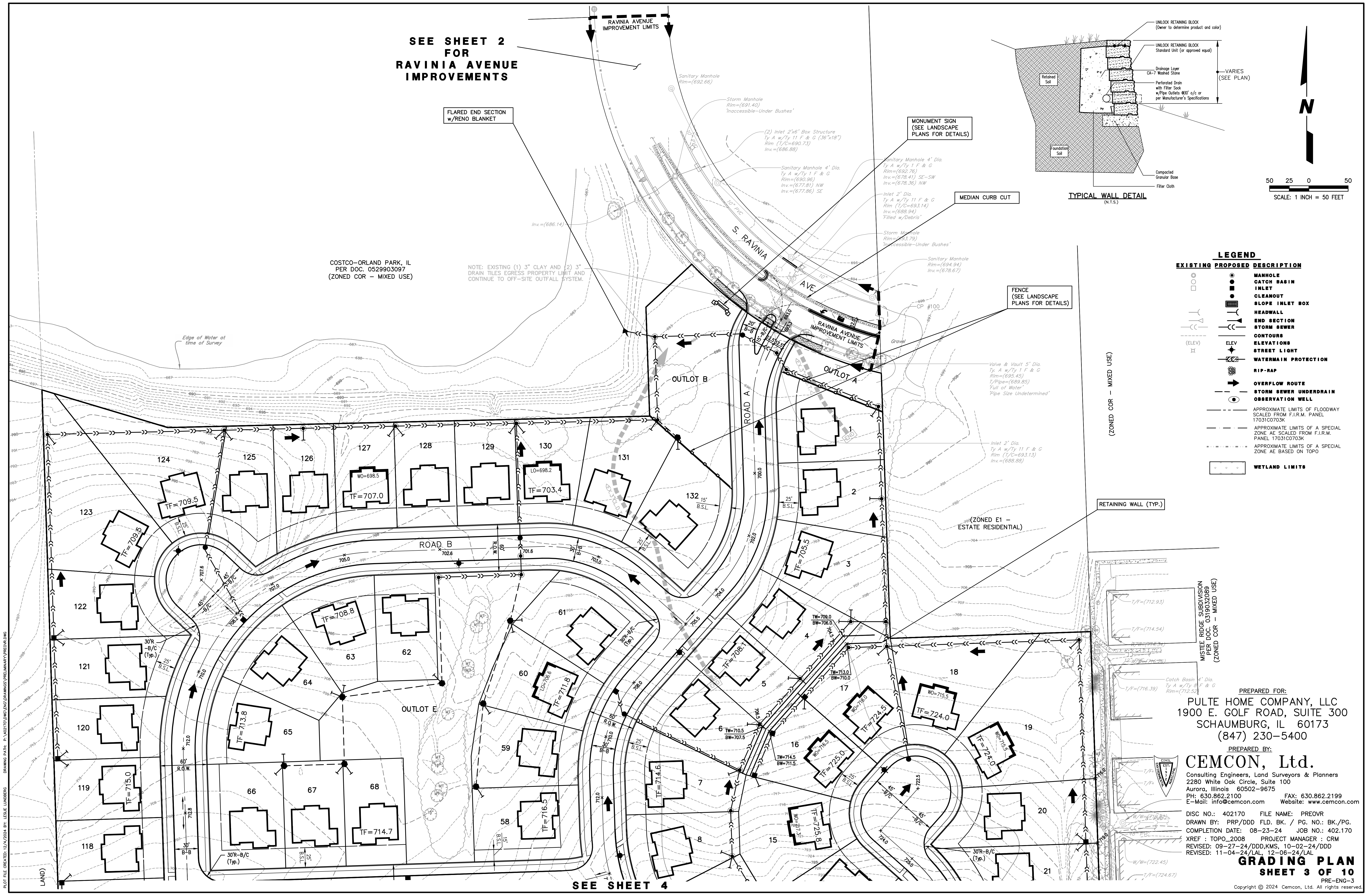
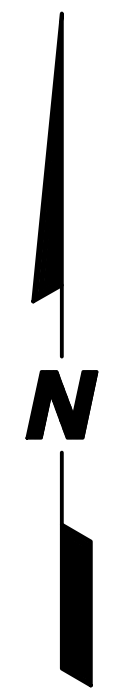
FENCE
(SEE LANDSCAPE
PLANS FOR DETAILS)

COSTCO-ORLAND PARK, IL
PER DOC. 0529903097
(ZONED COR - MIXED USE)

NOTE: EXISTING (1) 3" CLAY AND (2) 3" DRAIN TILES EGRESS PROPERTY LIMIT AND CONTINUE TO OFF-SITE OUTFALL SYSTEM.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
□	■	CATCH BASIN
○	●	INLET
○	●	CLEANOUT
○	●	SLOPE INLET BOX
○	●	HEADWALL
○	●	END SECTION
○	●	STORM SEWER
○	●	CONTOURS
○	●	ELEVATIONS
○	●	STREET LIGHT
○	●	WATERMAIN PROTECTION
○	●	RIP-RAP
○	●	OVERFLOW ROUTE
○	●	STORM SEWER UNDERDRAIN
○	●	OBSERVATION WELL
○	●	APPROXIMATE LIMITS OF FLOODWAY SCALED FROM F.I.R.M. PANEL 17031C0703K
○	●	APPROXIMATE LIMITS OF A SPECIAL ZONE AE SCALED FROM F.I.R.M. PANEL 17031C0703K
○	●	APPROXIMATE LIMITS OF A SPECIAL ZONE AE BASED ON TOPO
○	●	WETLAND LIMITS



SEE SHEET 4

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REVISED: 09-27-24/DD,KMS, 10-02-24/DDD
REVISED: 11-04-24/LAL, 12-06-24/LAL

GRADING PLAN
SHEET 3 OF 10

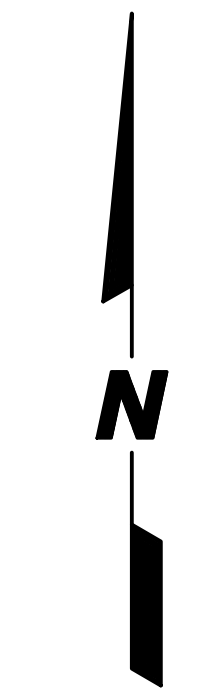
PRE-ENG-3
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SEE SHEET 4

SEE SHEET 6

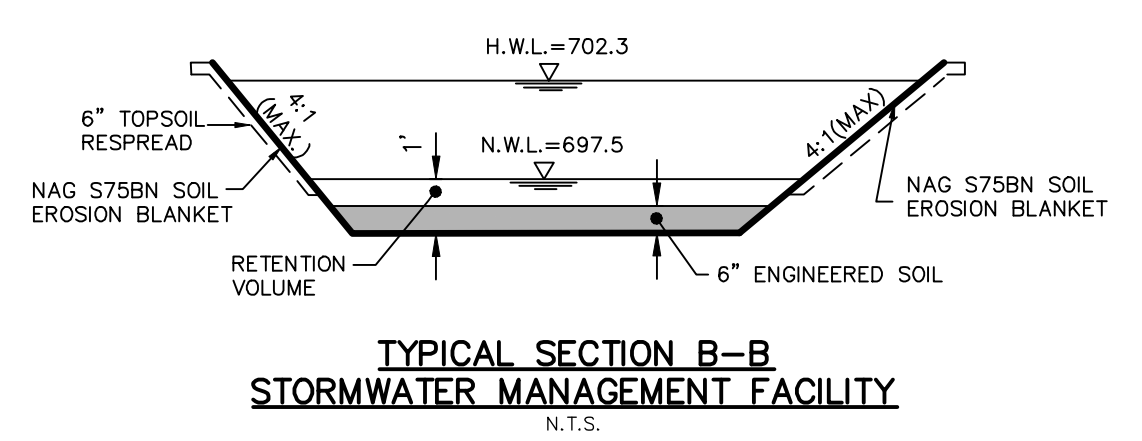
50 25 0 50
SCALE: 1 INCH = 50 FEET



LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
○	○	CATCH BASIN
○	○	INLET
○	○	CLEANOUT
○	○	SLOPE INLET BOX
○	○	HEADWALL
○	○	END SECTION
○	○	STORM SEWER
○	○	SANITARY SEWER
○	○	WATERMAIN
○	○	VALVE & BOX
○	○	WATER VALVE IN VAULT
○	○	FIRE HYDRANT
○	○	CONTOURS
○	○	ELEVATIONS
○	○	STREET LIGHT
○	○	WATERMAIN PROTECTION
○	○	RIP-RAP
○	○	OVERFLOW ROUTE
○	○	STORM SEWER UNDERDRAIN
○	○	OBSERVATION WELL
○	○	APPROXIMATE LIMITS OF FLOODWAY SCALED FROM F.I.R.M. PANEL 17031C0703K
○	○	APPROXIMATE LIMITS OF A SPECIAL ZONE AE SCALED FROM F.I.R.M. PANEL 17031C0703K
○	○	APPROXIMATE LIMITS OF A SPECIAL ZONE AE BASED ON TOPO
○	○	WETLAND LIMITS

STORMWATER MANAGEMENT FACILITY NO. 1
 NWL = 697.5
 DESIGN HWL = 702.3
 STORAGE REQUIRED = 17.63 Ac.-Ft.
 STORAGE PROVIDED @ OVERFLOW 702.5 = 18.59 Ac.-Ft.
 WETLAND FACILITY
 RETENTION VOLUME REQUIRED = 1.34 Ac.-Ft.
 RETENTION VOLUME PROVIDED = 1.66 Ac.-Ft.



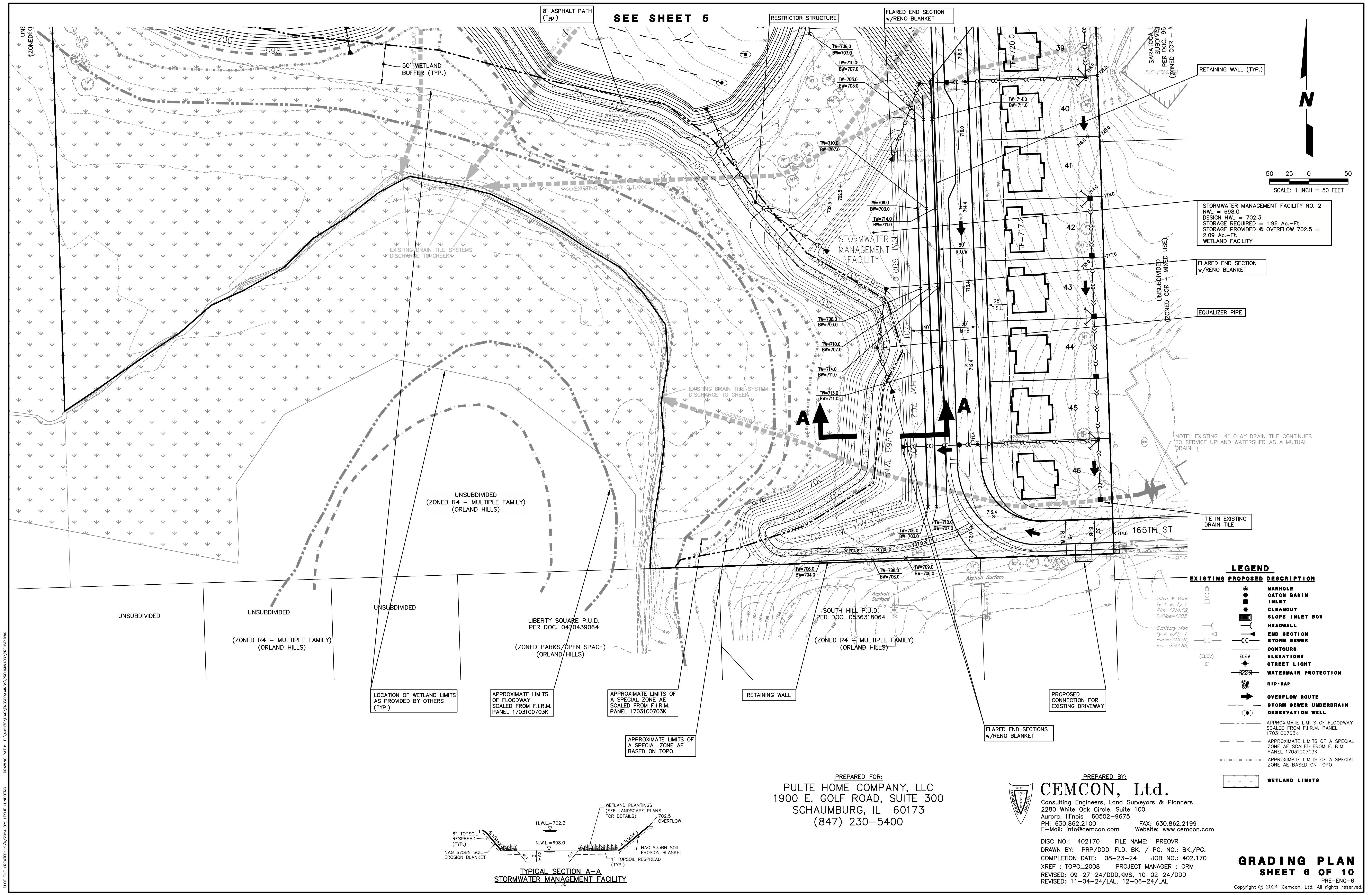
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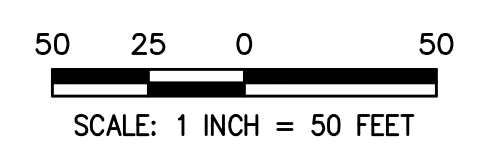
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 REVISED: 11-04-24/LAL, 12-06-24/LAL

GRADING PLAN
SHEET 5 OF 10
 PRE-ENG-5
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SEE SHEET 5



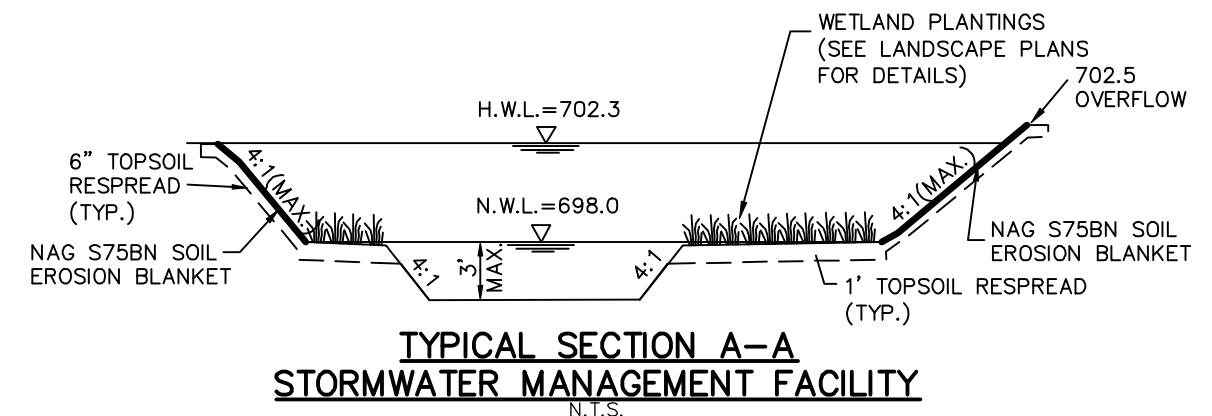
STORMWATER MANAGEMENT FACILITY NO. 2
 NWL = 698.0
 DESIGN HWL = 702.3
 STORAGE REQUIRED = 1.96 Ac.-Ft.
 STORAGE PROVIDED @ OVERFLOW 702.5 =
 2.09 Ac.-Ft.
 WETLAND FACILITY

FLARED END SECTION
 w/RENO BLANKET

EQUALIZER PIPE

NOTE: EXISTING 4" CLAY DRAIN TILE CONTINUES
 TO SERVICE UPLAND WATERSHED AS A MUTUAL
 DRAIN.

LEGEND	
EXISTING	PROPOSED DESCRIPTION
○	MANHOLE
⊙	CATCH BASIN
◐	INLET
◑	CLEANOUT
▭	SLOPE INLET BOX
— —	HEADWALL
— —	END SECTION
— —	STORM SEWER
— —	CONTOURS
(ELEV)	ELEVATIONS
+	STREET LIGHT
— —	WATERMAIN PROTECTION
— —	RIP-RAP
— —	OVERFLOW ROUTE
— —	STORM SEWER UNDERDRAIN
○	OBSERVATION WELL
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---	APPROXIMATE LIMITS OF A SPECIAL ZONE AE BASED ON TOPO
---	WETLAND LIMITS



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GRADING PLAN
 SHEET 6 OF 10
 PRE-ENG-6

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COSTCO-ORLAND PARK, IL
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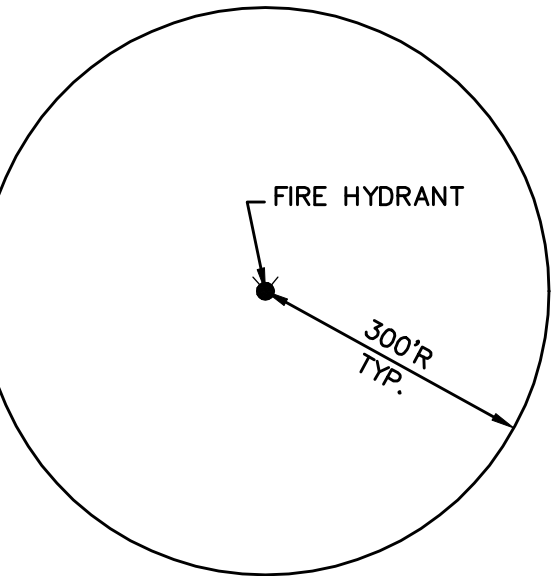
MONUMENT SIGN
 LANDSCAPE PLANS
 FOR DETAILS

CONNECT TO EXISTING
 SANITARY SEWER
 MANHOLE @ INV.=678.41

CONNECT TO EXISTING WATERMAIN
 WITH PRESSURE CONNECTION

EXISTING HYDRANT

FENCE
 (SEE LANDSCAPE
 PLANS FOR DETAILS)



HYDRANT SPACING
 N.T.S.

RETAINING WALL (TYP.)

(ZONED E1 -
 ESTATE RESIDENTIAL)

LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
□	■	CATCH BASIN
○	○	INLET
○	○	CLEANOUT
○	○	SLOPE INLET BOX
○	○	HEADWALL
○	○	END SECTION
○	○	STORM SEWER
○	○	SANITARY SEWER
○	○	WATERMAIN
○	○	VALVE & BOX
○	○	WATER VALVE IN VAULT
○	○	FIRE HYDRANT
○	○	STREET LIGHT
○	○	RIP-RAP
○	○	STORM SEWER UNDERDRAIN
○	○	OBSERVATION WELL
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---	---	APPROXIMATE LIMITS OF A SPECIAL ZONE AE BASED ON TOPO
---	---	WETLAND LIMITS

SEE SHEET 8

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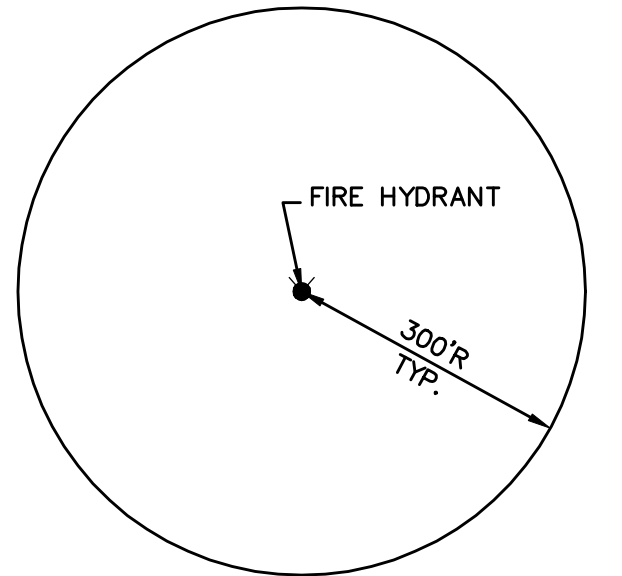
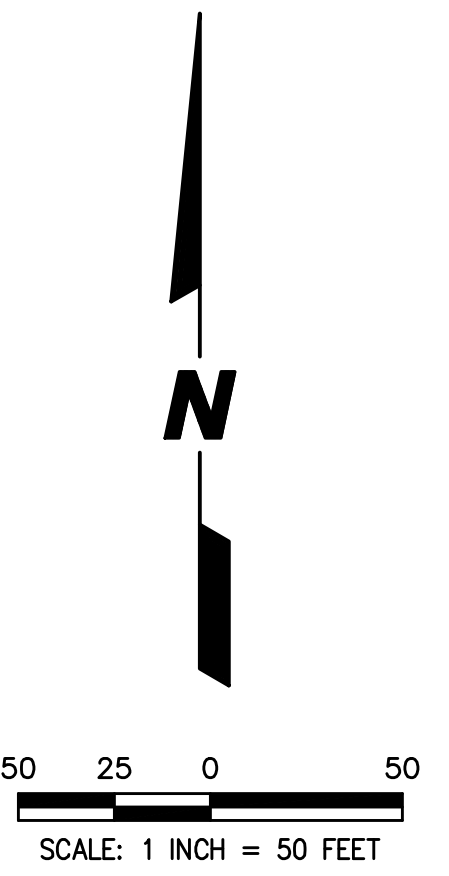
UTILITY PLAN
SHEET 7 OF 10
 PRE-ENG-7

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SEE SHEET 7

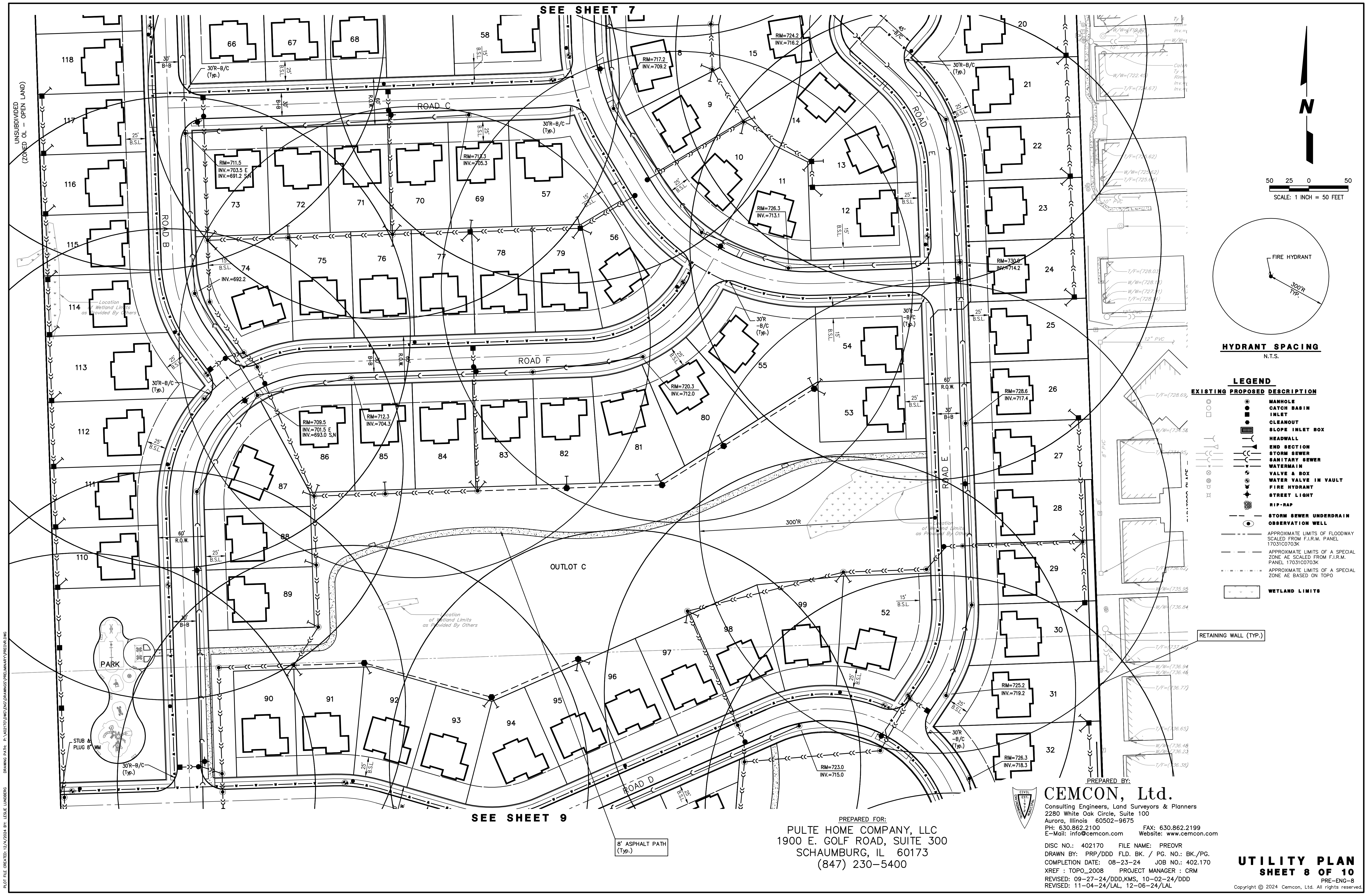
SEE SHEET 9



HYDRANT SPACING
N.T.S.

LEGEND
EXISTING PROPOSED DESCRIPTION

- MANHOLE
- CATCH BASIN INLET
- CLEANOUT
- SLOPE INLET BOX
- HEADWALL
- END SECTION
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- VALVE & BOX
- WATER VALVE IN VAULT
- FIRE HYDRANT
- STREET LIGHT
- RIP-RAP
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- WETLAND LIMITS



8' ASPHALT PATH (Typ.)

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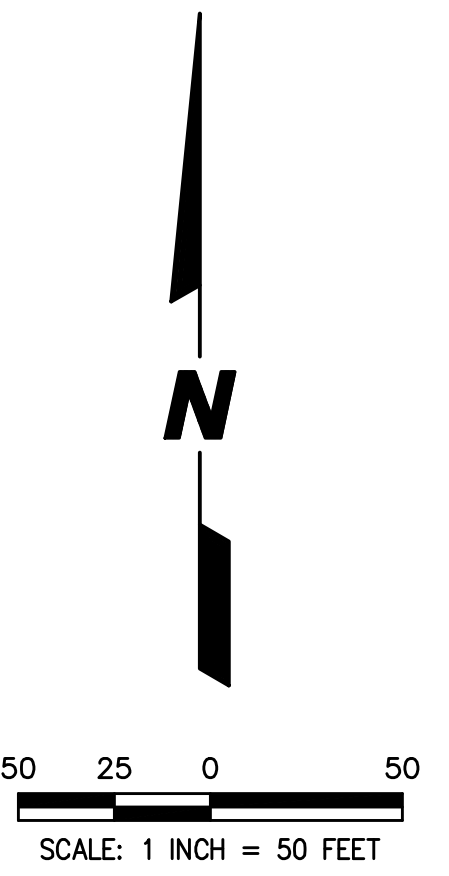
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UTILITY PLAN
SHEET 8 OF 10
 PRE-ENG-8
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SEE SHEET 8

SEE SHEET 10



LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
○	○	CATCH BASIN
○	○	INLET
○	○	CLEANOUT
○	○	SLOPE INLET BOX
○	○	HEADWALL
○	○	END SECTION
○	○	STORM SEWER
○	○	SANITARY SEWER
○	○	WATERMAIN
○	○	VALVE & BOX
○	○	WATER VALVE IN VAULT
○	○	FIRE HYDRANT
○	○	STREET LIGHT
○	○	RIP-RAP
○	○	STORM SEWER UNDERDRAIN
○	○	OBSERVATION WELL
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○	○	APPROXIMATE LIMITS OF A SPECIAL ZONE AE BASED ON TOPO
○	○	WETLAND LIMITS



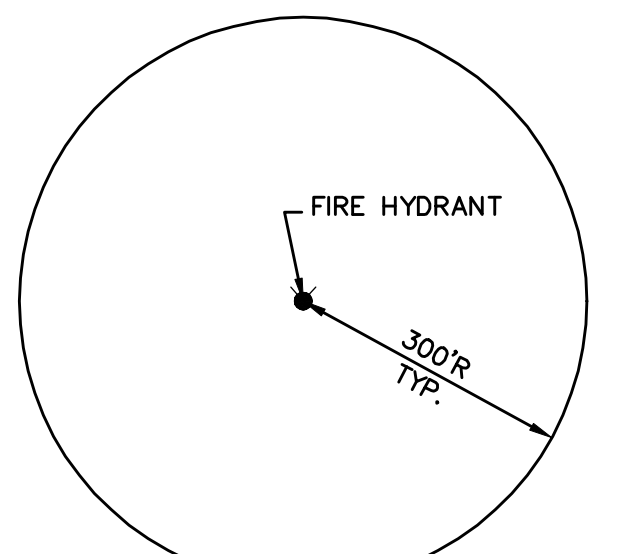
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APPROXIMATE LIMITS OF A SPECIAL ZONE AE BASED ON TOPO

RESTRICTOR STRUCTURE

APPROXIMATE LIMITS OF A SPECIAL ZONE AE SCALED FROM F.I.R.M. PANEL 17031C0703K

APPROXIMATE LIMITS OF FLOODWAY SCALED FROM F.I.R.M. PANEL 17031C0703K



HYDRANT SPACING
N.T.S.

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UTILITY PLAN
SHEET 9 OF 10
 PRE-ENG-9
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SEE SHEET 9



50 25 0 50
SCALE: 1 INCH = 50 FEET

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		MANHOLE
		CATCH BASIN
		INLET
		CLEANOUT
		SLOPE INLET BOX
		HEADWALL
		END SECTION
		STORM SEWER
		SANITARY SEWER
		WATERMAIN
		VALVE & BOX
		WATER VALVE IN VAULT
		FIRE HYDRANT
		STREET LIGHT
		RIP-RAP
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		APPROXIMATE LIMITS OF A SPECIAL ZONE AE BASED ON TOPO
		WETLAND LIMITS

NOTE: EXISTING 4" CLAY DRAIN TILE CONTINUES TO SERVICE UPLAND WATERSHED AS A MUTUAL DRAIN.

EXISTING HYDRANT
CONNECT TO EXISTING WATERMAIN. REPLACE EXISTING VALVE IF IT DOES NOT HOLD PRESSURE.

CONNECT TO EXISTING SANITARY SEWER MANHOLE

PROPOSED CONNECTION FOR EXISTING DRIVEWAY

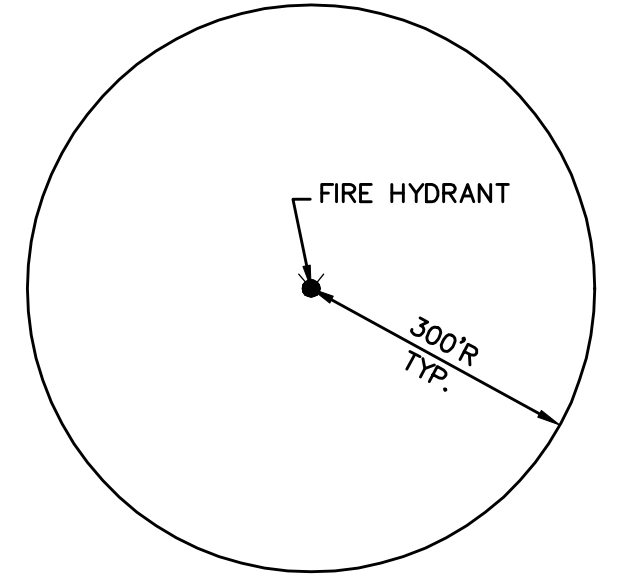
RETAINING WALL

APPROXIMATE LIMITS OF A SPECIAL ZONE AE BASED ON TOPO

APPROXIMATE LIMITS OF A SPECIAL ZONE AE SCALED FROM F.I.R.M. PANEL 17031C0703K

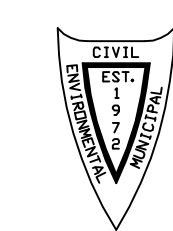
LOCATION OF WETLAND LIMITS AS PROVIDED BY OTHERS (TYP.)

APPROXIMATE LIMITS OF FLOODWAY SCALED FROM F.I.R.M. PANEL 17031C0703K



HYDRANT SPACING
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UTILITY PLAN
SHEET 10 OF 10
PRE-ENG-10

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