



Design Addendum

Submitted for Planning Division Review Development Services
Department: 07.15.2010
Submitted for Village Board Review: (27 copies)

Village of Orland Park, Illinois

Property Owner

Calvary Church

Proposed Development at :
SW Corner of 159th and 104th Avenue
31 acres

Construction Manager
The Milord Company, Philip Milord, Vice President
9801 Industrial Drive
Bridgeview, Illinois 60455

Land Planner / Architecture
LINDENGROUP , Grant Currier, Vice President
10100 Orland Parkway Suite 110
Orland Park, Illinois 60467

Civil Engineer
Seton Engineering Service Corporation
19 S. Bothwell St. Suite 100
Palatine, Illinois 60067

Landscape Architect
Bergfors Gregory Land Design, Ltd.
18641 West Creek Drive
Tinley Park, Illinois 60477

Traffic Consultant
KLOA
9575 W. Higgins Road Suite 400
Rosemont, Illinois 60018



BOARD APPROVED

Case No: 2010-0056

Date: 8/2/10

W/Conditions: Yes: Pages 1, 3,4,5 only

W/Out Conditions:

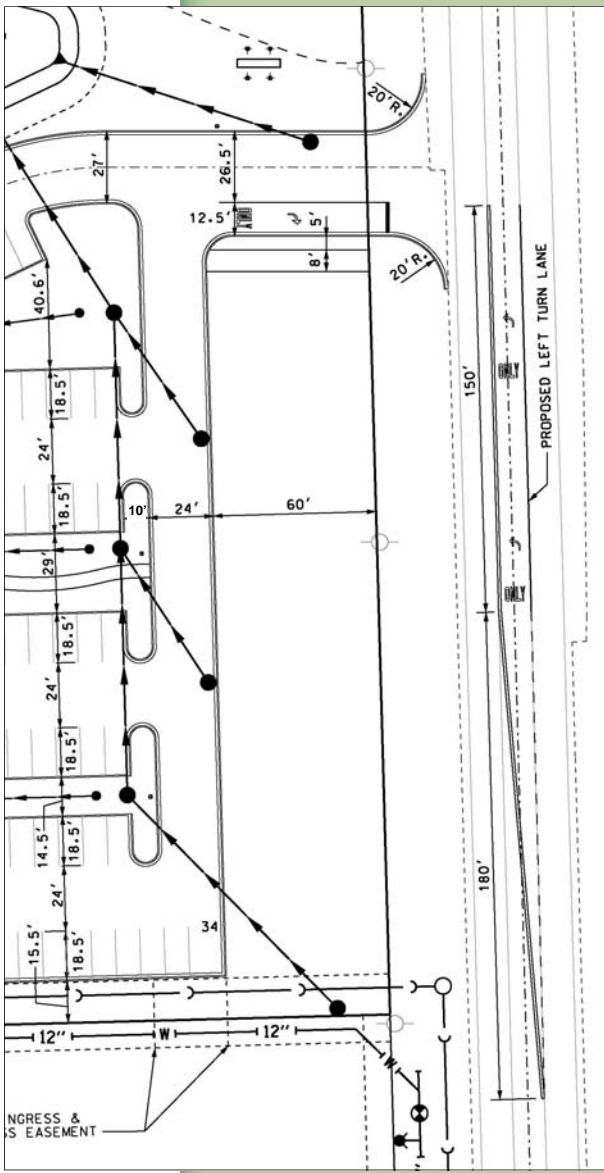
VILLAGE OF ORLAND PARK
COOK / WILL COUNTY, IL



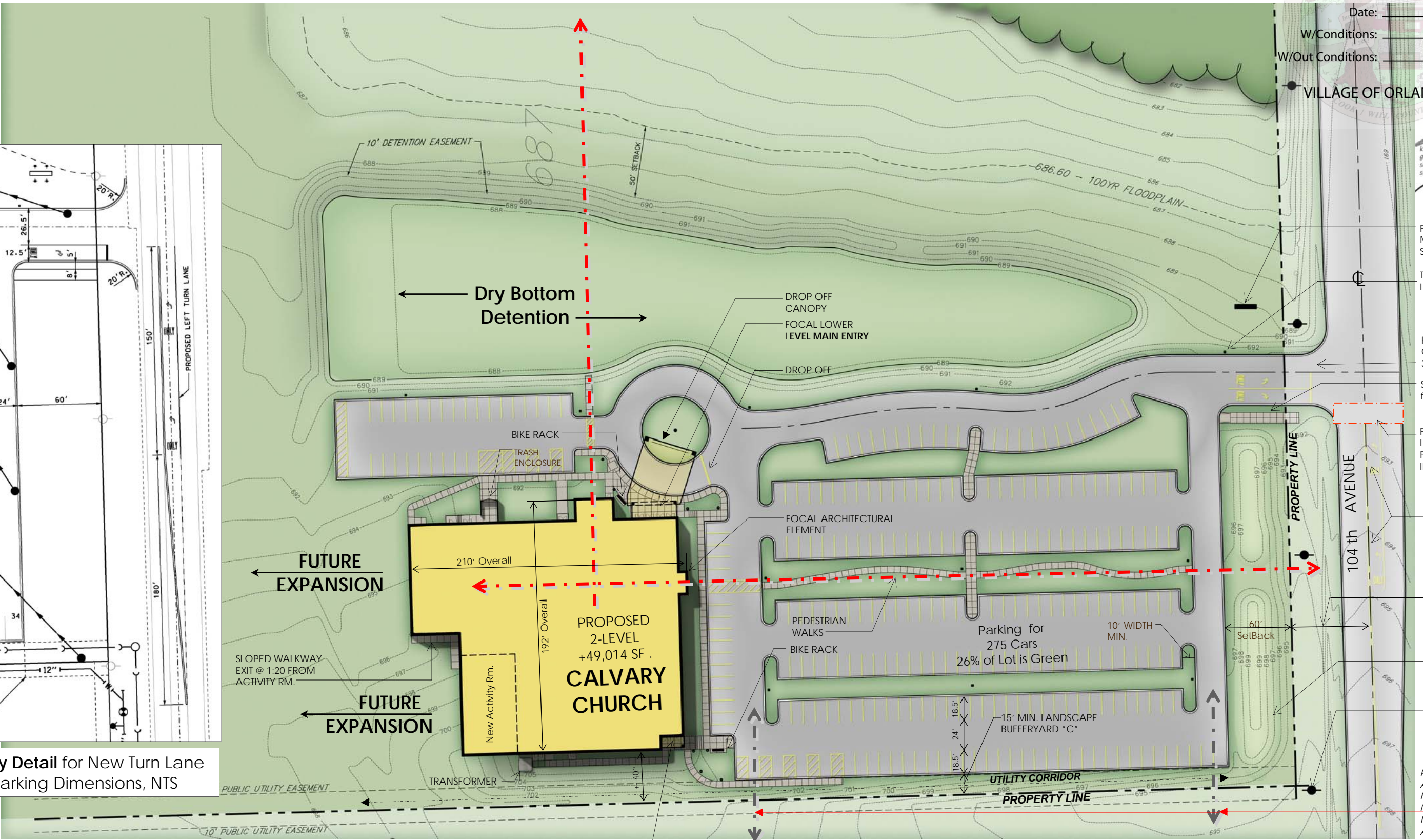
Case No: _____
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W/Out Conditions: _____

ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY
ORLAND PARK, IL 60467
708.799.4400 FAX: 708.799.4434
www.lindengroupinc.com

VILLAGE OF ORLAND PARK



Geometry Detail for New Turn Lane and Parking Dimensions, NTS



- FUTURE MONUMENT SIGN
- TYPICAL SITE LIGHT POLE
- PROPOSED CURB CUT 3-LANES
- SIDE WALK, see Civil for exact location
- FUTURE PROPOSED LOCATION FOR PED./BIKE CROSSING
- NEW NORTH-BOUND LEFT TURN LANE, SEE DETAIL THIS PAGE.
- 50' NEW R.O.W.
- LANDSCAPE BERM
- EXISTING UTILITY POLE TYPICAL
- PROPOSED CROSS ACCESS RECORDED EASEMENTS; 2-LOCATIONS as per Development Agreement



CONCEPT LAND PLAN



CALVARY CHURCH
PROPOSED NEW CHURCH
ORLAND PARK, IL.
CONCEPT DESIGN
SITE DATA

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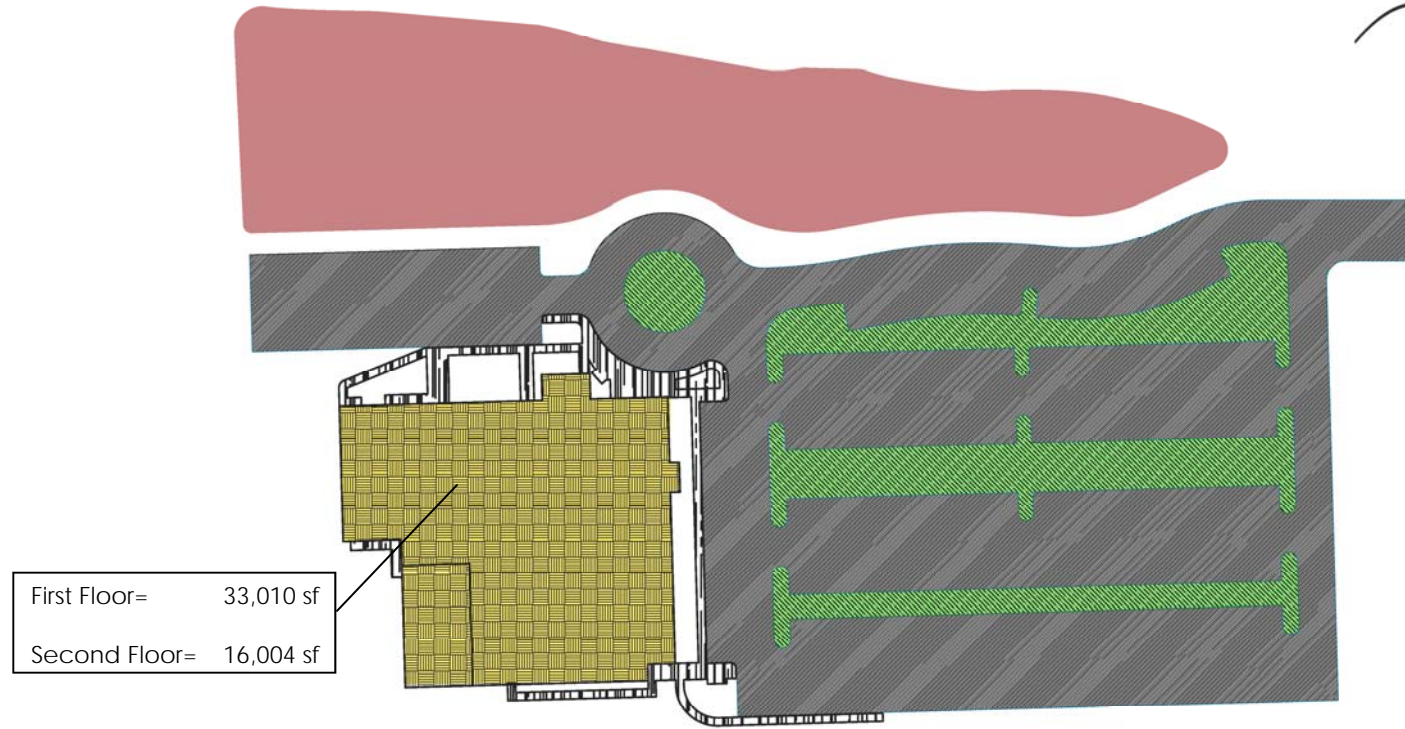
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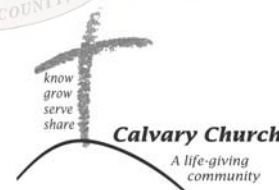
ZONING: E-1 ESTATE RESIDENTIAL DISTRICT
SPECIAL USE REQUEST FOR: 7. PLACE OF WORSHIP, building is not within 25'-0" of Lot Line

	REQUIREMENT	ACTUAL
MINIMUM LOT SIZE	1 ACRE	31.217 ACRES
MINIMUM LOT WIDTH	150'-0"	APPROX. 1,470'-0" 104th Avenue Frontage
SETBACKS:		
FRONT YARD	50'-0"	60'-0" parking setback (110'-0" from the centerline of ROW) (No parking is within setback), Building is at +- 455'-0" Setback
<i>Abutting major collector (104th Ave)</i>	<i>from property line</i>	
CORNER SIDE (North)	50'-0"	>50'-0"
SIDE (South)	25'-0"	39'-6" +-, Parking is 15' min setback
REAR (West)	50'-0"	+603'-0"
LOT COVERAGE <i>(places of worship)</i>	70%	Building Footprint= 33,010 sf Sidewalks, misc. paving= 6,693 sf Detention Area= 59,685 sf Parking and Drives= 105,249 sf Total Impervious= 204,637 SF or 15.04%
HEIGHT	35'-0"	35'-0"
FLOOR AREA RATIO		49,014 SF / 1,359,812.5 SF = .0360= 3.60%
PARKING <i>(none within setbacks)</i> <i>(places of worship)</i>	1 per 4 sanctuary	900/4= 225, ACTUAL = 275
Handicapped Parking	7	8 (included above)
Parking Space Size	9 X 18.5'	9 X 18.5'
Aisle Width	22'-0"	24'-0"
Bicycle	28 spaces	28 spaces
LANDSCAPE ISLANDS	1 PER 7 SPACES OR 14.3%	27,518 sf OF INTERNAL GREEN SPACE/105,249 SF= 26 %
LANDSCAPING		PER VILLAGE STANDARDS / Submittal to follow after Approval of final engineering, as per Village Staff
LOADING SPACE	12 X 25	12 X 25
OUTDOOR LIGHTING		PER VILLAGE STANDARDS/ Under Review by Village Consulting Engineer
MONUMENT SIGN		PER VILLAGE STANDARDS/ FUTURE SEPARATE PERMIT SUBMITTAL



First Floor= 33,010 sf
Second Floor= 16,004 sf

- 33,010 sq ft building footprint
- 59,685 sq ft impervious detention
- 6,693 sq ft
- 105,248.9 sq ft
- 27,518.2 sq ft



CLEAR ANODIZED ALUMINUM
CROSS MOUNTED TO SANDBLAST
PRECAST PANELS WITH REVEALS

INSULATED PRECAST PANELS WITH
BRICK FORM LINERS AND STAIN/
SEALED REDISH/BROWN

LIGHT GRAY PRECAST FINSH, WITH
REVEALS AND SANDBLAST

BOARD APPROVED

Case No: _____
Date: _____

W/Conditions:
WOOD CONTINUES TO BE

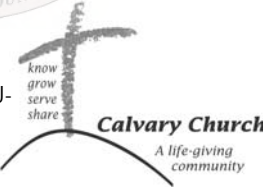
PARAPET WALL BEYOND AT RASIED MULTI-
PURPOSE ROOM ROOF

TYPICAL 3' PARAPET WALL TO SHIELD
ROOFTOP EQUIPMENT. THIS SHOULD BE
FURTHER REVIEWED WITH ACTUAL EQUIP-
MENT

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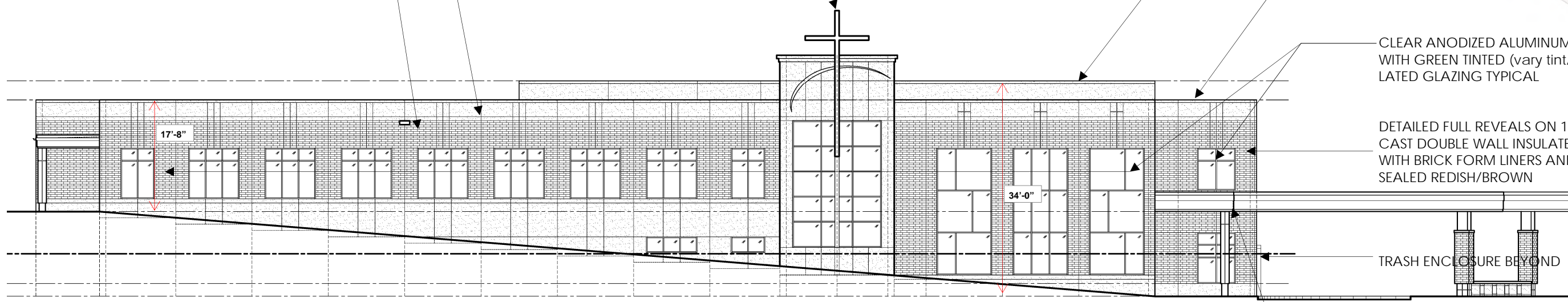


CLEAR ANODIZED ALUMINUM FRAMES
WITH GREEN TINTED (vary tint/color) INSU-
LATED GLAZING TYPICAL

DETAILED FULL REVEALS ON 12' WIDE PRE-
CAST DOUBLE WALL INSULATED PANELS
WITH BRICK FORM LINERS AND STAIN/
SEALED REDISH/BROWN

TRASH ENCLOSURE BEYOND

ANODIZED CLEAR ALUM WRAP ON ENTRY
CANOPY AND POST COLUMN, TYPICAL
BOTH ENTRIES



CONCEPT east elevation

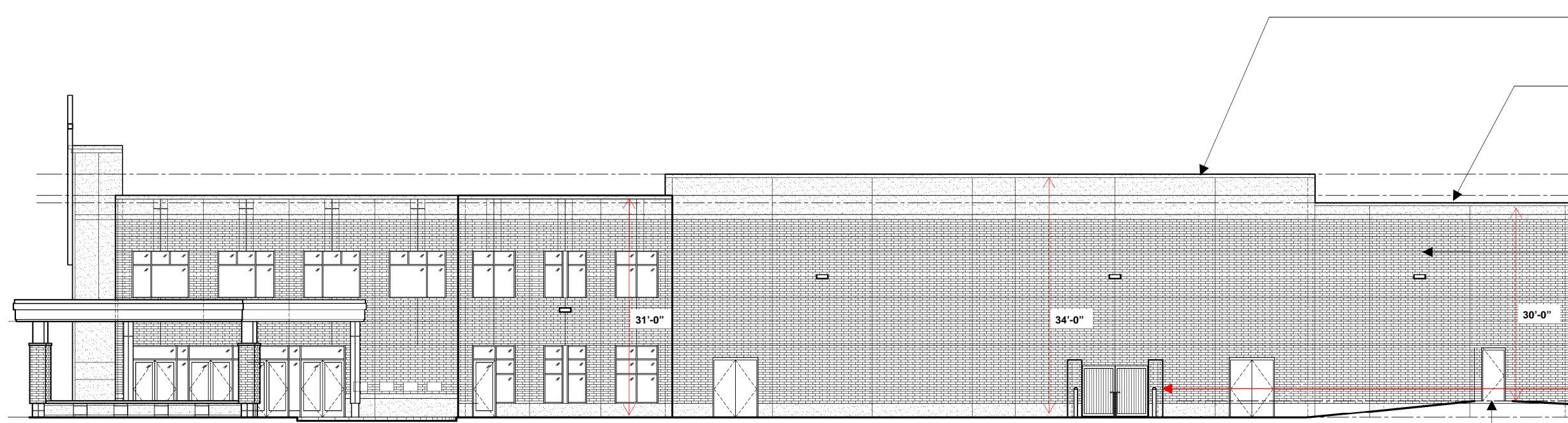
PARAPET WALL BEYOND AT RA-
SIED MULTI-PURPOSE ROOM ROOF

TYPICAL PARAPET WALL TO SHIELD
ROOFTOP EQUIPMENT , SIGHT-
LINES TO BE FURTHER REVIEWED
WITH ACTUAL EQUIPMENT

DETAILED FULL REVEALS ON 12'
WIDE PRECAST DOUBLE WALL IN-
SULATED PANELS WITH BRICK
FORM LINERS AND STAIN/SEALED
REDISH/BROWN

REFUSE ENCLOSURE TO MATCH
BUILDING 7'-0" TALL W/ FINISHED
DECAY RESISTANT WOOD GATES
ON METAL FRAME

RELOCATED DOOR



CONCEPT north elevation

PARAPET WALL BEYOND AT RASIED MULTI-PURPOSE ROOM ROOF LIGHT GRAY PRECAST FINSH, WITH REVEALS AND SANDBLAST

TYPICAL 3' PARAPET WALL TO SHIELD ROOFTOP EQUIPMENT, SIGHTLINES TO BE FURTHER REVIEWED WITH ACTUAL EQUIPMENT

DETAILED FULL REVEALS ON 12' WIDE PRECAST DOUBLE WALL INSULATED PANELS WITH BRICK FORM LINERS AND STAIN/SEALED REDISH/BROWN

REFUSE ENCLOSURE TO MATCH BUILDING 7'-0" TALL W/ FINISHED DECAY RESISTANT WOOD GATES ON GALVANIZED METAL FRAME

BEYOND: CLEAR ANODIZED ALUMINUM CROSS MOUNTED TO SANDBLAST PRECAST PANELS WITH REVEALS

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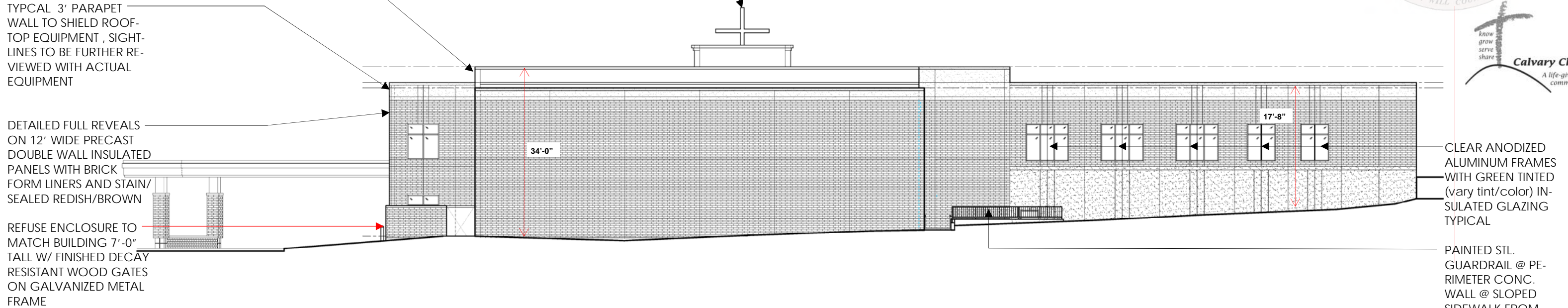
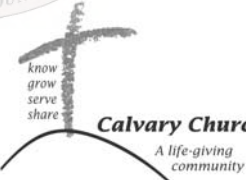
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CLEAR ANODIZED ALUMINUM FRAMES WITH GREEN TINTED (vary tint/color) INSULATED GLAZING TYPICAL

PAINTED STL. GUARDRAIL @ PERIMETER CONC. WALL @ SLOPED SIDEWALK FROM ACTIVITY ROOM

CONCEPT west elevation

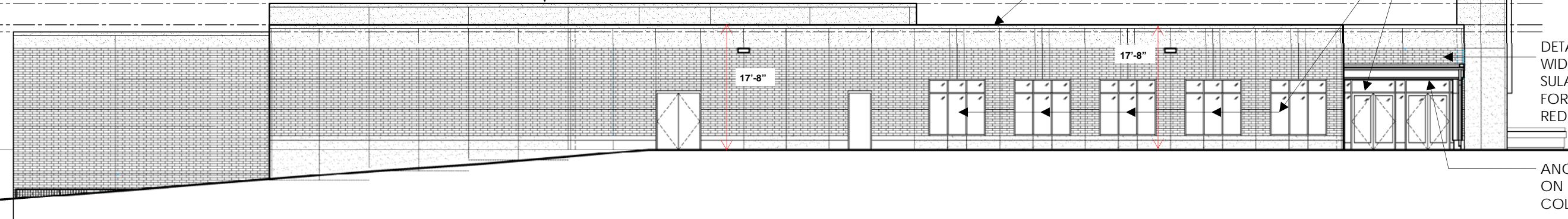
ROOFLINE BEYOND: SANDBLAST PRECAST PANELS WITH REVEALS AT MULTI-PURPOSE ROOM

TYPICAL 3' PARAPET WALL TO SHIELD ROOFTOP EQUIPMENT, SIGHTLINES TO BE FURTHER REVIEWED WITH ACTUAL EQUIPMENT. LIGHT GRAY PRECAST FINSH, WITH REVEALS AND SANDBLAST

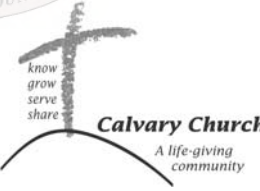
CLEAR ANODIZED ALUMINUM FRAMES WITH GREEN TINTED (vary tint/color) INSULATED GLAZING TYPICAL

DETAILED FULL REVEALS ON 12' WIDE PRECAST DOUBLE WALL INSULATED PANELS WITH BRICK FORM LINERS AND STAIN/SEALED REDISH/BROWN

ANODIZED CLEAR ALUM WRAP ON ENTRY CANOPY AND POST COLUMN, TYPICAL BOTH ENTRIES



CONCEPT south elevation



CONCEPT Elevation with Canopy



MILORD

COMPANY

CONSTRUCTION | DESIGN-BUILD

MANAGEMENT